



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Z#:	<u>2-20-034</u>
Date Received:	<u>3-13-20</u>
Date Accepted:	_____

*** Please Note:**

- Read Instructions Thoroughly Before Completing Form
- This form Must Be Completely Typewritten or Legibly Printed in Ink

1) APPLICATION: This is an application for: *(Check the ones that apply)*

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Subdivision | <input checked="" type="checkbox"/> Resubdivision | Total Number of Lots: <u>4</u> |
| <input type="checkbox"/> Zone Change | <input type="checkbox"/> Special Exception | S/E (Include Article & Section No.): _____ |
| <input type="checkbox"/> Excavation | <input type="checkbox"/> Map/Text Amendment | (Include Article & Section No.): _____ |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Other | _____ |

Name of Project Title (Subdivision/Resubdivision): _____

2) PROPERTY LOCATION:

Street Address: 312 Chestnut Tree Hill Rd.

Town Clerk Record Map Number: 17-31

Assessor's Identification Numbers:

Map: 37 Block: 5 Lot: 2 Unit: _____

Zoning District: *(Check One)*

- | | | | |
|---|------------------------------------|------------------------------|---|
| <input checked="" type="checkbox"/> RES A | <input type="checkbox"/> RES Golf | <input type="checkbox"/> COM | <input type="checkbox"/> Planned COM |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

Water and Sewer: *(Check the ones that apply)*

- | | |
|--|---|
| <input type="checkbox"/> Municipal Sanitary Sewers | <input checked="" type="checkbox"/> Private Wells |
| <input checked="" type="checkbox"/> On Site Septic Systems | <input type="checkbox"/> Public Water |

Please indicate who will be the **POINT OF CONTACT:**

(All communications and correspondence will be directed to the Point of Contact)

(Check one)

- ☒ APPLICANT ☐ OWNER ☐ LAND SURVEYOR ☐ ENGINEER ☐ ARCHITECT

3) APPLICANT: Matthew Mihaly, co-executor

Address: 111 Beech Hill Rd

Town: Trumbull State: CT Zip Code: 06611

Phone: (203) 556-0509 Fax: (203) 372-9834 Email: mihaly9834@charter.net

4) OWNER(s): Estate of Serge Mihaly, Sr

Address: Same as Applicant

Town: _____ State: _____ Zip Code: _____

Phone: (____) _____ Fax: (____) _____ Email: _____

5) APPLICANT'S OWNERSHIP INTEREST: CO-EXECUTOR

6) LAND SURVEYOR: PAUL J. BOMBERO, SR. REG. No: 70049

Address: 7 HEMLOCK ROAD
Town: NEWTOWN State: CT Zip Code: 06470
Phone: (203) 530-9779 Fax: () Email: PAULBOMBERO@AOL.COM

7) CIVIL ENGINEER: HEMRAJ KHONA REG. No: 9947

Address: 20 TOPAZ LANE
Town: TRUMBULL State: CT Zip Code: 06611
Phone: (203) 459-2471 Fax: () Email:

8) ARCHITECT: _____ REG. No: _____

Address: _____
Town: _____ State: _____ Zip Code: _____
Phone: () Fax: () Email: _____

9) PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED: _____
(Subject to BOS Approval)

(Check One) ☐ Private Road ☐ Town Road _____ Length of Road _____

10) STATUS OF WETLANDS PERMIT: APPLICATION SUBMITTED
(Please Provide a Copy)

11) ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS: _____

12) SURETY OPTION (See Article 9 of Subdivision Regulations):

(Check the one that applies)

- ☒ Improvements will be completed prior to endorsement and filing of record subdivision.
☐ Surety will be provided.
☐ Conditional approval is requested.

13) WAIVERS:

(Check the one that applies)

- ☐ No waivers of the subdivision regulations are required.
☒ Waivers of one or more sections of the subdivision regulations are requested.
(Please provide a written description of the reason for the waiver and attached to and make part of this application.)

14) EARTH EXCAVATION:

(Check one)

- ☐ Yes ☒ No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. _____ cubic yards.

15) FLOOD ZONE:

(Check one)

- ☐ Yes ☒ No If yes, what zone. _____

16) APPLICATION/SUPPORTING DOCUMENTS:

(Indicate Attached or Not Applicable)

_____ Project Narrative Letter	_____ Fire Marshal's Review
<input checked="" type="checkbox"/> Record Subdivision Plan	_____ Letter from Public Water Supply
<input checked="" type="checkbox"/> Site Development Plan	_____ P.D.D.H. Approval

_____ Plan and Profile	_____ Inland Wetlands Approval
_____ Standard Construction Details	_____ W.P.C.A. Approval
_____ Connecticut Highway Department	_____ Legal Boundary Description
_____ Engineering Department Review	_____ Zoning and Subdivision History
_____ Drainage Calculations	_____ Certificate from Assessor
_____ Other: _____	_____ Other: _____

17) REFERRALS:

(Check the ones that apply)

- ☐ A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
- ☐ A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.
- ☐ Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- ☐ Subdivision/Resubdivision includes land which abuts or is partially located in the Town of _____.
- ☐ Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by **CERTIFIED MAIL/RETURN RECEIPT.**

18) APPLICATION FEES: (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

_____ Building Lots (x) \$ _____ per lot = \$ _____

_____ Cubic yards (x) \$100 for each 1,000 cubic yards = \$ _____

Public Hearing Fee = \$ 2645.00

State Fee = \$ _____

Total Fee = \$ _____

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

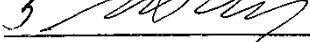
I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE Matthew Mihaly

NAME PRINTED Matthew Mihaly DATE 3/13/20

b) PROPERTY OWNER(s):

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE 

NAME PRINTED MATTHEW MIHALY DATE _____
CO-EXECUTOR

20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

☐ DENIED / ☐ APPROVED
(Check One)

APPROVED WITH CONDITIONS ☐ Yes or ☐ No
(Check One)

See Letter dated _____ for DETAILS of ACTION taken and attach a copy hereto.

BY: _____ DATE _____
(Name & Title)

Dorothy A. DeBisschop
Oxford Municipal Historian
234 Chestnut Tree Hill Road
Oxford, Connecticut, 06478
203-910-4574

June 30, 2020

Oxford Planning and Zoning Commission.
S. B. Church Town Hall
486 Oxford Road
Oxford, Connecticut, 06478

Dear Commission Members:

As Oxford Municipal Historian, I would like to encourage the preservation of the house and barns at 312 Chestnut Tree Hill Road. Of course, this is private property and the owner has a vested right to the land and can insist on any plans which comply with state and local regulations.

I encourage the commission to work with the property owner to provide the best opportunity for the house and barns to remain intact on a single lot.

Attached is a fact sheet on the house and the barns. The house information is from the book *Historic Buildings of Oxford Past and Present*, published by the Oxford Historical Society in 2017. The barn was also included in the website of *Historic Connecticut Barns* developed by Preservation Connecticut, with photos gathered by the Oxford Historical Society.

I would advise any owner or potential purchaser of Oxford's Delay of Demolition Ordinance. This local ordinance will prohibit any immediate demolition of these historic structures. During the 90 day delay period, advocates for preservation of the site will have the opportunity to encourage the owners to seek alternative plans that would preserve the historic structures. Failing that, we would request the opportunity to fully document the structures before this important part of our community heritage is lost. We hope that is not necessary.

Any measures within your legal authority to encourage the preservation of these structures will help preserve the rural agricultural heritage of our town, so valued by our residents.

Sincerely,



Dorothy A. DeBisschop
Oxford Municipal Historian
203-910-4574



312 CHESTNUT TREE HILL ROAD "Aunt Sarah" Riggs House ca. 1780 (1976 #136)

The home of Serge Mihaly at 312 Chestnut Tree Hill Road is known as the "Aunt Sarah" Riggs House. It was built about 1780 and occupied for half a century by this maiden lady whose acts of charity and philanthropy gave her the name "Aunt Sarah" Riggs. She was a great favorite with the children and the community.

After her death, the property came into the possession of Stiles Fairchild and his wife, Sarah Dunham of Oxford. On the Oxford map of 1868, this house appears as the residence of E. Riggs. In the mid-1900s, it was owned by the John Adomaitis family.

The Greek Revival styled gable indicates it was built in the 1890s. It is believed that the original house burned and was rebuilt at that time. The front entrance has a delicate lunette window which still holds old glass. The windows have 12-over-12 lights. It is interesting that while the earlier structure sits on a stone foundation, the addition to the south has a brick foundation.

(From ***Historic Buildings of Oxford, Past and Present***, published by the Oxford Historical Society in 2017, which received an Award of Merit from the Connecticut League of Historic Organizations.

Historic Barns at 312 Chestnut Tree Hill Road

Historic Barn Survey



<https://connecticutbarns.org/>

The historic barns on the property are an important part of the history of the area. They are of the English Bank style, which allowed for entrances on two different levels. This enabled a barn to consist of three floors, the ground floor, a middle level with a wooden floor, and an upper loft in the gable level.

The large size of the barns reflect the important part agriculture previously played in this area of Oxford. As a historical practice it is best for barns to remain on the same property as the historic house to which they were originally related.



1868 Beers Map



Contemporary real estate photo

RECEIVED
6/6/20

Proposed subdivision of property at 312 Chestnut Tree Hill Rd

Inbox x



Laurie Collins <tomlauriec@gmail.com>

Jun 5, 2020, 3:25 PM (7 days ago)



Reply



to me

To whom it may concern:

My wife Laurene and I are the owners of the property at 286 Chestnut Tree Hill Rd. We noted with some interest the posting of the proposed plan to subdivide the Milhaly property at 312 Chestnut Tree Hill Road. While I have no background in any type of engineering, I would simply like to raise a concern regarding the southwest corner of the proposed lot 4, which borders on our property. The area includes a fairly steep slope, which runs from our property into the proposed lot 4. I do not know if the area noted in proposed lot 4 designated as a water course could be developed, but it appears to me that any new owner of a proposed lot 4 could make use of the southwest corner of the property, possibly in a manner that would destabilize the slope at the rear of our property. I would ask the Commission to insure in their current and future deliberations regarding activity on this parcel of land, that the stability of the slopes on both our property and the proposed new lot 4 be maintained.

Thank you for your consideration.

Thomas F. Collins
286 Chestnut Tree Hill Rd
Oxford, CT



Jessica Pennell <pandz@oxford-ct.gov>

288 Chestnut Tree Hill Rd Oxford CT (Dantas)

2 messages



Rui Dantas <rdantas@unionsavings.com>

Wed, Jun 10, 2020 at 3:09 PM

To: "pandz@oxford-ct.gov" <pandz@oxford-ct.gov>

Dear Oxford Planning and Zoning,

I am reaching out to you today as a concerned member of the community, as recently it has been brought to my attention that land behind and nearby my home are being assessed for approval of subdivisions for the purpose of constructing multiple single family homes.

When my family moved to Oxford 5 years ago, we moved to this town specifically for the rural atmosphere, preservation of the environment and great schooling system. Within these 5 years the Town of Oxford has significantly reduced the first two reasons by allowing a power plant to be built as well as increasing developments within Oxford Rd. For those reasons I ask that you consider your neighbors thoughts, opinions and those who will directly impacted when deciding on this matter. I ask that you not approve this request and not allow Oxford to further destroy its environmental preservation. Should you have any further questions or concerns please feel free to contact me directly at this email address or at 860-459-1217. I thank you for taking the time to read this email.

Thank you,

Rui Dantas

288 Chestnut Tree Hill Rd

Oxford CT 06478

T. 860 459 1217

RECEIVED
6/11/20

Robert & Robbi Costigan
300 Chestnut Tree Hill Road
Oxford, CT 06478


June 10, 2020

Planning & Zoning Commission
Oxford Town Hall
486 Oxford Road
Oxford, CT 06478

Dear Zoning Commission,

My wife Robbi grew up in Oxford and when we got married, we were very excited to move to Chestnut Tree Hill Road. We have been here almost 30 years now. The rural feel here is second to none. The proposed subdivision, if approved, would mean we would have a house next to us and one directly behind us. We are absolutely opposed to this proposed subdivision because it will ruin the rural character of our neighborhood. The tree farm in between our home and the historical house would be replaced with a new house. The historical barn would also have a new house near it. The new house proposed behind our home would be off of Old Litchfield Turnpike, abutting the State Forest, where many people park their cars. The area there will become more congested. The dirt road would have to be improved to allow safe passage of vehicles. For these reasons, we would like you all to consider voting against this proposed subdivision. We have always appreciated living here. Oxford is a special place to live, please don't take that away from us...

Sincerely,


Robert & Robbi Costigan



David & Georgeann Erhardt
289A Chestnut Tree Hill Road
Oxford, CT 06478
203-463-0251

June 10, 2020

Oxford Town Hall
486 Oxford Road
Oxford, CT 06478
ATTN: Department of Planning & Zoning

To Whom It May Concern:

We were recently made aware of a proposed development across the street from our home. Please accept this letter as our plea not to consider this plan.

We are in our retirement years and have chosen this area because our neighborhood is so peaceful and quiet. More foot and car traffic and newly constructed houses would take away from this. To be honest, with the world as it is, the uncertainty of who will be purchasing these homes is a concern, too.

We thank you for your time and consideration.

David & Georgeann Erhardt

RECEIVED
2/11/20

Timothy & Jeannine Blue
289 Chestnut Tree Hill Road
Oxford, CT 06478
203-394-8199

Department of Planning & Zoning
Oxford Town Hall
Oxford Road
Oxford, CT 06478

To Whom It May Concern:

This letter is in response to the proposed plan of building homes at the lot of Chestnut Tree Hill Road. We purchased our home one year ago. The draw, for us, to this neighborhood was the large lots, the beautiful older homes and peace & quiet.

We feel adding more houses and cars to this neighborhood, a matter of yards from our home, will take from the tranquility and charm we have at this time.

Thank you for considering our view point.

Respectfully,


Timothy & Jeannine Blue

RECEIVED
6/11/20

June 8, 2019

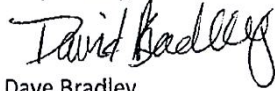
Planning & Zoning Commission
486 Oxford Rd
Oxford, CT. 06478

To the Planning and Zoning Commission:

I have been a resident on Chestnut Tree Hill Road since 1961. I grew up at 289 Chestnut Tree Hill Road, which is a historical homestead with my parents and three brothers. It was a great place to grow up, always quiet and rural. In 1989, my wife and I built a house on some of my parents' property at 285 Chestnut Tree Hill Road and have been here ever since. We raised our two children here. I am writing to express myself and my wife's opposition to having new houses built in our neighborhood. As it stands, the natural landscape, tree farm, and historic homes that grace the area are treasured by our community. I feel it would be a detriment to the neighborhood and environment to allow construction and, frankly, clutter this beautiful part of Oxford.

I appreciate your time and hope you take my comments into consideration.

Respectfully,



Dave Bradley



NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL
ENGINEERING & SURVEYING

March 19, 2020

Mr. Jeffrey Luff, Chairman
Planning and Zoning Commission
Town of Oxford
486 Oxford Road
Oxford, CT 06478

Re: 312 Chestnut Tree Hill Road, Oxford, CT

Dear Mr. Luff:

Nafis & Young Engineers, Inc. (NYE) is in receipt of Plans for a four(4) lot subdivision on the above-referenced site. We offer the following:

1. Please provide area calculations for each lot including wetland areas and steep slope areas.
2. Please identify first floor elevations for each unit.
3. Please provide a grass lined swale at the bottom of Lots 3 and 4 with stone check dams. Grade the swale to accept runoff from Old Litchfield Turnpike and said lots and discharge the swale to the pond.
4. Please provide sight distance data for the driveways for Lots 1 & 2.
5. The contours for the Old Litchfield Turnpike area grade onto the State of Connecticut land. Has permission been secured to grade on State property?
6. Please clarify proposed improvements to Old Litchfield Turnpike (i.e. paving, processed stone, curbing, ...etc.) Millings for pavement do not meet the Town of Oxford Zoning Regulations. Twenty (20') foot road width does not meet the Town of Oxford Zoning Regulations.
7. Please indicate limit of disturbance for each lot.
8. Please identify locations of silt fencing.
9. Please clarify grading in septic system areas.
10. Please provide sizing calculations for roof leader infiltrators.
11. Please provide driveway details, swale details, check dam details and rip rap details.

If you should have any questions, please feel free to reach out to me at 203-314-8041.

Sincerely,

James H. Galligan, P.E.
Nafis & Young Engineers, Inc.
Town Engineer of Oxford

*Allan S. Young, P.E. • James H. Galligan, P.E. • David C. Nafis, P.E., L.S. • Lawrence K. Seon, CHSWM
1355 Middletown Avenue, Northford, CT 06457 • Tel: (203) 484-1293 • Fax: (203) 484-7343 • e-mail: nyen@nafisandyoung.com*



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

RECEIVED
5/20/20

Conservation Commission / Inland Wetlands Agency

May 21, 2020

To: The Chairman of Planning and Zoning Commission, Town of Oxford, Connecticut
Re: 312 Chestnut Tree Hill Rd Subdivision

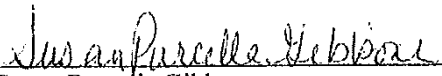
Dear Chairperson and Commissioners:

After a full review of the subdivision layout for 312 Chestnut Tree Hill Rd the Commission makes this recommendation to the Zoning Board:

The lot layout does not have any location for open space. The Commission agrees with this. We do not believe in the taking of land at this location has any great benefit. The State of Ct. has open forest land across Old Litchfield Road. Oxford Zoning does allow for receiving monetary funds in lieu of land. The Conservation Commission is unanimously in favor of this. We do not recommend a waiver of open space donation. As you may know these funds are used to purchase larger parcels of land for open space. These funds are crucial to helping add open space land. These purchases help keep taxes low by preventing other residential development. Purchasing open space helps retain Oxford rural character.

I thank you in advance

Sincerely,


Susan Purcella Gibbons
Chairman of Conservation Commission.

PG 8



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Conservation Commission / Inland Wetlands Agency

May 21, 2020

RECEIVED
5/20/20


To: The Chairman of Planning and Zoning Commission, Town of Oxford, Connecticut
Re: 312 Chestnut Tree Hill Rd Subdivision

Dear Chairperson,

As you may know the Inland Wetlands Commission wears two hats. The second is the Conservation Commission. Our primary directive by state mandate is to advise the Zoning Commission on decisions about development and subdividing. Most importantly open space acquisition and fees in lieu of.

I thank you in advance

Sincerely,


Susan Purcella Gibbons
Chairman of Conservation Commission.

PG 9



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: Z-20-034
Date: _____

STATEMENT OF USE

Article 11, Section 2

Property Address: 312 CHESTNUT TREE HILL RD. Zone: RES. A Map: 37 Block: 5 Lot: 2

Name and Address of Owner: ESTATE OF SERGE MIHALY SR.

Name and Address of Applicant: MATTHEW MIHALY CO-EXECUTOR
111 BOOTH HILL RD. TRUMBULL, CT 06611

Name of Proposed Business: _____

Total Square Footage: _____

Hours of Operation: _____

Number of Employees: _____

List Hazardous and/or Chemicals Material on site: _____

Provide Approval from: PDDH _____ Fire Marshal _____ Other _____

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

Applicant's Signature

Date

BOMBERO & ASSOCIATES
PROFESSIONAL LAND SURVEYING & ENGINEERING
7 HEMLOCK ROAD
NEWTOWN, CONNECTICUT 06470
PHONE: 203-530-9779

March 11, 2020
Town of Oxford
Planning and Zoning Commission
Oxford, CT

Re: 312 Chestnut Tree Hill Road, Resubdivision

Dear Commission:

On behalf of the property owner, we are requesting a waiver of the Open Space requirement. The property is located adjacent to the Naugatuck State Forest (formerly property of Bridgeport Hydraulic Company). This allows each divided lot access to the many acres of open space offered by the State Forest, making the typical release of land from this owner inconsequential to the overall utility of the properties.

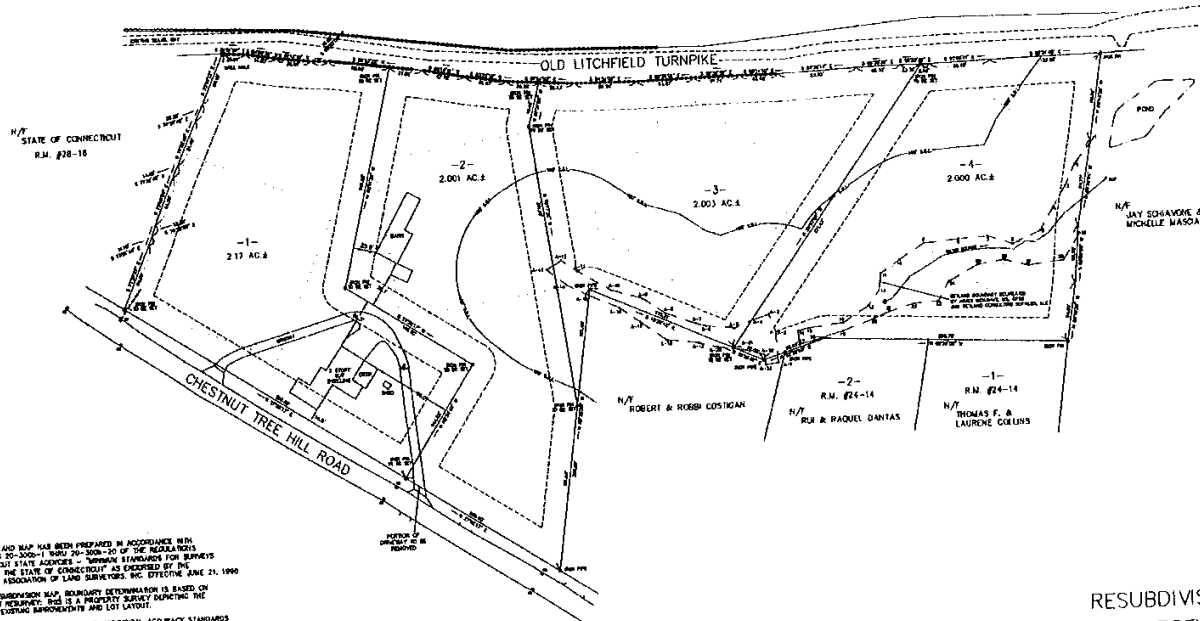
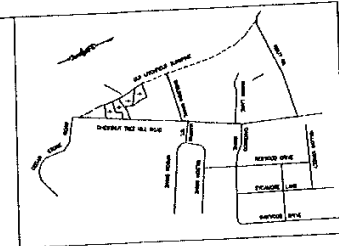
Thank you.

Sincerely,


Paul J. Bombero Sr., L.S. #70049



N/T
STATE OF CONNECTICUT
R.M. #28-16



NOTE:

- 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE SECTIONS 20-200-1, 200-200-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENFORCED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. EFFECTIVE JUNE 21, 1990.
- 2.) THIS IS A RESUBDIVISION MAP. NECESSARY DETERMINATION IS BASED ON A DEPENDENT RECOVERY. THIS IS A PROPERTY SURVEY DETERMINING THE POSITION OF EXISTING BOUNDARIES AND LOT LAYOUT.
- 3.) THIS SURVEY CONFORMS TO CLASS A-3 HORIZONTAL ACCURACY STANDARDS.
- 4.) REFER TO MAPS 28-14, 28-16, 28-17 AND 27-31 ON FILE ON ORD.
- 5.) NORTH BASED ON MAP 17-31 (NOTE 3).
- 6.) PROPERTY IS NOT LOCATED IN A FLOOD ZONE, ACCORDING TO FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT, PANEL 254 OF R&M MAP NUMBER 0000000000, EFFECTIVE DATE DECEMBER 17, 2019.
- 7.) PROPERTY IS LOCATED IN REBORDER "A" DISTRICT, TAX MAP 37 BLOCK 3 LOT 2.
- 8.) PROPERTY TO BE SERVED BY PRIVATE WELL AND ENGINEERED SUB-SURFACE SEWAGE DISPOSAL SYSTEMS.
- 9.) TOTAL AREA = 8.171 AC. NETLAND AREA = 0.376 AC.
- 10.) THE LOTS AS DELINEATED ALLOW FOR SOLAR ACCESS.
- 11.) FROM THIS TO BE SET AT LOT CORNERS.

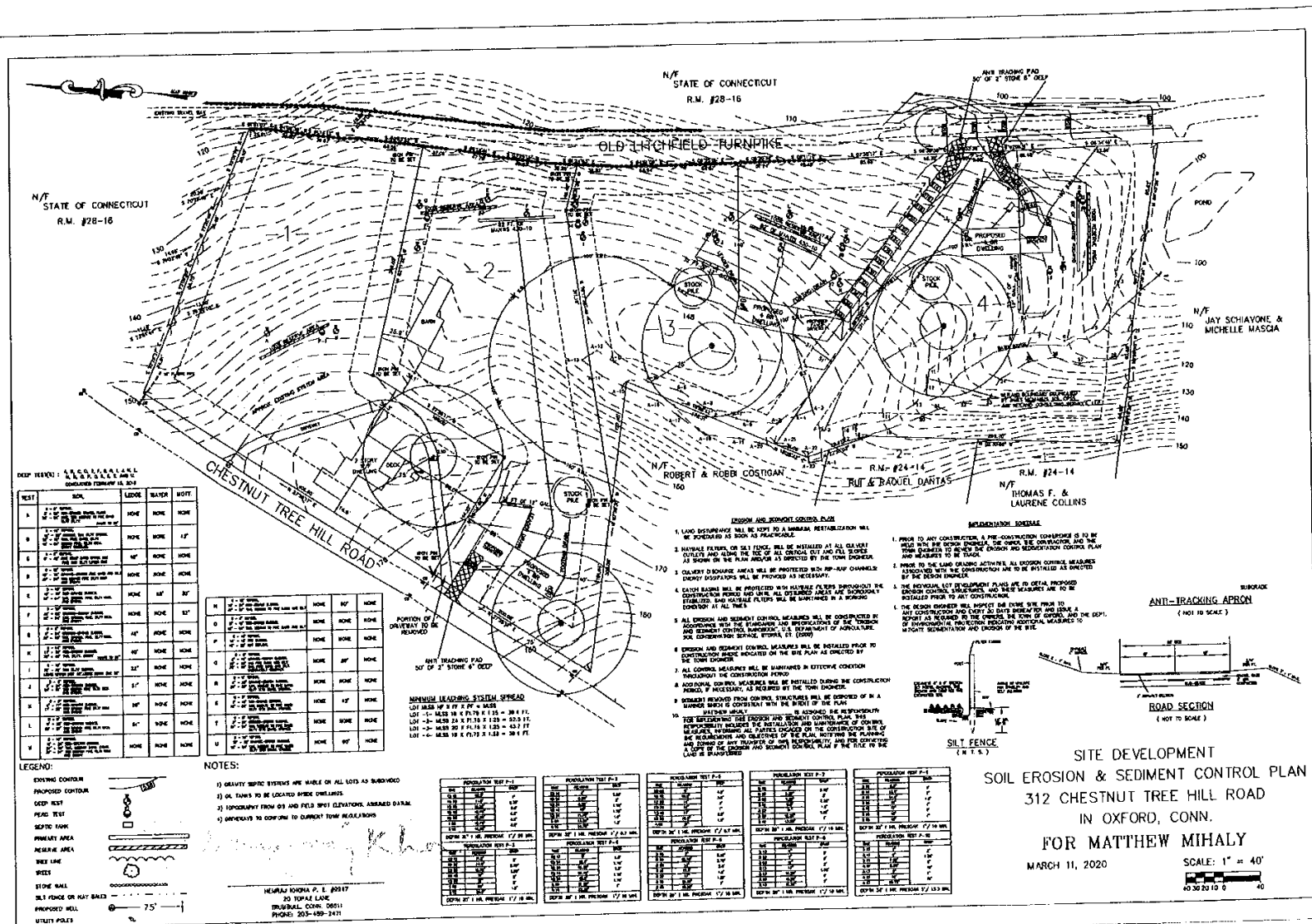
APPROVED BY THE SIGNED PLANNING AND ZONING COMMISSION
CHIEFMAN _____ DATE _____
SECRETARY _____ DATE _____
ALL APPROVED TO BE NOTED ON THESE PLANS SHALL BE
COMPLETED WITHIN A YEAR PERIOD COMMENCING FROM
DATE OF APPROVAL.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON
Robert J. Bonaventura
TIA, J. BONAVENTURA, SLL, L & P, INC.
7 HEDDOCK ROAD
HELVINGTON, CT 06429
PHONE: 203-530-8779

RESUBDIVISION OF PROPERTY
312 CHESTNUT TREE HILL ROAD
IN OXFORD, CONN.

FOR MATTHEW MIHALY
MARCH 11, 2020

SCALE: 1" = 50'
50' 0" 10' 0" 5' 0"





Jessica Pennell <pandz@oxford-ct.gov>

Fwd: 268 Oxford Rd

1 message

Steve Macary <zoningenforce@oxford-ct.gov>
To: Jessica Pennell <PandZ@oxford-ct.gov>

Wed, Jul 8, 2020 at 10:51 AM

----- Forwarded message -----

From: **Bill Gjonbalaj** <bill@connpropane.com>
Date: Wed, Jul 8, 2020 at 10:37 AM
Subject: 268 Oxford Rd
To: zoningenforce@oxford-ct.gov <zoningenforce@oxford-ct.gov>

Steve

After Reviewing the court settlement and last nights meeting I have decided to withdraw my application.

Bill Gjonbalaj
CT Propane

--

Steven S. Macary
Zoning Enforcement Official

S.B. Church Memorial Town Hall
Planning & Zoning
486 Oxford Road
Oxford , CT 06478
Tel: (203) 828-6503 or (203) 888-2543 **Ext.** 3033
Fax: (203) 888-4543
Email: Zoningenforce@Oxford-Ct.gov
Website: www.oxford-ct.gov
GIS: <http://www.cogcnvgis.com/>



Please consider the environment before printing this e-mail and/or any attachments.

Please note: Electronic mail submitted through this email may be considered "Public records or files" as those terms are defined in the Connecticut Freedom of Information Act, (the "Act"). By operation of the Act, public records and files may be the subject to disclosure to persons other than the addressee. The marking of electronic mail message submitted through this website as "personal" or "confidential" may not prevent disclosure of certain public records governed by the Act. If you are not the intended recipient please notify us immediately by telephone or e-mail.



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Z#: Z-20-010
Date Received: 1-30-2020
Date Accepted: 2/4/20

*** Please Note:**

- Read Instructions Thoroughly Before Completing Form
- This form Must Be Completely Typewritten or Legibly Printed in Ink

1) **APPLICATION:** This is an application for: *(Check the ones that apply)*

- | | | |
|--------------------------------------|---|--|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Resubdivision | Total Number of Lots: _____ |
| <input type="checkbox"/> Zone Change | <input checked="" type="checkbox"/> Special Exception | S/E (Include Article & Section No.): _____ |
| <input type="checkbox"/> Excavation | <input type="checkbox"/> Map/Text Amendment | (Include Article & Section No.): _____ |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Other | _____ |

Name of Project Title (Subdivision/Resubdivision): New Haven Rowing Club, Inc.

2) **PROPERTY LOCATION:**

Street Address: 403-407-411 Roosevelt Drive

Town Clerk Record Map Number: _____

Assessor's Identification Numbers:

Map: 10 Block: 52 Lot: 52 Unit: _____

Zoning District: *(Check One)* Special Exceptions granted in 1991 and 2003 for Non-commercial Recreational Use.

- | | | | |
|---|------------------------------------|------------------------------|---|
| <input checked="" type="checkbox"/> RES A | <input type="checkbox"/> RES Golf | <input type="checkbox"/> COM | <input type="checkbox"/> Planned COM |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

Water and Sewer: *(Check the ones that apply)*

- | | |
|--|---|
| <input type="checkbox"/> Municipal Sanitary Sewers | <input checked="" type="checkbox"/> Private Wells |
| <input checked="" type="checkbox"/> On Site Septic Systems | <input type="checkbox"/> Public Water |

Please indicate who will be the **POINT OF CONTACT:**

(All communications and correspondence will be directed to the Point of Contact)

(Check one)

- ☐ APPLICANT ☐ OWNER ☐ LAND SURVEYOR ☐ ENGINEER ☒ ARCHITECT

3) **APPLICANT:** Applicant is the Architect - See agent letter attached

Address: _____

Town: _____ State: _____ Zip Code: _____

Phone: (____) _____ Fax: (____) _____ Email: _____

4) **OWNER(s):** New Haven Rowing Club, Inc.

Address: 407 Roosevelt Drive

Town: Oxford State: CT Zip Code: 06478

Phone: (203) 734-0125 Fax: (____) _____ Email: _____

5) APPLICANT'S OWNERSHIP INTEREST: None - Architect is a member.

6) LAND SURVEYOR: See Site Plan SP-1 for land survey REG. No: _____
Address: _____ references.
Town: _____ State: _____ Zip Code: _____
Phone: () _____ Fax: () _____ Email: _____

7) CIVIL ENGINEER: Indigo Land Design LLC (Joseph Wren) REG. No: 21090
Address: 40 Elm Street, 2nd Floor
Town: Old Saybrook State: CT Zip Code: 06475
Phone: (860) 388-9343 Fax: (860) 391-8854 Email: jwren@indigo-land.com

8) ARCHITECT: Stuart Lathers Associates LLC REG. No: 5128
Address: 319 Peck Street
Town: New Haven State: CT Zip Code: 06513
Phone: (203) 710-0925 Fax: () _____ Email: design@stuartlathers.com

9) PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED: _____
(Subject to BOS Approval)
N/A (Check One) ☐ Private Road ☐ Town Road _____ Length of Road _____

10) STATUS OF WETLANDS PERMIT: Approved 1/14/2020
(Please Provide a Copy)

11) ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS: N/A

12) SURETY OPTION (See Article 9 of Subdivision Regulations):
(Check the one that applies)

N/A ☐ Improvements will be completed prior to endorsement and filing of record subdivision.
☐ Surety will be provided.
☐ Conditional approval is requested.

13) WAIVERS:
(Check the one that applies)

N/A ☐ No waivers of the subdivision regulations are required.
☐ Waivers of one or more sections of the subdivision regulations are requested.
(Please provide a written description of the reason for the waiver and attached to and make part of this application.)

14) EARTH EXCAVATION:
(Check one)

☒ Yes ☐ No
If yes, how many cubic yards of material to be removed, filled, and/or dispersed. 7500 ^(net) cubic yards.

15) FLOOD ZONE:
(Check one)

☒ Yes ☐ No If yes, what zone. AE45 & AE46

16) APPLICATION/SUPPORTING DOCUMENTS:
(Indicate Attached or Not Applicable)

_____ Project Narrative Letter
N/A Record Subdivision Plan
☒ Site Development Plan

TBD Fire Marshal's Review
TBD Letter from Public Water Supply
TBD P.D.D.H. Approval

<u>N/A</u> Plan and Profile	<u>✓</u> Inland Wetlands Approval
<u>✓</u> Standard Construction Details	<u>TBD</u> W.P.C.A. Approval
<u>TBD</u> Connecticut Highway Department	Legal Boundary Description
<u>✓</u> Engineering Department Review	<u>✓</u> Zoning and Subdivision History
<u>✓</u> Drainage Calculations	Certificate from Assessor
<u>✓</u> Other: <u>Flood Storage</u>	Other: _____
<u>Computations</u>	

17) REFERRALS:

(Check the ones that apply)

- ☒ A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
- ☐ A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.
- ☐ Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- ☐ Subdivision/Resubdivision includes land which abuts or is partially located in the Town of _____.
- ☐ Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by **CERTIFIED MAIL/RETURN RECEIPT.**

18) APPLICATION FEES: (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

_____ Building Lots (x) \$ _____ per lot = \$ _____

_____ Cubic yards (x) \$100 for each 1,000 cubic yards = \$ _____

Public Hearing Fee = \$ _____

State Fee = \$ _____

Total Fee = \$ _____

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE 

NAME PRINTED Stuart Lathers DATE 1-29-2020

b) PROPERTY OWNER(s):

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE See Agent Letter Attached
Rebecca Hatcher, President
NAME PRINTED Charles Gemble, Vice-President DATE _____

20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

☐ DENIED / ☐ APPROVED
(Check One)

APPROVED WITH CONDITIONS ☐ Yes or ☐ No
(Check One)

See Letter dated _____ for DETAILS of ACTION taken and attach a copy hereto.

BY: _____ DATE _____
(Name & Title)



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: _____
Date: _____

STATEMENT OF USE

Article 11, Section 2

Property Address: 403-407-411 Roosevelt Drive Zone: Res-A Map: 16 Block: 52 Lot: 52
Name and Address of Owner: New Haven Rowing Club, Inc.
407 Roosevelt Drive, Oxford, CT 06478
Name and Address of Applicant: Stuart Lathers Associates LLC (Architect)
319 Peck Street, New Haven, CT 06513
Name of Proposed Business: New Haven Rowing Club, Inc.
USE: Non-commercial Recreational - See attachment
Total Square Footage: 5048 SF (proposed unheated boat storage)
Hours of Operation: see attachment
Number of Employees: see attachment
List Hazardous and/or Chemicals Material on site: We utilize a small exterior locker for
storage of coaching launch fuel - no change
Provide Approval from: PDDH TBD Fire Marshal _____ Other _____
see attachment

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

[Signature]
Applicant's Signature

Stuart Lathers
Architect #5128

1-29-2020
Date

Stuart Lathers Associates LLC
ARCHITECTURE
319 Peck Street New Haven Connecticut 06513
Tel 203 787 5644

January 29, 2020

Mr. Steven S. Macary
Zoning Enforcement Official, Planning & Zoning Department
S.B. Church Memorial Town Hall
486 Oxford Road
Oxford, CT 06478-1298

re: New Haven Rowing Club Planning & Zoning Application (February 2020)
403-407-411 Roosevelt Drive

Attachment to Statement of Use

Our combined properties will be used for non-commercial recreational activities, principally the storage of rowing shells and parking.

The Town of Oxford has approved Special Exceptions for the New Haven Rowing Club previously, in 1991 for the construction of the existing boathouse (407 Roosevelt Drive), and also in 2003, to extend this non-commercial recreational status to the adjacent parcels (403 and 411 Roosevelt Drive).

The proposed unheated storage building will allow us to move shells presently stored outside to a more protected interior location. The proposed storage structure will be FEMA compliant (utilizing resistant materials, protected mechanicals, and flood venting). The proposed structure will replace two existing non-compliant buildings, which are to be demolished.

Hours of Use:

5:00am to 9:00am Monday to Saturday (March through November) (Sunday hours are reduced).

3:00pm to 5:30pm Monday to Friday (March through November).

In warmer winter periods, small groups of senior members may use the facility 7:00am to 10:00am.

Number of Employees:

(+/-) Two part-time coaching staff.

All other positions / roles / leadership are filled by the membership, serving as volunteers.

Exterior Lighting:

No exterior lighting is proposed for the parking area. The covered entrance areas (facing Roosevelt Drive) will have recessed ceiling-mounted down-lighting (IDA compliant). The façade facing the river will have (4) wall-mounted fixtures adjacent to the bay doors. These fixtures will be specified to be IDA compliant.



Stuart Lathers, Architect (CT Architect License #5128)
Stuart Lathers Associates LLC Architecture
319 Peck Street
New Haven, CT 06513
Mobile: (203) 710-0925
Email: design@stuartlathers.com

***New Haven Rowing Club
407 Roosevelt Drive
Oxford, CT 06478***



January 29, 2020

Mr. Steven S. Macary
Zoning Enforcement Official, Planning & Zoning Department
S.B. Church Memorial Town Hall
486 Oxford Road
Oxford, CT 06478-1298

re: New Haven Rowing Club Planning & Zoning Application (February 2020)
403 Roosevelt Drive
Agent Appointments

Dear Mr. Macary,

This letter will serve to advise your office that we have appointed Stuart Lathers, Architect, and Joseph Wren, Professional Engineer, as our agents for the local land use agency applications for our upcoming project, as noted above. Contact information for Messrs. Lathers and Wren is as follows:

Stuart Lathers, Architect (CT Architect License #5128)
Stuart Lathers Associates LLC Architecture
319 Peck Street
New Haven, CT 06513
Mobile: (203) 710-0925
Email: design@stuartlathers.com

Joseph Wren, P.E. (CT Professional Engineer License #21090)
Indigo Land Design, LLC
40 Elm Street, 2nd Floor
Old Saybrook, CT 06475
Mobile: (860) 202-0693
Email: jwren@indigo-land.com

If you have questions or need additional information, please contact us at (203) 734-0125.

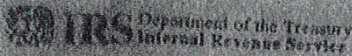
Sincerely,

Handwritten signature of Rebecca Hatcher.

Rebecca Hatcher
President, New Haven Rowing Club, Inc.

Handwritten signature of Charles Gamble.

Charles Gamble
Vice President, New Haven Rowing Club, Inc.



CINCINNATI OH 45999-0038

In reply refer to: 024825492
Apr. 06, 2018 LTR 4168C 0
06-1011760 000000 00

0001506
BODC: TE

NEW HAVEN ROWING CLUB INC
407 ROOSEVELT DR
OXFORD CT 06478

**New Haven Rowing Club
403-407-411 Roosevelt Drive
Oxford, CT 06478**

**Oxford Planning & Zoning
Application February 2020**

**Internal Revenue Service
Correspondence (2018)
Confirming Federal Non-Profit
501(c)(3) Status**

Employer ID Number: 06-1011760
Form 990 required: YES

Dear Taxpayer:

This is in response to your request dated Mar. 28, 2018, regarding your tax-exempt status.

We issued you a determination letter in July 1986, recognizing you as tax-exempt under Internal Revenue Code (IRC) Section 501(c)(3).

Our records also indicate you're not a private foundation as defined under IRC Section 509(a) because you're described in IRC Sections 509(a)(1) and 170(b)(1)(A)(vi).

Donors can deduct contributions they make to you as provided in IRC Section 170. You're also qualified to receive tax deductible bequests, legacies, devises, transfers, or gifts under IRC Sections 2055, 2106, and 2522.

In the heading of this letter, we indicated whether you must file an annual information return. If a return is required, you must file Form 990, 990-EZ, 990-N, or 990-PF by the 15th day of the fifth month after the end of your annual accounting period. IRC Section 6033(j) provides that, if you don't file a required annual information return or notice for three consecutive years, your exempt status will be automatically revoked on the filing due date of the third required return or notice.

For tax forms, instructions, and publications, visit www.irs.gov or call 1-800-TAX-FORM (1-800-829-3676).

If you have questions, call 1-877-829-5500 between 8 a.m. and 5 p.m., local time, Monday through Friday (Alaska and Hawaii follow Pacific Time).

TOWN OF OXFORD
PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov
www.Oxford-CT.gov



APPLICANT ACKNOWLEDGEMENT FORM (AAF)

I, Steven Lathurs, have read and reviewed the Oxford Planning and Zoning regulations relevant to Application # Z-20-010, including, but not limited to:

Applicant acknowledges that failure to comply with Oxford Planning and Zoning regulations may lead to delays, additional fees, and/or other penalties related to the application. Applicant acknowledges receiving a copy of completed Form AAF.

BEFORE SIGNING, APPLICANTS PLEASE NOTE:

- i. if an individual, that the signer is the applicant; or
- ii. if an entity (e.g. corporation, llc, partnership, trust, association) that he or she is legally authorized to sign on behalf

Applicant Name (please print)

Steven Lathurs

Applicant Signature

[Signature]

Date: 1-30-2020

Witness Name

STEVEN S. MACARY

Witness Signature

[Signature]

Date: 1/30/2020



TOWN OF OXFORD

S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

RECEIVED
1/16/20

Oxford Conservation Commission / Inland Wetlands Agency

January 16, 2020

Indigo Land Design, P.E.
40 Elm Street, 2nd floor
Old Saybrook, CT. 06475

Re: Disposition of Application # (IW 19-123)

Dear Mr. Wren,

At its **Regular Meeting** on Tuesday, January 14, 2020 the Oxford Conservation Commission/Inland Wetlands Agency made the following decision on your application: **(IW 19-123) New Haven Rowing Club, Inc., 403, 407, 411 Roosevelt Drive**


MOTION made by **Commissioner Bill Richter** and seconded by **Commissioner Joe Lanier** to approve with conditions **(IW 19-123) New Haven Rowing Club, Inc., 403, 407, 411 Roosevelt Drive**, total 1.29 acres, Proposed Boat Storage Building, (403) gravel parking area, "Thru flow deck" & assoc improvements. Conditions are applicant would adhere to any minor details requested by the town engineer and applicant is responsible for the invoice from the town engineer. Mandatory notice of commencement of activities. All in favor **5-0**.

PERMIT EXPIRES: January 14, 2025

Permit duration is five (5) years. Additional extension must be requested prior to expiration.

Attached please find a copy of the application and if you have any questions please call me at the office at **(203) 828-6507**.

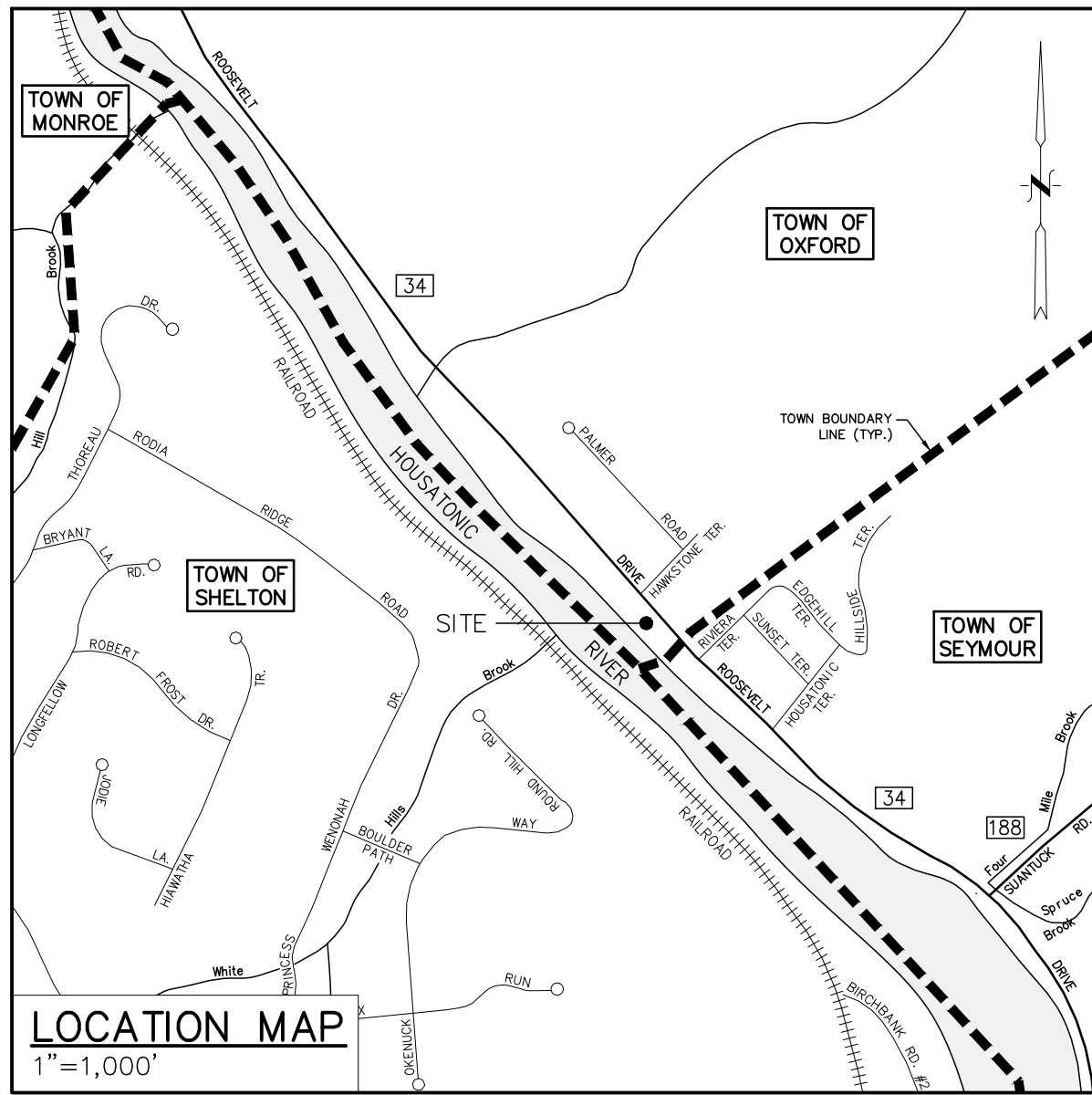
By Direction of the Commission,


Denise Randall
Administrative Secretary

OCCIWA/dr

Planning & Zoning

Page 1 of 1



GENERAL NOTES:

- THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:
 - A CLASS A-2 SURVEY MAP ENTITLED "MAP SHOWING A RESURVEY AND TOPOGRAPHIC SURVEY, 403 ROOSEVELT DRIVE, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: JULY 8, 1999, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "AS-BUILT LOCATION PLAN, PREPARED FOR NEW HAVEN ROWING CLUB, 407 ROOSEVELT DRIVE, CONNECTICUT ROUTE NO. 34, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: MAY 31, 1994, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "PLAN SHOWING A SURVEY OF LAND, PREPARED FOR NEW HAVEN ROWING CLUB, 407 ROOSEVELT DRIVE, CONNECTICUT ROUTE NO. 34, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: MAY 17, 1991, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "SURVEY OF PROPERTY, PREPARED FOR THE NEW HAVEN ROWING CLUB, INC., OF PARCEL DESIGNATED AS NO. 411 ROOSEVELT DRIVE, SITUATED IN THE TOWN OF OXFORD, COUNTRY OF NEW HAVEN, STATE OF CONNECTICUT", SCALE: 1"=10', DATED: JULY 17, 2003, PREPARED BY FLANAGAN'S SURVEYING & MAPPING.
 - ARCHITECTURAL DRAWINGS ENTITLED "PARTIAL COMPOSITE SITE/FLOOR PLAN: 2 BAY INTERIOR/SLAB/1 BAY EXTERIOR" SHOWING 403-407 ROOSEVELT DRIVE, OXFORD, CONNECTICUT, SCALE: AS NOTED, DATED: OCTOBER 30, 2019, PREPARED BY STUART LATHERS ASSOCIATES LLC.
 - AERIAL PHOTOGRAPH OF 403, 407 AND 411 ROOSEVELT DRIVE, OXFORD, CONNECTICUT AND SURROUNDING PROPERTIES, IMAGE DATED: APRIL 2018, OBTAINED FROM GOOGLE EARTH PRO.
 - AERIAL PHOTOGRAPH OF 403, 407 AND 411 ROOSEVELT DRIVE, OXFORD, CONNECTICUT AND SURROUNDING PROPERTIES, IMAGE DATED: SEPTEMBER 2017, OBTAINED FROM GOOGLE EARTH PRO.
 - A FEMA FLOOD MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 382 OF 635", MAP NUMBER: 09009C0382H, SCALE: 1"=500', EFFECTIVE DATE: DECEMBER 17, 2010, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- THE PROPERTY OWNER AND APPLICANT IS THE NEW HAVEN ROWING CLUB, INC. OF 407 ROOSEVELT DRIVE, OXFORD, CT 06478.
- THE SUBJECT PARCELS ARE IDENTIFIED AS LOTS 50, 51 & 52 (#411, #407 & #403 ROOSEVELT DRIVE, RESPECTIVELY) BLOCK 52 ON TAX ASSESSOR'S MAP 16. THE DEED REFERENCES OF THE PROPERTIES ARE VOLUME 252 PAGE 735 (#411 ROOSEVELT DRIVE), VOLUME 158 PAGE 610 (#407 ROOSEVELT DRIVE) AND VOLUME 10 PAGE 449 (#403 ROOSEVELT DRIVE). THE AREA OF THE PARCELS ARE APPROXIMATELY 0.27±, 0.56± & 0.46± ACRES (#411, #407 & #403 ROOSEVELT DRIVE, RESPECTIVELY) AND THE TOTAL AREA OF ALL THREE PARCELS IS APPROXIMATELY 1.29± ACRES.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE RESIDENTIAL 'R-A' ZONING DISTRICT. IN 1991, THE ORIGINAL PARCEL (#407) WAS GRANTED A SPECIAL EXCEPTION FOR A NON-COMMERCIAL RECREATIONAL USE AND IN 2003/2004 THE SAME USE WAS EXTENDED TO THE TWO ADJACENT LOTS (#403 & #4011) WHEN THEY WERE ACQUIRED. THE PARCELS ARE LOCATED WITHIN AN AQUIFER PROTECTION AREA. THE PARCELS ARE LOCATED WITHIN THE FLOOD PLAIN DISTRICT AND LIE BETWEEN FEMA FLOOD HAZARD ZONES AE (EL. 45) AND AE (EL. 46) AS DEPICTED ON FIRM: NEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL: 382 OF 635, MAP NUMBER: 09009C0382H, EFFECTIVE DATE: DECEMBER 17, 2010.
- THE APPLICANT IS PROPOSING TO CONSTRUCT A 1 1/2 STORY 3-BAY BOAT STORAGE BUILDING AS SHOWN. THE PROPOSED BUILDING WILL BE FULLY FLOOD VENTED AND WILL BE FULLY FEMA COMPLIANT. THE PROPOSED BUILDING WILL HAVE NO WATER SERVICE, NO PLUMBING OR SEPTIC SYSTEM. THE EXISTING DWELLING AND SEPTIC SYSTEM WILL BE REMOVED.
- THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE OXFORD PLANNING & ZONING COMMISSION, THE OXFORD CONSERVATION COMMISSION / INLAND WETLANDS AGENCY APPROVED A PLAN ON JANUARY 14, 2020.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL PROPOSED BUILDING INFORMATION.
- ALL CONTOURS AND ELEVATIONS SHOWN HEREON ARE REFERENCED TO REFERENCE MAPS A, C AND D.

CONSTRUCTION NOTES:

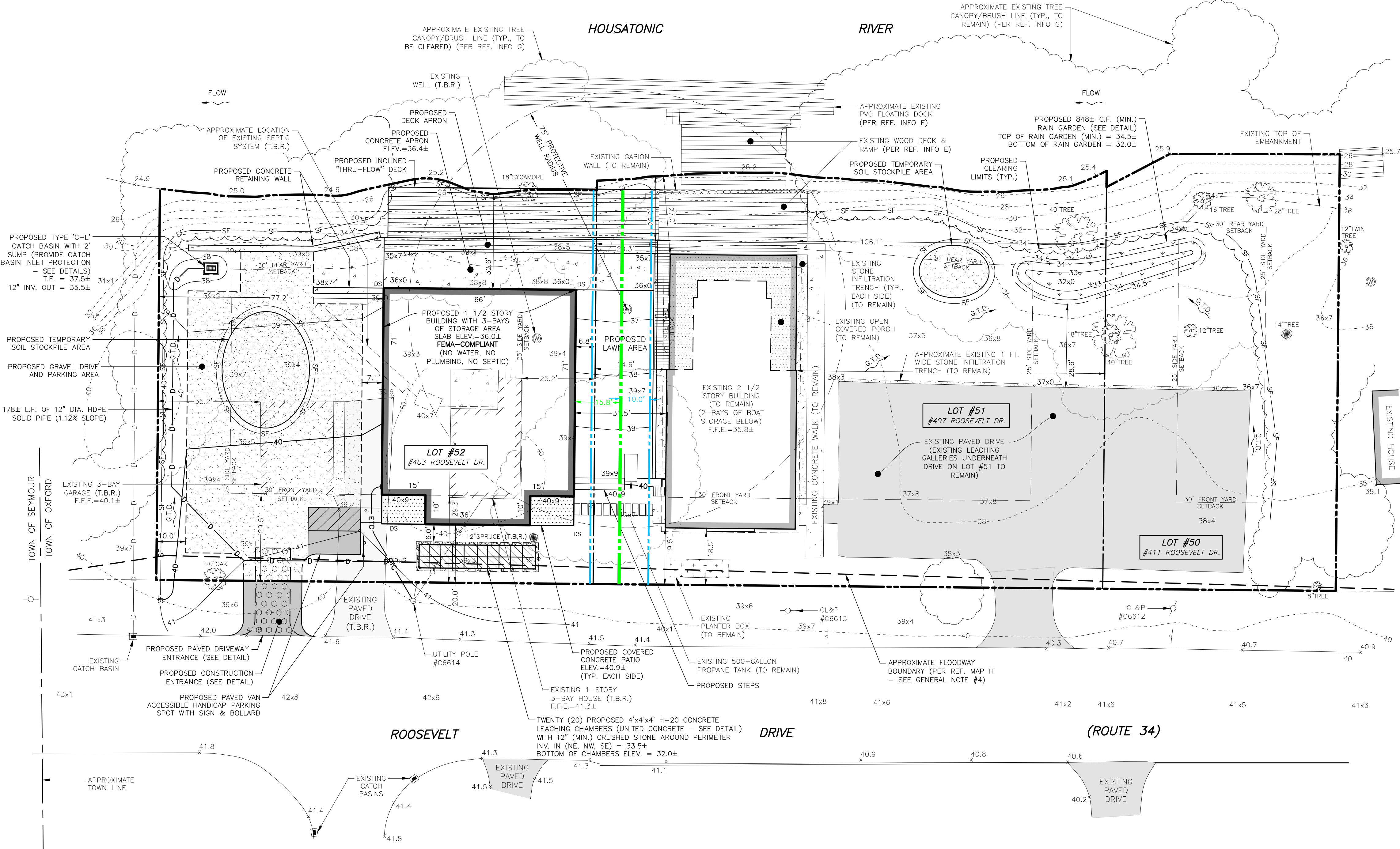
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATIONS AND INFORMATION PROVIDED BY OTHERS. THEIR ACTUAL LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL LOCATE ALL UTILITIES, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF OXFORD STANDARDS AND REGULATIONS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF OXFORD AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL.
- ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION INCLUDING A CONDOT ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL CONFIRM AND ABIDE BY ANY APPLICABLE "NO HAMMER" TIME PERIODS OF THE COMMUNITY.
- THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF OXFORD.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES, WETLANDS AND THE HOUSATONIC RIVER FROM ANY EROSION AND/OR SEDIMENTATION. SILT FENCE SHALL BE INSTALLED AS SHOWN HEREON AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE PROPOSED BUILDING WILL NOT HAVE FOOTING DRAINS. THERE ARE NO KNOWN DOWNGRADIENT SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADED GROUNDWATER DRAINS OR ANY UPGRADED SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADIENT GROUNDWATER DRAINS.
- ALL MECHANICALS SHALL BE INSTALLED AT OR ABOVE ELEVATION 47.0 IN ACCORDANCE WITH FEMA FLOOD REGULATIONS AND LOCAL FLOOD ORDINANCES. ANY BUILDING MATERIALS BELOW THE BASE FLOOD ELEVATION SHALL BE FLOOD RESISTANT.
- ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. THE CONTRACTOR SHALL GRADE THE PROPERTY IN SUCH A MANNER TO MAINTAIN EXISTING LOCAL DRAINAGE PATTERNS AND TO PREVENT EXCESS RUNOFF AND/OR PONDING ON ADJACENT PROPERTIES BOTH DURING AND AFTER CONSTRUCTION.
- GENERAL LOT GRADING AND THE FINISHED FLOOR ELEVATIONS OF THE PROPOSED BUILDINGS ARE BASED ON AVAILABLE INFORMATION. THESE ELEVATIONS MAY BE ADJUSTED BY THE CONTRACTOR TO CONFORM TO ACTUAL FIELD CONDITIONS UPON REVIEW AND APPROVAL OF THE DESIGN ENGINEER.
- THE LOCATION OF THE EXISTING SEPTIC SYSTEM ON LOT 52 (#403 ROOSEVELT DRIVE) IS SHOWN HEREON PER REFERENCE MAP A. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD LOCATE THE EXISTING SEPTIC SYSTEM AND ALL SEPTIC SYSTEM COMPONENTS ON LOT 52 SHALL BE PUMPED DRY AS NECESSARY AND REMOVED AND/OR PROPERLY ABANDONED IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE AND ALL APPLICABLE LOCAL REGULATIONS.
- THE PROPOSED BUILDING AND IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE PROJECT LAND SURVEYOR SHALL SET A STABLE BENCHMARK ON SITE ON THE CORRECT ELEVATION DATUM PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE BUILDING AND IMPROVEMENTS IN THE EXACT LOCATION SHOWN AND SHALL BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON THE LATEST SITE AND ARCHITECTURAL PLANS IN ACCORDANCE WITH VARIANCES GRANTED. ALL DIMENSIONS SHALL ACCOUNT FOR ANY SIDING OR CLADDING.
- THE ARCHITECT AND/OR STRUCTURAL ENGINEER SHALL DETERMINE FLOOD VENT REQUIREMENTS.

COMPENSATORY FLOOD STORAGE CALCULATIONS		
ITEM	ADDED VOLUME (1) (CUBIC YARDS)	REMOVED VOLUME (2) (CUBIC YARDS)
EXISTING GARAGE (3)	----	205
EXISTING HOUSE (3)	----	190
PROPOSED BOATHOUSE (4)	----	510
PROPOSED DECKING (5)	25	----
PROPOSED PARKING LOT (6)	220	----
PROPOSED AREA BETWEEN BOATHOUSES	----	185
PROPOSED RAIN GARDEN	----	30
TOTAL VOLUME	(-) 245	(+) 1,120
NET STORAGE CAPACITY	(+) 875 C.Y. (23,625± C.F. OR 176,715± GALLONS)	

- 'ADDED VOLUME' MEANS ADDED PROPOSED FILL OR BUILDING/STRUCTURE VOLUME, WHICH RESULTS IN A REDUCTION OF FLOODPLAIN FLOOD STORAGE CAPACITY.
- 'REMOVED VOLUME' MEANS REMOVED FILL OR BUILDING/STRUCTURE VOLUME, WHICH RESULTS IN AN INCREASE OF FLOODPLAIN FLOOD STORAGE CAPACITY.
- THE EXISTING GARAGE AND HOUSE DO NOT HAVE FLOOD VENTS AND FLOODWATERS CANNOT PASS THROUGH THESE BUILDINGS.
- THE PROPOSED BOATHOUSE WILL HAVE FLOOD VENTS AND WILL ALLOW FLOODWATERS TO PASS THROUGH, BASED ON THE ARCHITECTURAL DRAWINGS, IT IS ASSUMED THAT 10% OF THE BUILDING'S FLOOR AREA CONSISTS OF SOLID BUILDING MATERIAL VOLUME (I.E. WALLS, COLUMNS, ETC.).
- THE PROPOSED DECK VOLUME INCLUDES THE DECKING AND DECK FRAMING AND THE RESULTANT VOLUME FROM THE DECK IS ESTIMATED TO BE 1/3 OF A CUBIC FOOT PER SQUARE FOOT.
- THE PROPOSED PARKING LOT VOLUME INCLUDES THE DRIVEWAY, ASSOCIATED RETAINING WALLS AND RAMP AND REGRADING IN THE DRIVEWAY AREA.
- THE NET STORAGE CAPACITY EQUALS THE TOTAL 'REMOVED VOLUME' LESS THE TOTAL 'ADDED VOLUME.' A NET POSITIVE STORAGE CAPACITY REPRESENTS AN OVERALL INCREASE OF THE FLOODPLAIN FLOOD STORAGE CAPACITY.
- FEMA FLOOD ELEVATION IS BASED ON DATUM NAVD-88 PER FEMA FIRM PANEL SURVEY MAPPING APPEARS TO BE ON DATUM NGVD-29 AND THEREFORE THE VOLUMES WERE COMPUTED BY ASSUMING THE CONTOURS AND ELEVATIONS ARE APPROXIMATELY 1 FT. LESS THAN THOSE DEPICTED HEREON.

ZONING DATA TABLE			
OXFORD RESIDENTIAL A 'R-A' DISTRICT			
ITEM	REQUIRED	EXISTING (EX.)	PROPOSED (PR.)
MIN. LOT AREA	2 ACRES (1 1/2 CONTIGUOUS DRY LAND)	0.46± AC. (19,542± S.F.) (#403) (1) 0.56± AC. (24,360± S.F.) (#407) (1) 0.27± AC. (11,850± S.F.) (#411) (1)	0.46± AC. (19,542± S.F.) (NO CHANGE) (#403) (1) 0.56± AC. (24,360± S.F.) (NO CHANGE) (#407) (1) 0.27± AC. (11,850± S.F.) (NO CHANGE) (#411) (1)
MIN. FRONTAGE	200 FT.	150.00± FT. (#403) (1) 175.00± FT. (#407) (1) 80.00± FT. (#411) (1)	150.00± FT. (NO CHANGE) (#403) (1) 175.00± FT. (NO CHANGE) (#407) (1) 80.00± FT. (NO CHANGE) (#411) (1)
STREET LINE SETBACK (ROOSEVELT DRIVE)	30 FT.	28.9± FT. (EX. GARAGE, #403) (2) 29.5± FT. (EX. HOUSE, #403) (2) 18.5± FT. (EX. BOATHOUSE, #407) (2)	20.0± FT. (-8.9 FT.) (PR. BOATHOUSE, #403) 18.5± FT. (NO CHANGE) (EX. BOATHOUSE, #407) (2)
SIDE YARD SETBACK (SOUTHEAST BOUNDARY)	25 FT.	35.2± FT. (EX. GARAGE, #403) 20.3± FT. (EX. DECK, #407) (2) 24.6± FT. (EX. BOATHOUSE, #407) (2)	77.2± FT. (+42.0 FT.) (PR. BOATHOUSE, #403) 20.3± FT. (NO CHANGE) (EX. DECK, #407) (2) 24.6± FT. (NO CHANGE) (EX. BOATHOUSE, #407) (2)
SIDE YARD SETBACK (NORTHWEST BOUNDARY)	25 FT.	25.2± FT. (EX. HOUSE, #403) 105.8± FT. (EX. BOATHOUSE, #407)	6.8± FT. (-18.4 FT.) (PR. BOATHOUSE, #403) 105.8± FT. (NO CHANGE) (EX. BOATHOUSE, #407)
REAR YARD SETBACK	25 FT.	57.5± FT. (EX. BILCO, #403) 63.1± FT. (EX. HOUSE, #403) 70.5± FT. (EX. GARAGE, #403) 22.0± FT. (EX. DECK, #407) (2) 27.0± FT. (EX. BOATHOUSE, #407)	32.6± FT. (-30.5 FT.) (PR. BOATHOUSE, #403) 22.0± FT. (NO CHANGE) (EX. DECK, #407) (2) 27.0± FT. (NO CHANGE) (EX. BOATHOUSE, #407)
MAX. # OF STORIES	2 1/2 STORIES	1 STORY (EX. HOUSE, #403) (3) 1 STORY (EX. GARAGE, #403) 2 1/2 STORIES (EX. BOATHOUSE, #407) (3)	1 1/2 STORIES (PR. BOATHOUSE, #403) (3) 2 1/2 STORIES (EX. BOATHOUSE, #407) (3)
MAX. BUILDING HEIGHT	35 FT.	<35 FT. (EX. HOUSE, #403) <35 FT. (EX. GARAGE, #403) UNKNOWN (EX. BOATHOUSE, #407)	29.6± FT. (PR. BOATHOUSE, #403) (4) UNKNOWN (NO CHANGE) (EX. BOATHOUSE, #407)
MIN. FLOOR AREA	1,000 S.F. (2 STORY DWELL.) 1,400 S.F. (2 STORY DWELL.)	840± S.F. (EX. HOUSE, #403) (OTHER BLDGS. ARE NOT DWELLINGS)	(NONE OF THE BUILDINGS ARE DWELLINGS)
MAX. BUILDING/STRUCTURE COVERAGE	20% OR 3,908± S.F. (#403) 20% OR 4,872± S.F. (#407) 20% OR 2,370± S.F. (#411)	8.4% OR 1,648± S.F. (#403) (5) 17.1% OR 4,035± S.F. (#407) (5) 0% OR 0 S.F. (#411)	27.4% OR 5,346± S.F. (+18.9% OR +3,698 S.F.) (#403) (5) 17.3% OR 4,220± S.F. (+0.2% OR +57 S.F.) (#407) (5) 0% OR 0 S.F. (NO CHANGE) (#411)

- ALL OF THE PROPERTIES ARE EXISTING NON-CONFORMING LOTS OF RECORD AND DO NOT MEET THE MIN. LOT AREA OR FRONTAGE REQUIREMENTS.
- EXISTING NON-CONFORMITY:
- EXISTING NUMBER OF STORIES ESTIMATED PER ASSESSOR'S INFORMATION AND INFORMATION PROVIDED BY THE PROJECT ARCHITECT. PROPOSED NUMBER OF STORIES ESTIMATED PER ARCHITECTURAL DRAWINGS.
- THE PROPOSED BUILDING HEIGHT WAS MEASURED FROM THE LOWEST POINT OF FINISHED GRADE WITHIN 10 FEET OF THE BUILDING TO THE HIGHEST POINT OF THE ROOF. PROPOSED BUILDING HEIGHT = 65.3± (ROOF RIDGE ELEV.) 35.7± (LOWEST FINISHED INV. IN NE) 29.6± FT.
- BUILDING/STRUCTURE COVERAGE INCLUDES BUILDINGS, COVERED ENTRIES AND ATTACHED ENTRY STAIRS.



PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREN, P.E.
CT REG. NO. 21090
40 ELM STREET, 2ND FLOOR
OLD SAYBROOK, CT 06475
PHONE: (860) 388-9343
FAX: (860) 391-1854

THE EMBOSSED SEAL OF
THE ENGINEER MUST BE
AFFIXED HERE FOR THIS
MAP TO BE VALID

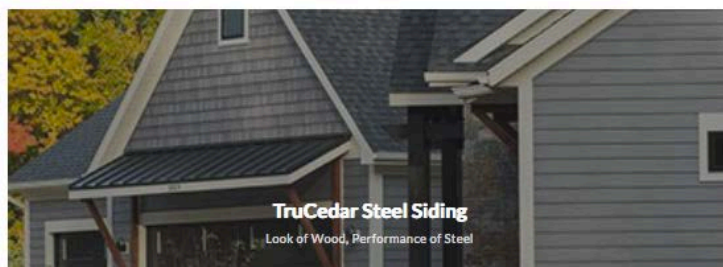
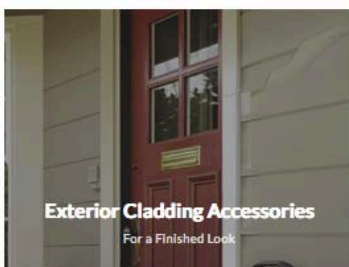
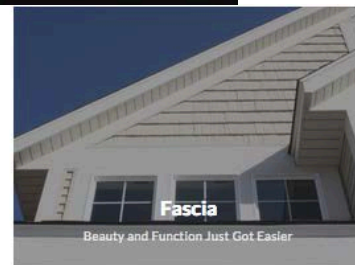
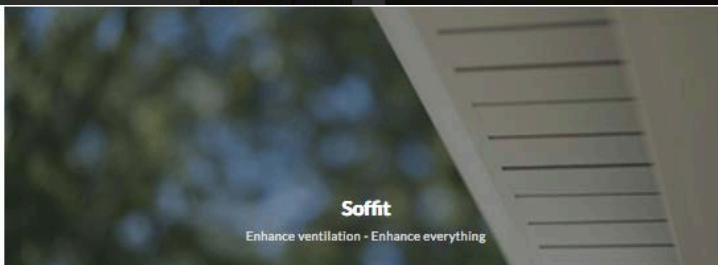
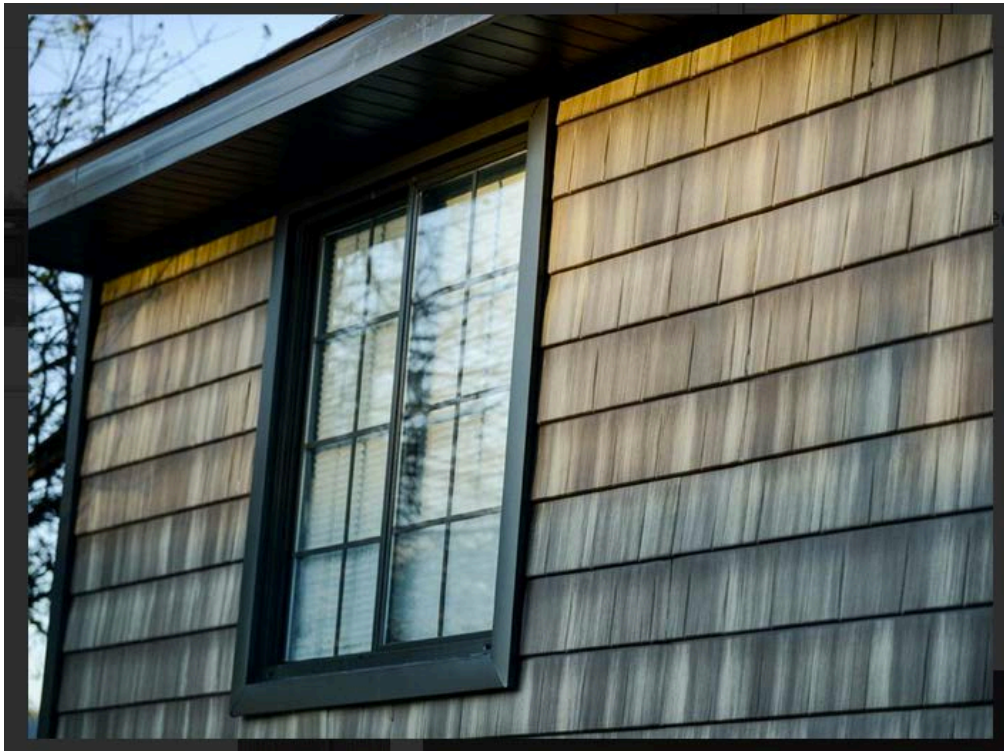
REVISIONS FOR PLANNING & ZONING COMMISSION, MSC.	REVISIONS PER TOWN ENGINEER'S COMMENTS, MSC.	GENERAL REVISIONS	DATE	DESCRIPTION
3	1/28/2020	RC		
2	1/14/2020	RC		
1	1/7/2020	RC		

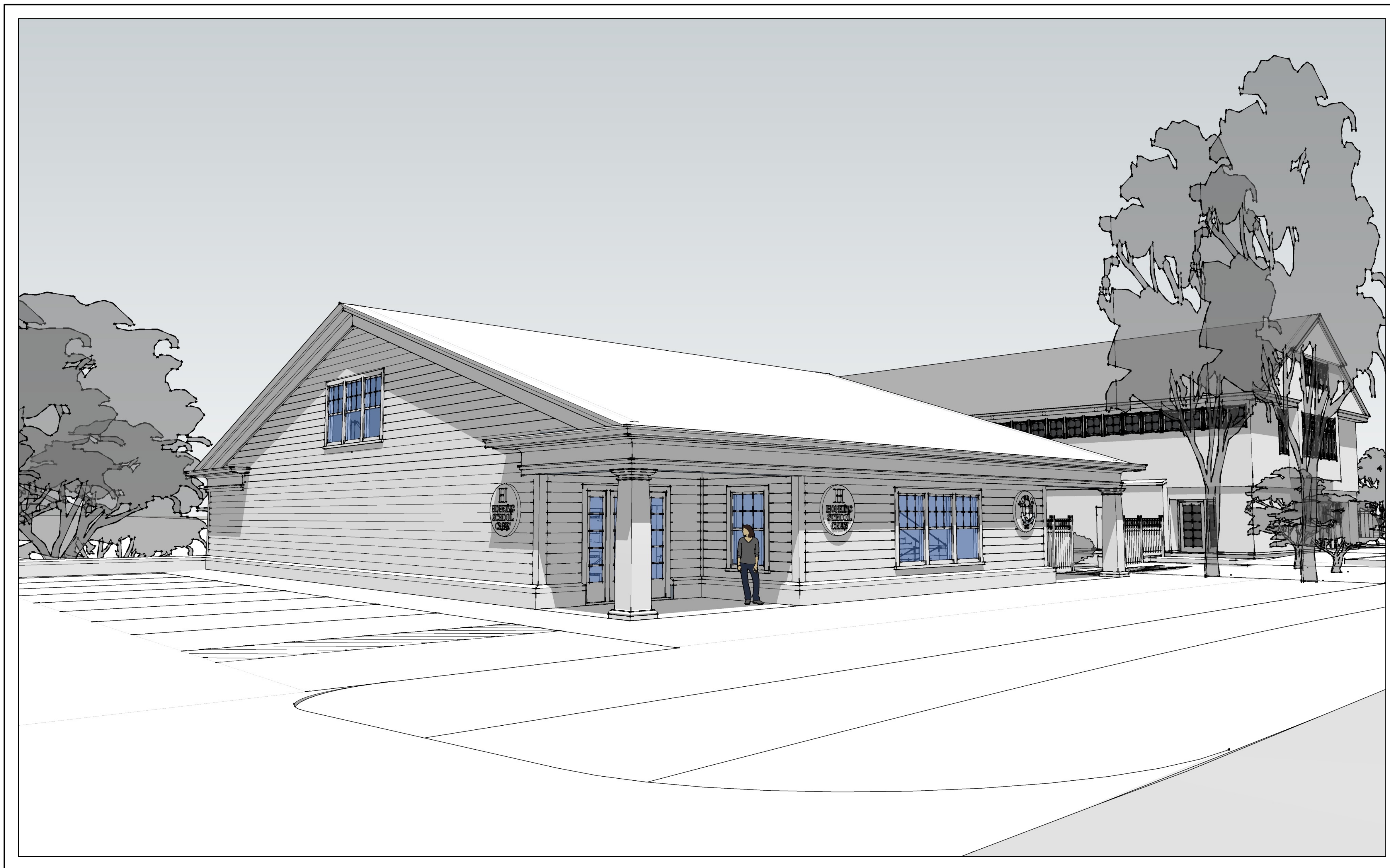
SITE PLAN
PREPARED FOR THE NEW HAVEN ROWING CLUB, INC.
403, 407 & 411 ROOSEVELT DRIVE
OXFORD, CONNECTICUT

DATE:
NOVEMBER 4, 2019
SCALE:
1"=20'
DRAWN BY:
RGW
CHECKED BY:
JW
DWG. NO.:
SP-1
SHEET NO.:
1 of 2
JOB. NO.:
2018-371

New Haven Rowing Club
Oxford Planning & Zoning
Exterior Siding

Stuart Lathers Associates LLC
May 5, 2020





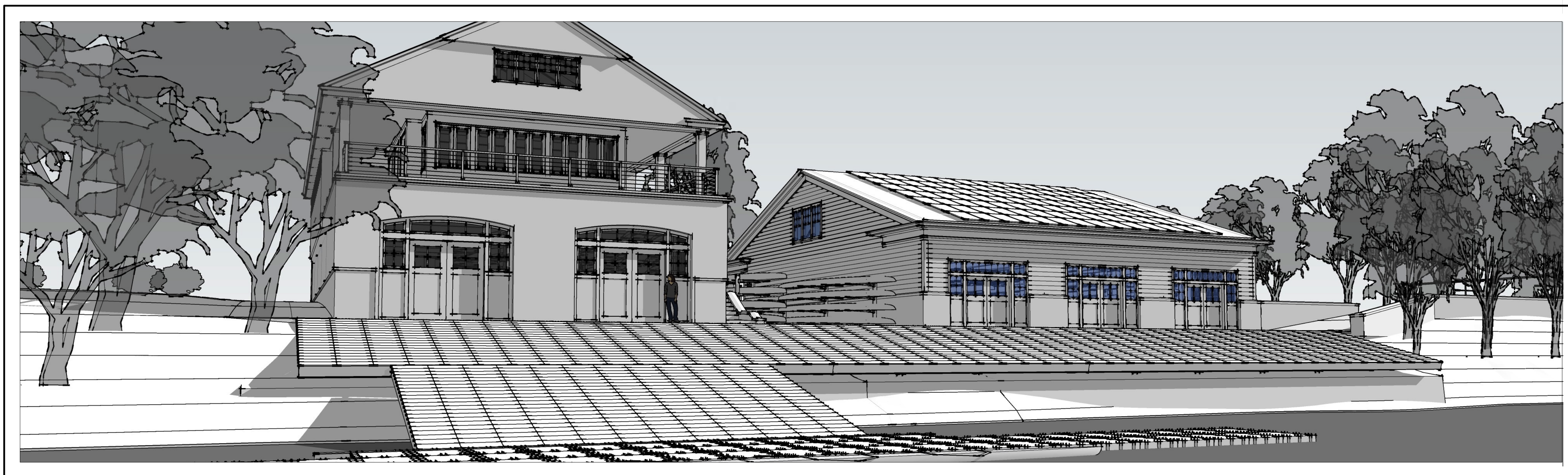
NEW HAVEN ROWING CLUB, INC., NEW BOAT STORAGE BUILDING

403-407-411 ROOSEVELT DRIVE OXFORD, CONNECTICUT 06478

FEBRUARY 2020

STUART LATHERS ASSOCIATES LLC ARCHITECTURE
319 PECK STREET, NEW HAVEN CONNECTICUT 06513
www.stuartlathers.com

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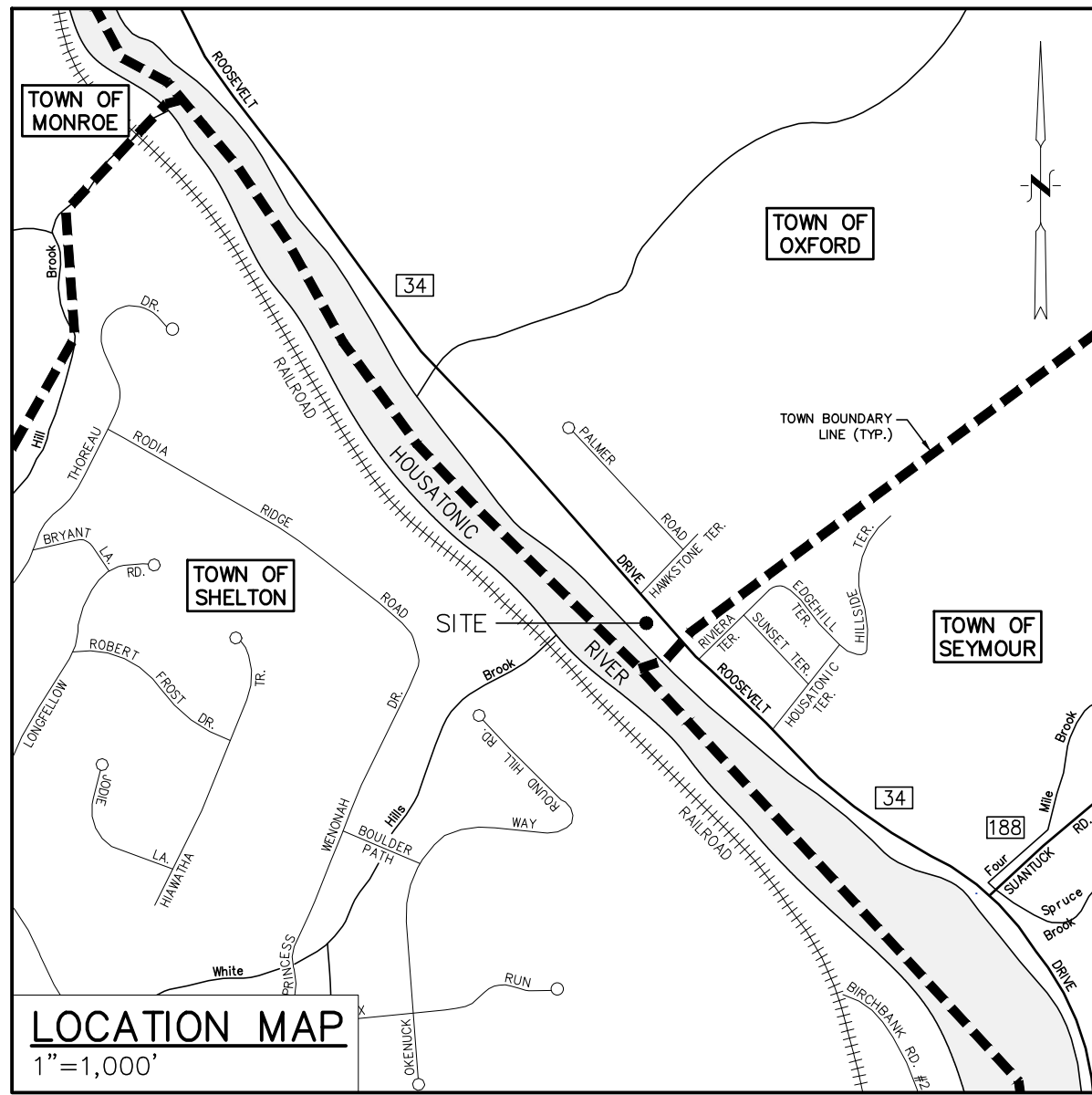
NEW HAVEN ROWING CLUB, INC., NEW BOAT STORAGE BUILDING

403-407-411 ROOSEVELT DRIVE OXFORD, CONNECTICUT 06478

FEBRUARY 2020

STUART LATHERS ASSOCIATES LLC ARCHITECTURE
319 PECK STREET, NEW HAVEN CONNECTICUT 06513
www.stuartlathers.com

© STUART LATHERS ASSOCIATES LLC 2020



GENERAL NOTES:

- THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:
 - A CLASS A-2 SURVEY MAP ENTITLED "MAP SHOWING A RESURVEY AND TOPOGRAPHIC SURVEY, 403 ROOSEVELT DRIVE, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: JULY 8, 1999, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "AS-BUILT LOCATION PLAN, PREPARED FOR NEW HAVEN ROWING CLUB, 407 ROOSEVELT DRIVE, CONNECTICUT ROUTE NO. 34, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: MAY 31, 1994, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "PLAN SHOWING A SURVEY OF LAND, PREPARED FOR NEW HAVEN ROWING CLUB, 407 ROOSEVELT DRIVE, CONNECTICUT ROUTE NO. 34, OXFORD, CONNECTICUT", SCALE: 1"=20', DATED: MAY 17, 1991, PREPARED BY JEFFREY R. JURZYNSKI LICENSED LAND SURVEYOR.
 - A SURVEY MAP ENTITLED "SURVEY OF PROPERTY, PREPARED FOR THE NEW HAVEN ROWING CLUB, INC., OF PARCEL DESIGNATED AS NO. 411 ROOSEVELT DRIVE, SITUATED IN THE TOWN OF OXFORD, COUNTRY OF NEW HAVEN, STATE OF CONNECTICUT", SCALE: 1"=10', DATED: JULY 17, 2003, PREPARED BY FLANAGAN'S SURVEYING & MAPPING.
 - ARCHITECTURAL DRAWINGS ENTITLED "PARTIAL COMPOSITE SITE/FLOOR PLAN: 2 BAY INTERIOR/SLAB/1 BAY EXTERIOR" SHOWING 403-407 ROOSEVELT DRIVE, OXFORD, CONNECTICUT, SCALE: AS NOTED, DATED: OCTOBER 30, 2019, PREPARED BY STUART LATHERS ASSOCIATES LLC.
 - AERIAL PHOTOGRAPH OF 403, 407 AND 411 ROOSEVELT DRIVE, OXFORD, CONNECTICUT AND SURROUNDING PROPERTIES, IMAGE DATED: APRIL 2018, OBTAINED FROM GOOGLE EARTH PRO.
 - AERIAL PHOTOGRAPH OF 403, 407 AND 411 ROOSEVELT DRIVE, OXFORD, CONNECTICUT AND SURROUNDING PROPERTIES, IMAGE DATED: SEPTEMBER 2017, OBTAINED FROM GOOGLE EARTH PRO.
 - A FEMA FLOOD MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 382 OF 635", MAP NUMBER: 09009C0382H, SCALE: 1"=500', EFFECTIVE DATE: DECEMBER 17, 2010, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- THE PROPERTY OWNER AND APPLICANT IS THE NEW HAVEN ROWING CLUB, INC. OF 407 ROOSEVELT DRIVE, OXFORD, CT 06478.
- THE SUBJECT PARCELS ARE IDENTIFIED AS LOTS 50, 51 & 52 (#411, #407 & #403 ROOSEVELT DRIVE, RESPECTIVELY) BLOCK 52 ON TAX ASSESSOR'S MAP 16. THE DEED REFERENCES OF THE PROPERTIES ARE VOLUME 252 PAGE 735 (#411 ROOSEVELT DRIVE), VOLUME 158 PAGE 610 (#407 ROOSEVELT DRIVE) AND VOLUME 10 PAGE 449 (#403 ROOSEVELT DRIVE). THE AREA OF THE PARCELS ARE APPROXIMATELY 0.27±, 0.56± & 0.46± ACRES (#411, #407 & #403 ROOSEVELT DRIVE, RESPECTIVELY) AND THE TOTAL AREA OF ALL THREE PARCELS IS APPROXIMATELY 1.29± ACRES.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE RESIDENTIAL A "R-A" ZONING DISTRICT. IN 1991, THE ORIGINAL PARCEL (#407) WAS GRANTED A SPECIAL EXCEPTION FOR A NON-COMMERCIAL RECREATIONAL USE AND IN 2003/2004 THE SAME USE WAS EXTENDED TO THE TWO ADJACENT LOTS (#403 & #4011) WHEN THEY WERE ACQUIRED. THE PARCELS ARE LOCATED WITHIN AN AQUIFER PROTECTION AREA. THE PARCELS ARE LOCATED WITHIN THE FLOOD PLAIN DISTRICT AND LIE BETWEEN FEMA FLOOD HAZARD ZONES AE (EL. 45) AND AE (EL. 46) AS DEPICTED ON FIRM: NEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL: 382 OF 635, MAP NUMBER: 09009C0382H, EFFECTIVE DATE: DECEMBER 17, 2010.
- THE APPLICANT IS PROPOSING TO CONSTRUCT A 1 1/2 STORY 3-BAY BOAT STORAGE BUILDING AS SHOWN. THE PROPOSED BUILDING WILL BE FULLY FLOOD VENTED AND WILL BE FULLY FEMA COMPLIANT. THE PROPOSED BUILDING WILL HAVE NO WATER SERVICE, NO PLUMBING OR SEPTIC SYSTEM. THE EXISTING DWELLING AND SEPTIC SYSTEM WILL BE REMOVED.
- THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE OXFORD PLANNING & ZONING COMMISSION, THE OXFORD CONSERVATION COMMISSION / INLAND WETLANDS AGENCY APPROVED A PLAN ON JANUARY 14, 2020.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL PROPOSED BUILDING INFORMATION.
- ALL CONTOURS AND ELEVATIONS SHOWN HEREON ARE REFERENCED TO REFERENCE MAPS A, C AND D.

CONSTRUCTION NOTES:

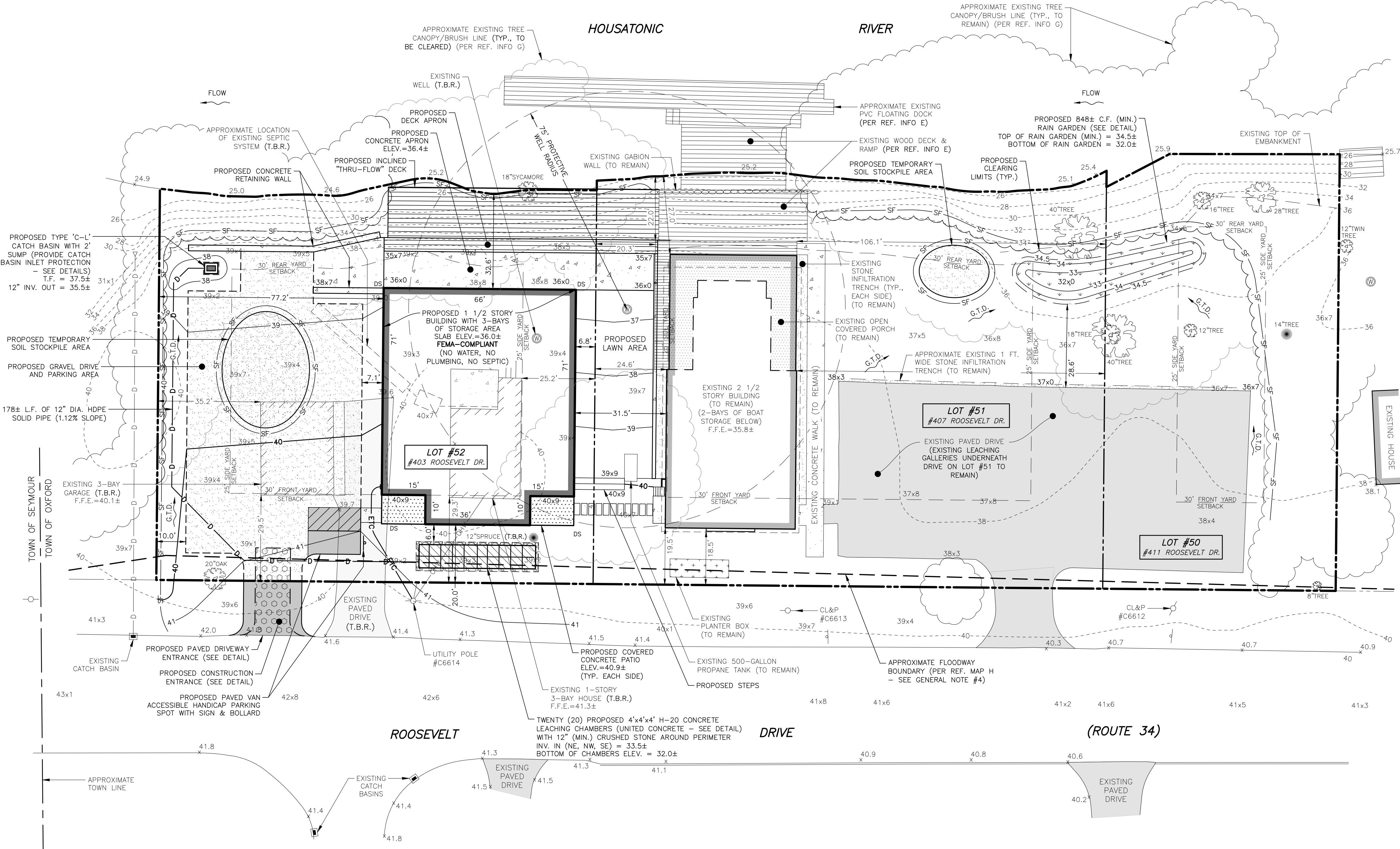
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATIONS AND INFORMATION PROVIDED BY OTHERS. THEIR ACTUAL LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL LOCATE ALL UTILITIES, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF OXFORD STANDARDS AND REGULATIONS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF OXFORD AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL.
- ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION INCLUDING A CONDOT ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL CONFIRM AND ABIDE BY ANY APPLICABLE "NO HAMMER" TIME PERIODS OF THE COMMUNITY.
- THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF OXFORD.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES, WETLANDS AND THE HOUSATONIC RIVER FROM ANY EROSION AND/OR SEDIMENTATION. SILT FENCE SHALL BE INSTALLED AS SHOWN HEREON AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE PROPOSED BUILDING WILL NOT HAVE FOOTING DRAINS. THERE ARE NO KNOWN DOWNGRADIENT SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADED GROUNDWATER DRAINS OR ANY UPGRADED SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADIENT GROUNDWATER DRAINS.
- ALL MECHANICALS SHALL BE INSTALLED AT OR ABOVE ELEVATION 47.0 IN ACCORDANCE WITH FEMA FLOOD REGULATIONS AND LOCAL FLOOD ORDINANCES. ANY BUILDING MATERIALS BELOW THE BASE FLOOD ELEVATION SHALL BE FLOOD RESISTANT.
- ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. THE CONTRACTOR SHALL GRADE THE PROPERTY IN SUCH A MANNER TO MAINTAIN EXISTING LOCAL DRAINAGE PATTERNS AND TO PREVENT EXCESS RUNOFF AND/OR PONDING ON ADJACENT PROPERTIES BOTH DURING AND AFTER CONSTRUCTION.
- GENERAL LOT GRADING AND THE FINISHED FLOOR ELEVATIONS OF THE PROPOSED BUILDINGS ARE BASED ON AVAILABLE INFORMATION. THESE ELEVATIONS MAY BE ADJUSTED BY THE CONTRACTOR TO CONFORM TO ACTUAL FIELD CONDITIONS UPON REVIEW AND APPROVAL OF THE DESIGN ENGINEER.
- THE LOCATION OF THE EXISTING SEPTIC SYSTEM ON LOT 52 (#403 ROOSEVELT DRIVE) IS SHOWN HEREON PER REFERENCE MAP A. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD LOCATE THE EXISTING SEPTIC SYSTEM AND ALL SEPTIC SYSTEM COMPONENTS ON LOT 52 SHALL BE PUMPED DRY AS NECESSARY AND REMOVED AND/OR PROPERLY ABANDONED IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE AND ALL APPLICABLE LOCAL REGULATIONS.
- THE PROPOSED BUILDING AND IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE PROJECT LAND SURVEYOR SHALL SET A STABLE BENCHMARK ON SITE ON THE CORRECT ELEVATION DATUM PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE BUILDING AND IMPROVEMENTS IN THE EXACT LOCATION SHOWN AND SHALL BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON THE LATEST SITE AND ARCHITECTURAL PLANS IN ACCORDANCE WITH VARIANCES GRANTED. ALL DIMENSIONS SHALL ACCOUNT FOR ANY SIDING OR CLADDING.
- THE ARCHITECT AND/OR STRUCTURAL ENGINEER SHALL DETERMINE FLOOD VENT REQUIREMENTS.

COMPENSATORY FLOOD STORAGE CALCULATIONS		
ITEM	ADDED VOLUME (1) (CUBIC YARDS)	REMOVED VOLUME (2) (CUBIC YARDS)
EXISTING GARAGE (3)	----	205
EXISTING HOUSE (3)	----	190
PROPOSED BOATHOUSE (4)	----	510
PROPOSED DECKING (5)	25	----
PROPOSED PARKING LOT (6)	220	----
PROPOSED AREA BETWEEN BOATHOUSES	----	185
PROPOSED RAIN GARDEN	----	30
TOTAL VOLUME	(-) 245	(+) 1,120
NET STORAGE CAPACITY	(+) 875 C.Y. (23,625± C.F. OR 176,715± GALLONS)	

- "ADDED VOLUME" MEANS ADDED PROPOSED FILL OR BUILDING/STRUCTURE VOLUME, WHICH RESULTS IN A REDUCTION OF FLOODPLAIN FLOOD STORAGE CAPACITY.
- "REMOVED VOLUME" MEANS REMOVED FILL OR BUILDING/STRUCTURE VOLUME, WHICH RESULTS IN AN INCREASE OF FLOODPLAIN FLOOD STORAGE CAPACITY.
- THE EXISTING GARAGE AND HOUSE DO NOT HAVE FLOOD VENTS AND FLOODWATERS CANNOT PASS THROUGH THESE BUILDINGS.
- THE PROPOSED BOATHOUSE WILL HAVE FLOOD VENTS AND WILL ALLOW FLOODWATERS TO PASS THROUGH, BASED ON THE ARCHITECTURAL DRAWINGS, IT IS ASSUMED THAT 10% OF THE BUILDING'S FLOOR AREA CONSISTS OF SOLID BUILDING MATERIAL VOLUME (I.E. WALLS, COLUMNS, ETC.).
- THE PROPOSED DECK VOLUME INCLUDES THE DECKING AND DECK FRAMING AND THE RESULTANT VOLUME FROM THE DECK IS ESTIMATED TO BE 1/3 OF A CUBIC FOOT PER SQUARE FOOT.
- THE PROPOSED PARKING LOT VOLUME INCLUDES THE DRIVEWAY, ASSOCIATED RETAINING WALLS AND RAMP AND REGRADING IN THE DRIVEWAY AREA.
- THE NET STORAGE CAPACITY EQUALS THE TOTAL "REMOVED VOLUME" LESS THE TOTAL "ADDED VOLUME." A NET POSITIVE STORAGE CAPACITY REPRESENTS AN OVERALL INCREASE OF THE FLOODPLAIN FLOOD STORAGE CAPACITY.
- FEMA FLOOD ELEVATION IS BASED ON DATUM NAVD-88 PER FEMA FIRM PANEL SURVEY MAPPING APPEARS TO BE ON DATUM NGVD-29 AND THEREFORE THE VOLUMES WERE COMPUTED BY ASSUMING THE CONTOURS AND ELEVATIONS ARE APPROXIMATELY 1 FT. LESS THAN THOSE DEPICTED HEREON.

ZONING DATA TABLE			
OXFORD RESIDENTIAL A 'R-A' DISTRICT			
ITEM	REQUIRED	EXISTING (EX.)	PROPOSED (PR.)
MIN. LOT AREA	2 ACRES (1 1/2 CONTIGUOUS DRY LAND)	0.46± AC. (19,542± S.F.) (#403) (1) 0.56± AC. (24,360± S.F.) (#407) (1) 0.27± AC. (11,850± S.F.) (#411) (1)	0.46± AC. (19,542± S.F.) (NO CHANGE) (#403) (1) 0.56± AC. (24,360± S.F.) (NO CHANGE) (#407) (1) 0.27± AC. (11,850± S.F.) (NO CHANGE) (#411) (1)
MIN. FRONTAGE	200 FT.	150.00± FT. (#403) (1) 175.00± FT. (#407) (1) 80.00± FT. (#411) (1)	150.00± FT. (NO CHANGE) (#403) (1) 175.00± FT. (NO CHANGE) (#407) (1) 80.00± FT. (NO CHANGE) (#411) (1)
STREET LINE SETBACK (ROOSEVELT DRIVE)	30 FT.	28.9± FT. (EX. GARAGE, #403) (2) 29.5± FT. (EX. HOUSE, #403) (2) 18.5± FT. (EX. BOATHOUSE, #407) (2)	20.0± FT. (-8.9 FT.) (PR. BOATHOUSE, #403) 18.5± FT. (NO CHANGE) (EX. BOATHOUSE, #407) (2)
SIDE YARD SETBACK (SOUTHEAST BOUNDARY)	25 FT.	35.2± FT. (EX. GARAGE, #403) 20.3± FT. (EX. DECK, #407) (2) 24.6± FT. (EX. BOATHOUSE, #407) (2)	77.2± FT. (+42.0 FT.) (PR. BOATHOUSE, #403) 20.3± FT. (NO CHANGE) (EX. DECK, #407) (2) 24.6± FT. (NO CHANGE) (EX. BOATHOUSE, #407) (2)
SIDE YARD SETBACK (NORTHWEST BOUNDARY)	25 FT.	25.2± FT. (EX. HOUSE, #403) 105.8± FT. (EX. BOATHOUSE, #407)	6.8± FT. (-18.4 FT.) (PR. BOATHOUSE, #403) 105.8± FT. (NO CHANGE) (EX. BOATHOUSE, #407)
REAR YARD SETBACK	25 FT.	57.5± FT. (EX. BILCO, #403) 63.1± FT. (EX. HOUSE, #403) 70.5± FT. (EX. GARAGE, #403) 22.0± FT. (EX. DECK, #407) (2) 27.0± FT. (EX. BOATHOUSE, #407)	32.6± FT. (-30.5 FT.) (PR. BOATHOUSE, #403) 22.0± FT. (NO CHANGE) (EX. DECK, #407) (2) 27.0± FT. (NO CHANGE) (EX. BOATHOUSE, #407)
MAX. # OF STORIES	2 1/2 STORIES	1 STORY (EX. HOUSE, #403) (3) 1 STORY (EX. GARAGE, #403) 2 1/2 STORIES (EX. BOATHOUSE, #407) (3)	1 1/2 STORIES (PR. BOATHOUSE, #403) (3) 2 1/2 STORIES (EX. BOATHOUSE, #407) (3)
MAX. BUILDING HEIGHT	35 FT.	<35 FT. (EX. HOUSE, #403) <35 FT. (EX. GARAGE, #403) UNKNOWN (EX. BOATHOUSE, #407)	29.6± FT. (PR. BOATHOUSE, #403) (4) UNKNOWN (NO CHANGE) (EX. BOATHOUSE, #407)
MIN. FLOOR AREA	1,000 S.F. (2 STORY DWELL.) 1,400 S.F. (2 STORY DWELL.)	840± S.F. (EX. HOUSE, #403) (OTHER BLDGS. ARE NOT DWELLINGS)	(NONE OF THE BUILDINGS ARE DWELLINGS)
MAX. BUILDING/STRUCTURE COVERAGE	20% OR 3,908± S.F. (#403) 20% OR 4,872± S.F. (#407) 20% OR 2,370± S.F. (#411)	8.4% OR 1,648± S.F. (#403) (5) 17.1% OR 4,035± S.F. (#407) (5) 0% OR 0 S.F. (#411)	27.4% OR 5,346± S.F. (+18.9% OR +3,698 S.F.) (#403) (5) 17.3% OR 4,220± S.F. (+0.2% OR +57 S.F.) (#407) (5) 0% OR 0 S.F. (NO CHANGE) (#411)

- ALL OF THE PROPERTIES ARE EXISTING NON-CONFORMING LOTS OF RECORD AND DO NOT MEET THE MIN. LOT AREA OR FRONTAGE REQUIREMENTS.
- EXISTING NON-CONFORMITY:
- EXISTING NUMBER OF STORIES ESTIMATED PER ASSESSOR'S INFORMATION AND INFORMATION PROVIDED BY THE PROJECT ARCHITECT. PROPOSED NUMBER OF STORIES ESTIMATED PER ARCHITECTURAL DRAWINGS.
- THE PROPOSED BUILDING HEIGHT WAS MEASURED FROM THE LOWEST POINT OF FINISHED GRADE WITHIN 10 FEET OF THE BUILDING TO THE HIGHEST POINT OF THE ROOF. PROPOSED BUILDING HEIGHT = 65.3± (ROOF RIDGE ELEV.) - 29.6± FT.
- BUILDING/STRUCTURE COVERAGE INCLUDES BUILDINGS, COVERED ENTRIES AND ATTACHED ENTRY STAIRS.



SITE PLAN
PREPARED FOR THE NEW HAVEN ROWING CLUB, INC.
403, 407 & 411 ROOSEVELT DRIVE
OXFORD, CONNECTICUT

DATE:
NOVEMBER 4, 2019
SCALE:
1"=20'
DRAWN BY:
RGW
CHECKED BY:
JW
DWG. NO.:
SP-1
SHEET NO.:
1 of 2
JOB. NO.:
2018-371

PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREN, P.E.
CT REG. NO. 21090
40 ELM STREET, 2ND FLOOR
OLD SAYBROOK, CT 06475
PHONE: (860) 388-9343
FAX: (860) 391-1854

THE EMBOSSED SEAL OF
THE ENGINEER MUST BE
AFFIXED HERE FOR THIS
MAP TO BE VALID

REVISIONS FOR PLANNING & ZONING COMMISSION, MSC.	REVISIONS PER TOWN ENGINEER'S COMMENTS, MSC.	GENERAL REVISIONS	DATE	DESCRIPTION
3	1/28/2020	RG		
2	1/14/2020	RG		
1	1/7/2020	JW		

SOIL EROSION & SEDIMENTATION CONTROL PLAN NARRATIVE

THE SITE CONTRACTOR MUST FOLLOW ALL GUIDELINES SET FORTH IN THE MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS MANUAL IS ALSO KNOWN AS DEP BULLETIN 34.

PROJECT DESCRIPTION

THE APPLICANT IS PROPOSING TO CONSTRUCT A SINGLE STORY 3-BAY BOAT STORAGE BUILDING AS SHOWN. THE PROPOSED BUILDING WILL BE FULLY FLOOD VENTED AND WILL BE FULLY FEMA COMPLIANT. THE PROPOSED BUILDING WILL HAVE NO WATER SERVICE, NO PLUMBING OR SEPTIC SYSTEM. THE EXISTING DWELLING AND SEPTIC SYSTEM WILL BE REMOVED.

CONSTRUCTION IS ANTICIPATED TO COMMENCE IN SPRING 2020. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. E & S CONTROLS SHALL BE MAINTAINED AND REPAIRED OR REPLACED AS NEEDED THROUGHOUT THE CONSTRUCTION DURATION. ALL E & S CONTROLS SHALL BE REMOVED AND PROPERLY DISPOSED OF AS SOON AS THE SITE IS COMPLETELY STABILIZED.

CONSTRUCTION SEQUENCE

1. CONTACT "CALL BEFORE YOU DIG" TO MARK OUT ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. ENSURE ALL LAND USE PERMITS HAVE BEEN SECURED. OBTAIN ALL NECESSARY PERMITS.
3. LAND SURVEYOR TO STAKE OUT CLEARING LIMITS & PROPOSED IMPROVEMENTS.
4. INSTALL ALL EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION ENTRANCE.
5. REMOVE ALL TREES, BRUSH AND STUMPS WITHIN CLEARING LIMITS.
6. ROUGH GRADE DRIVEWAY AND PARKING AREA.
7. STRIP AND STOCKPILE TOPSOIL AND OTHER EXCAVATED SOILS IN AREA(S) SHOWN ON PLAN. APPLY TEMPORARY SEED MIXTURE TO PILES IF THEY WILL NOT BE DISTURBED FOR MORE THAN 30 DAYS.
8. CONSTRUCT THE FOUNDATION FOR THE PROPOSED BOATHOUSE.
9. FRAME AND CONSTRUCT THE PROPOSED BOATHOUSE.
10. INSTALL PROPOSED STORMWATER INFILTRATION SYSTEM AND RAIN GARDEN.
11. CONNECT ALL UTILITIES FROM WITHIN THE PROPOSED BOATHOUSE.
12. FINISH GRADE DRIVEWAY AND PARKING AREA PER PLAN.
13. FINISH GRADE, SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED.
14. REMOVE ALL EROSION AND SEDIMENT CONTROLS ONCE SITE IS COMPLETELY STABILIZED. DISPOSE OF PROPERLY.

LAND DISTURBANCE

1. ALL EXISTING VEGETATION OUTSIDE OF THE CLEARING LIMITS SHALL BE PROTECTED. EXISTING VEGETATION SHALL BE REMOVED ONLY IN AREAS NECESSARY FOR SITE CONSTRUCTION ACTIVITIES. ANY ADDITIONAL CLEARING OUTSIDE OF THE PROPOSED CLEARING LIMITS SHALL BE APPROVED BY TOWN STAFF PRIOR TO CLEARING.
2. ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO SITE DEVELOPMENT.
3. ALL CONSTRUCTION EQUIPMENT, MATERIALS AND STOCKPILES SHALL NOT BE PLACED OUTSIDE OF THE DISTURBED AREAS.
4. ALL TREES, BRUSH, STUMPS, WOOD CHIPS OR OTHER ORGANIC MATTER SHALL BE DISPOSED OF PROPERLY OFF-SITE. WOOD CHIPS MAY BE USED AS A SILTATION BARRIER DURING CONSTRUCTION AND SPREAD AFTER SITE IS STABILIZED. NO ORGANIC MATTER INCLUDING TREES, BRUSH AND STUMPS SHALL BE BURIED ON-SITE.

STRIPPING AND STOCKPILING

ALL STOCKPILES THAT CONSIST OF ERODIBLE MATERIALS SHALL BE LOCATED WITHIN AREAS AS SHOWN ON THE SITE PLAN AND SURROUNDED BY A SILTATION BARRIER. ANY STOCKPILE THAT WILL REMAIN UNDISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE SEEDDED WITH A TEMPORARY GRASS SEED MIXTURE TO PREVENT EXCESSIVE EROSION AND SEDIMENTATION.

TRENCH EXCAVATION AND BACKFILL

THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL BACKFILLED EXCAVATIONS. ANY DEPRESSIONS DUE TO SETTLING IN THESE AREAS SHALL BE FILLED AND RESEDED AS NECESSARY.

THE WIDTH OF ALL EXCAVATED TRENCHES SHALL BE KEPT AS NARROW AS PRACTICABLE TO ACCOMMODATE THE WORK. ALL MATERIALS EXCAVATED FROM TRENCHES SHALL BE STOCKPILED AND USED AS TRENCH BACKFILL MATERIAL UNLESS IT IS DETERMINED TO BE UNSUITABLE BY THE ENGINEER. EXCESS MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROLS

ALL ADJACENT PROPERTIES AND RECEIVING WATERCOURSES AND / OR WETLAND AREAS SHALL BE ADEQUATELY PROTECTED FROM SOIL EROSION AND SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION.

ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED BY THE TOWN AND SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS BEFORE, DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ALL EROSION AND SEDIMENT CONTROLS ONCE THE SITE IS COMPLETELY STABILIZED.

ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER ALL RAINFALL EVENTS. E & S CONTROLS SHALL BE REPAIRED OR REPLACED AS NECESSARY WITHIN 24 HOURS THROUGHOUT THE CONSTRUCTION DURATION.

IF NECESSARY, A TEMPORARY FILTER FABRIC SILT BARRIER SHALL BE PLACED BENEATH THE GRATE OF THE PROPOSED CATCH BASIN TO PREVENT ANY SILTATION OF THE DRAINAGE SYSTEM. THE FILTER FABRIC SHALL BE REMOVED IMMEDIATELY AFTER THE SURROUNDING AREAS ARE ADEQUATELY STABILIZED.

ALL ACCUMULATED SEDIMENTS AT ALL EROSION AND SEDIMENT CONTROLS SHALL BE PERIODICALLY REMOVED AND SPREAD IN AREAS THAT ARE NOT SUBJECT TO EROSION.

THE CONTRACTOR SHALL EMPLOY BEST MANAGEMENT PRACTICES TO CONTROL STORMWATER DISCHARGES AND TO PREVENT EROSION AND SEDIMENTATION AND TO OTHERWISE PREVENT POLLUTION OF WETLANDS OR WATERCOURSES OR PRIVATE PROPERTY. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE TOWN OF ANY PROBLEMS INVOLVING EROSION AND/OR SEDIMENTATION THAT HAVE DEVELOPED IN THE COURSE OF, OR THAT ARE CAUSED BY, THE AUTHORIZED WORK.

THE RESPONSIBLE CONTACT PERSON FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS ON THIS PROJECT WILL BE THE SITE CONTRACTOR AND / OR THE GENERAL CONTRACTOR. ONCE THE GENERAL CONTRACTOR IS SELECTED, CONTACT INFORMATION WILL BE PROVIDED TO THE TOWN.

VEGETATIVE TURF ESTABLISHMENT PROCEDURE

SCARIFY ALL AREAS TO BE TOPSOILED AND SEEDDED. APPLY A MINIMUM OF 4 INCHES OF TOPSOIL ON ALL AREAS TO BE SEEDDED. APPLY GRASS SEED, LIME, FERTILIZER AND MULCH ACCORDING TO THE FOLLOWING SCHEDULE:

PERMANENT SEED MIXTURE:	
CREeping RED FESCUE	0.45 LBS. PER 1,000 SQ. FT.
RED TOP	0.05
TALL FESCUE	0.45
TOTAL	0.95

FERTILIZER:
10-10-10 APPLY AT 7.5 LBS. PER 1,000 SQ. FT.

LIMESTONE:
APPLY AT 150 LBS. PER 1,000 SQ. FT.

MULCHING:
SPREAD HAY OR STRAW OVER ALL AREAS AFTER SEEDING. USE 1 1/2 TO 2 BALES PER 1,000 SQ. FT. TARGET FOR 100% COVERAGE. ANCHOR BY USING NETTING OR TRACKING AS NECESSARY.

TEMPORARY EROSION CONTROL BLANKETS

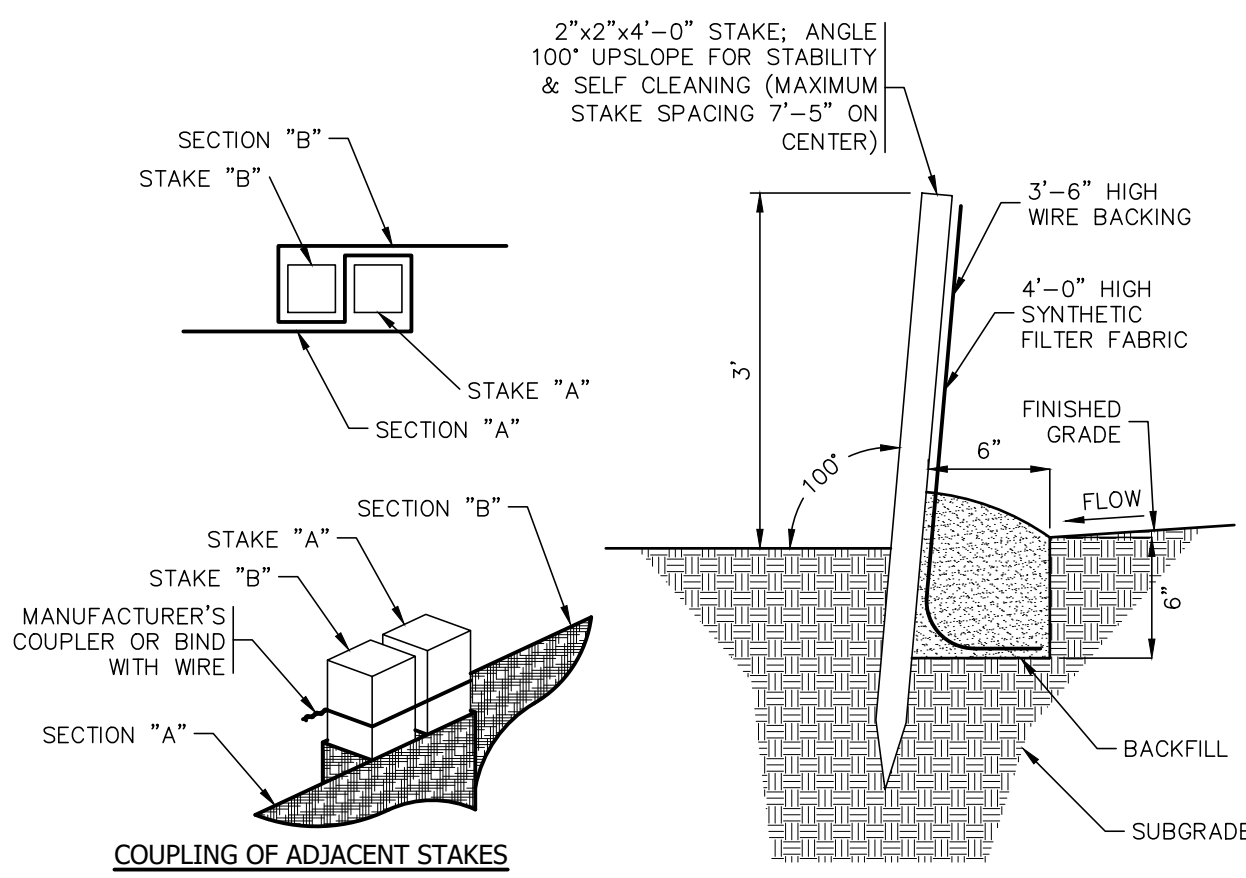
USE TEMPORARY EROSION CONTROL BLANKETS ON ALL SEEDDED SLOPES STEEPER THAN 3 (H) TO 1 (V) AND/OR AS DIRECTED BY THE DESIGN ENGINEER.

SEEDING DATES

SEEDING DATES IN CONNECTICUT ARE NORMALLY APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1. SEED GERMINATION NORMALLY CANNOT BE EXPECTED FROM NOVEMBER THROUGH FEBRUARY. IF ADEQUATE SEED GERMINATION IS NOT POSSIBLE DUE TO TIME OF YEAR CONSTRAINTS, MULCHING SHALL BE ADEQUATELY PROVIDED TO PROTECT THE SEED FROM WIND AND SURFACE EROSION UNTIL THE WEATHER IMPROVES AND THE SEEDING BECOMES WELL ESTABLISHED.

DRAINAGE SYSTEM MAINTENANCE

IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN THE RAIN GARDEN AND DRAINAGE SYSTEM TO ENSURE PROPER FUNCTION AND EFFICIENT OPERATION.

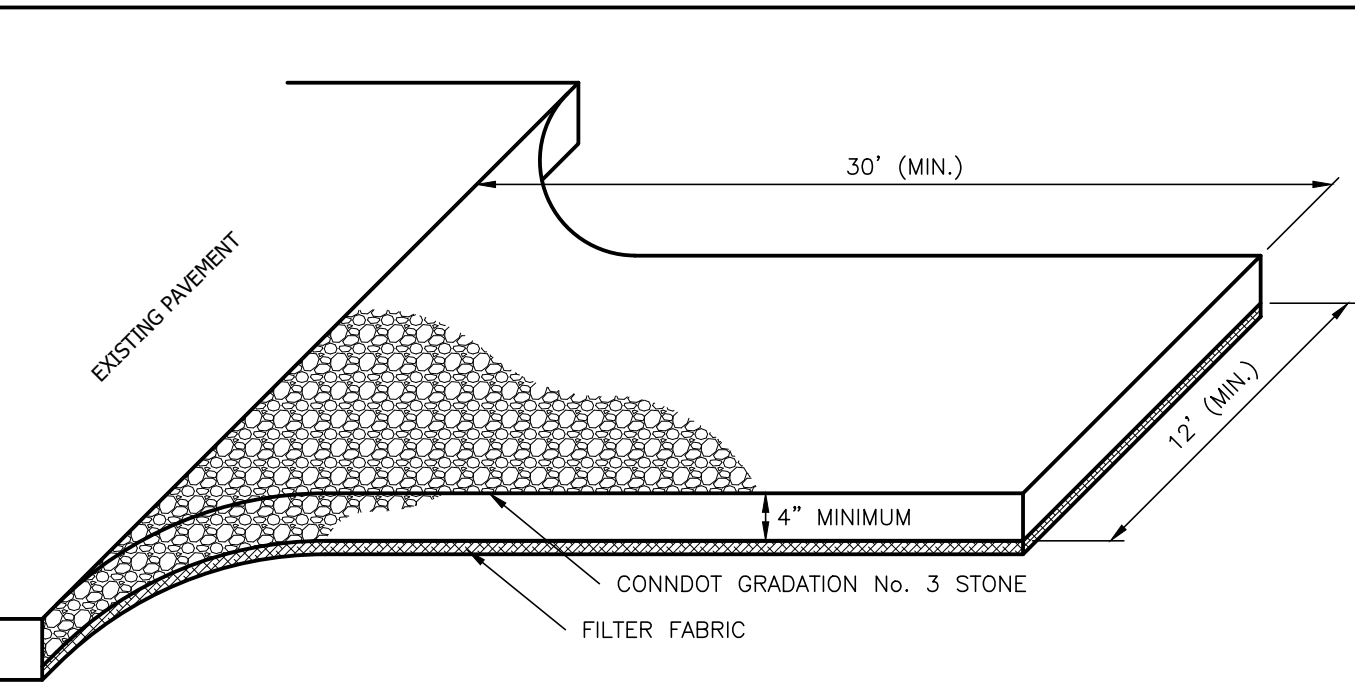


NOTES:

1. ALL SILT FENCE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL RAINFALL EVENTS. REPAIRS SHALL BE MADE IMMEDIATELY TO KEEP THE SILTATION CONTROL BARRIER EFFECTIVE.

SILT FENCE BARRIER DETAIL

NOT TO SCALE

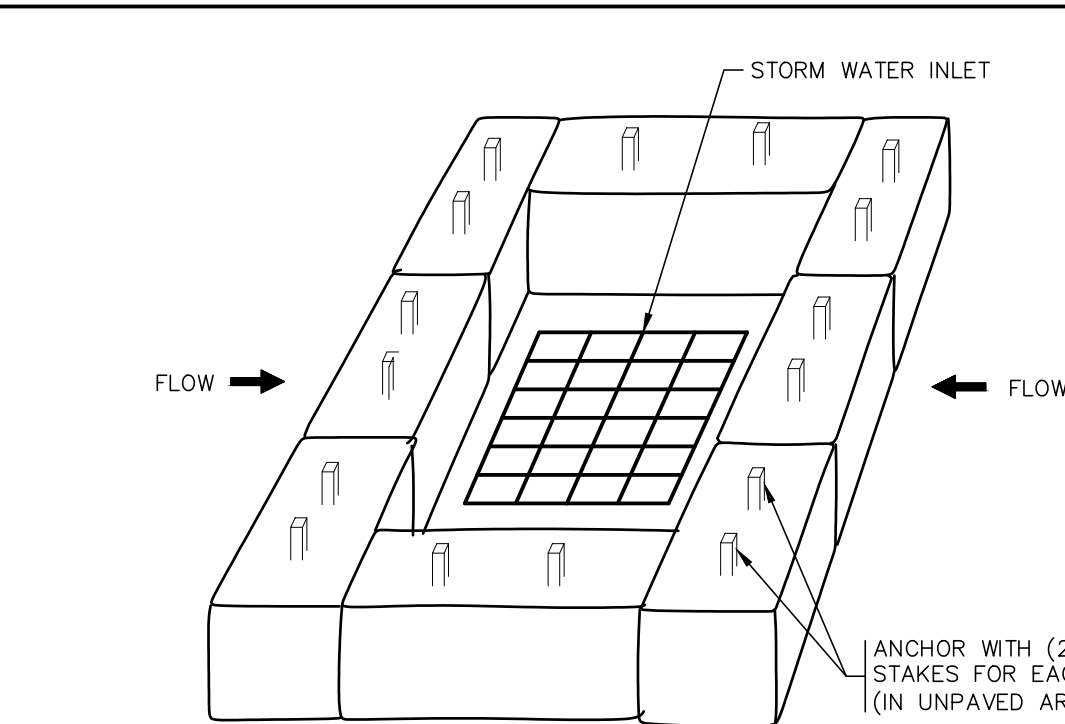


NOTES:

1. REMOVE TOPSOIL AND ORGANICS BEFORE PLACING FILTER FABRIC AND ANGULAR STONE.
2. REDRESS STONE THROUGHOUT CONSTRUCTION AS NEEDED.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

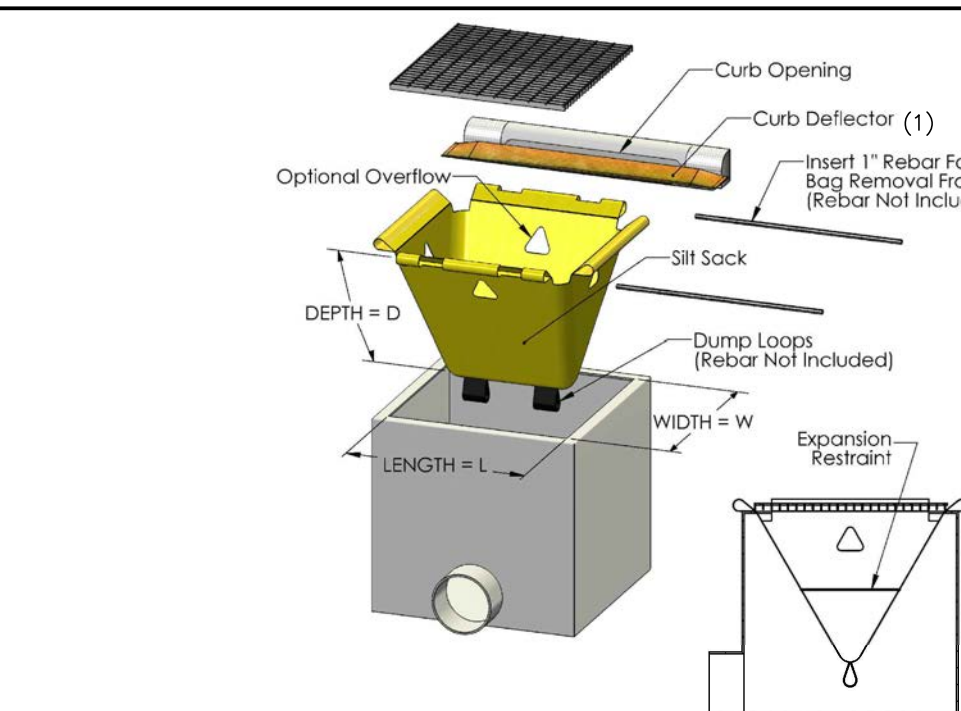


NOTES:

1. BARRIER SHALL BE PLACED AT ALL INLETS WITHIN THE WORK AREA AND MAINTAINED UNTIL WORK IS COMPLETED IN THAT AREA AND THE SURROUNDING AREA IS STABILIZED.
2. A 'SILT SACK' BARRIER MAY BE USED IN LIEU OF A HAY BALE BARRIER (SEE DETAIL THIS SHEET).
3. ALL BARRIERS SHALL BE REMOVED AS SOON AS THE SURROUNDING AREAS ARE ADEQUATELY STABILIZED WITH VEGETATION.

HAY BALE INSTALLATION AT CATCH BASIN DETAIL

NOT TO SCALE

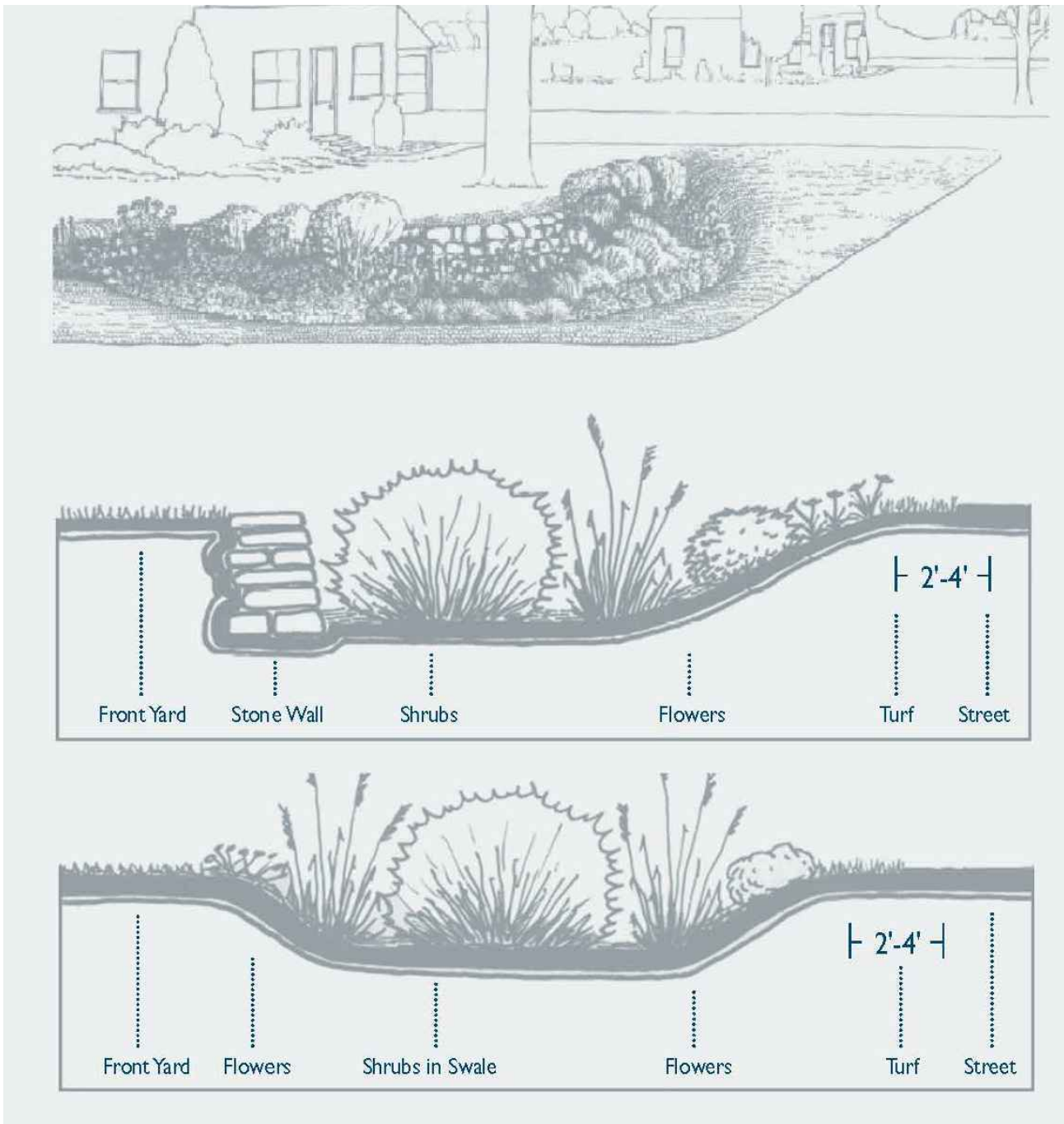


NOTE:

1. CURB DEFLECTOR IS ONLY REQUIRED FOR TYPE 'C' CATCH BASINS.

CATCH BASIN INLET PROTECTION - SILT SACK DETAIL

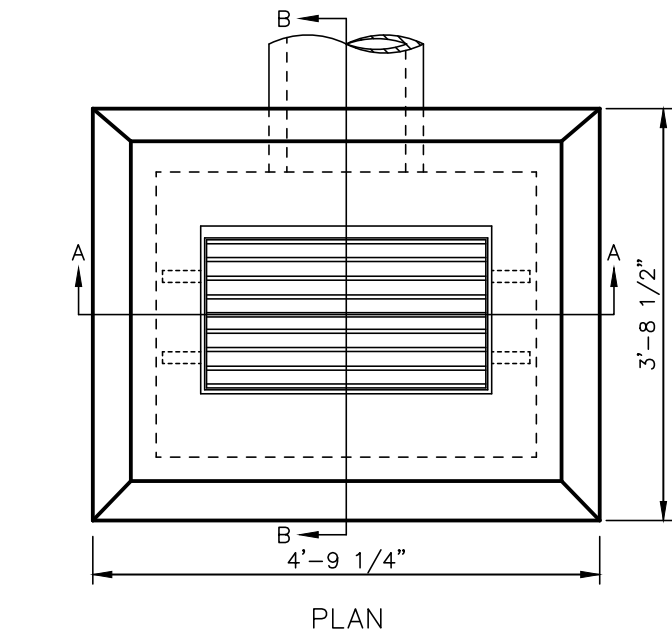
NOT TO SCALE



CONNECTICUT DEEP STORMWATER QUALITY MANUAL -

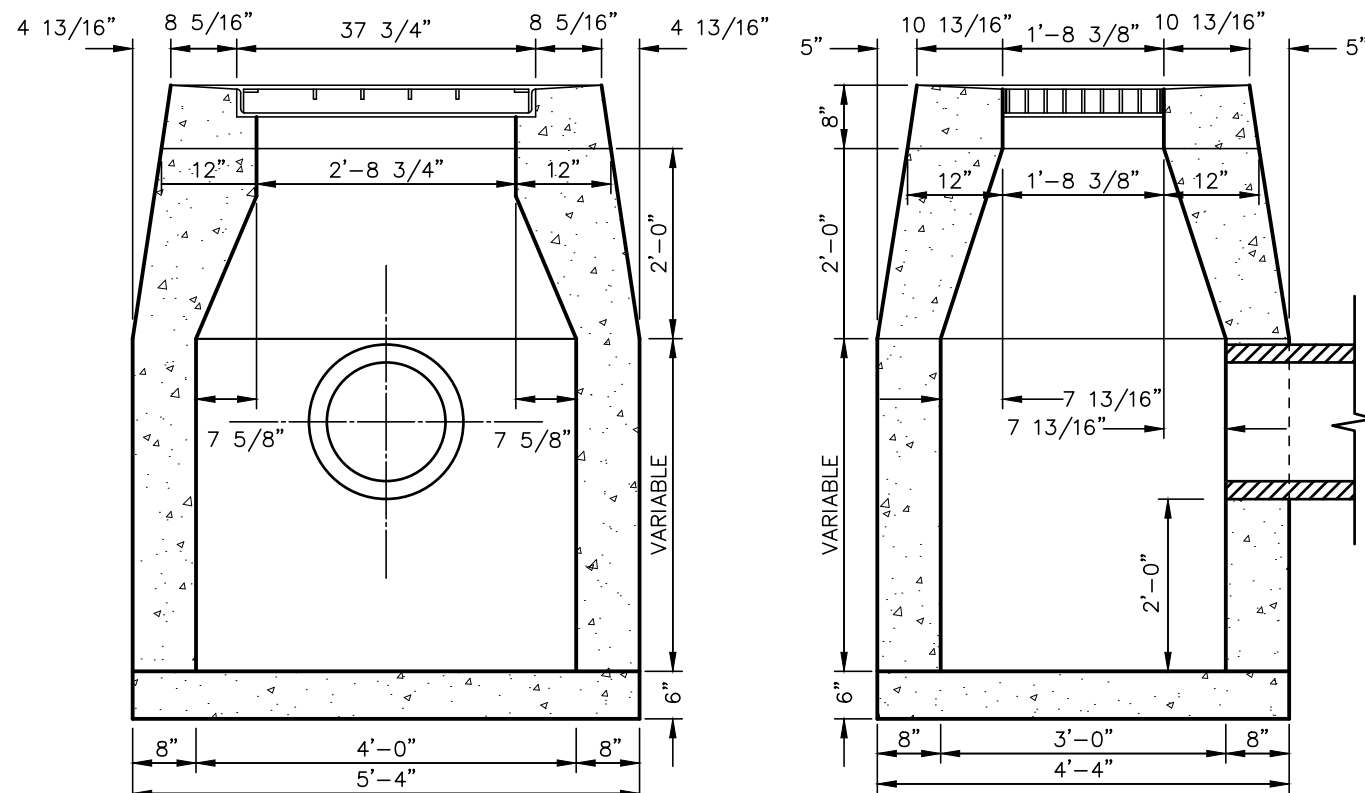
TYPICAL RAIN GARDEN DETAIL

NOT TO SCALE



NOTES:

1. REMOVE HAYBALES OR FILTER FABRIC SILT BARRIER AFTER PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
2. CLEAN SUMPS AFTER REMOVAL OF BARRIER.
3. CATCH BASINS SHALL BE PRECAST UNITS.
4. ALL CATCH BASINS SHALL HAVE 2" SUMPS UNLESS OTHERWISE SPECIFIED.
5. ALL GRATES SHALL BE CONDOT TYPE 'A'.
6. ALL VOIDS AROUND PIPES ENTERING ALL EXISTING AND PROPOSED CATCH BASINS SHALL BE FIRMLY MORTARED.

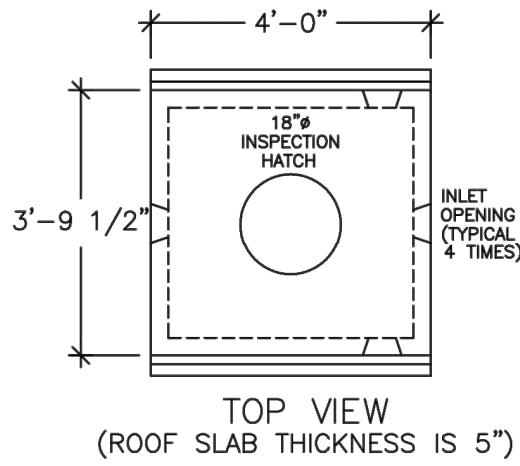


SECTION A-A

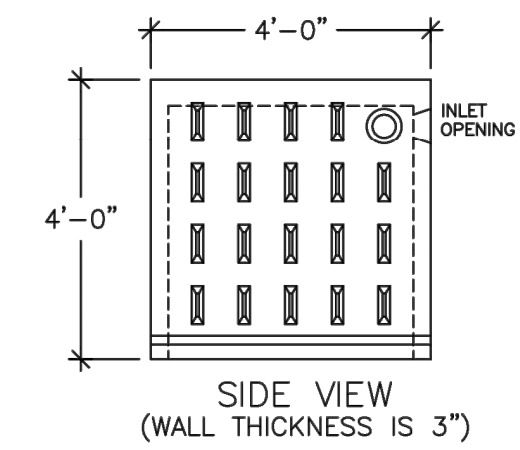
SECTION B-B

TYPE "C-L" CATCH BASIN DETAIL

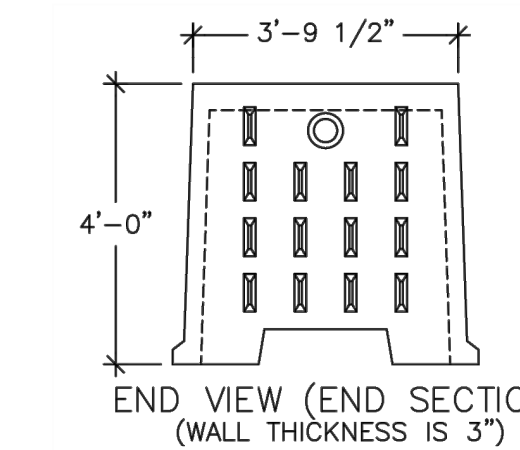
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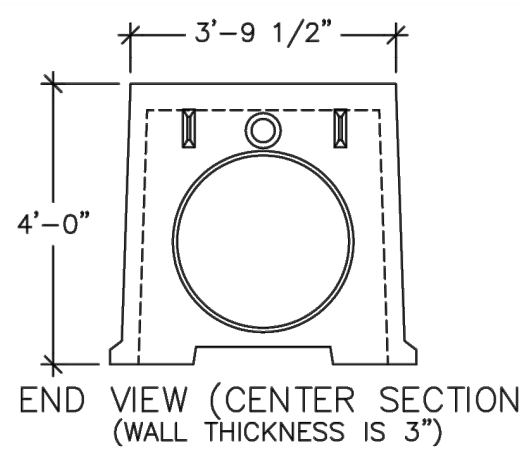
TOP VIEW
(ROOF SLAB THICKNESS IS 5")



SIDE VIEW
(WALL THICKNESS IS 3")



END VIEW (END SECTION)
(WALL THICKNESS IS 3")



END VIEW (CENTER SECTION)
(WALL THICKNESS IS 3")

UNITED CONCRETE 4'x4'x4' H-20 LEACHING CHAMBER

NOT TO SCALE

WEIGHT CHART	
PRODUCT	APPROX. WEIGHT
4'x4'x4' GALLERY	2200 LBS.

LEACHING DATA

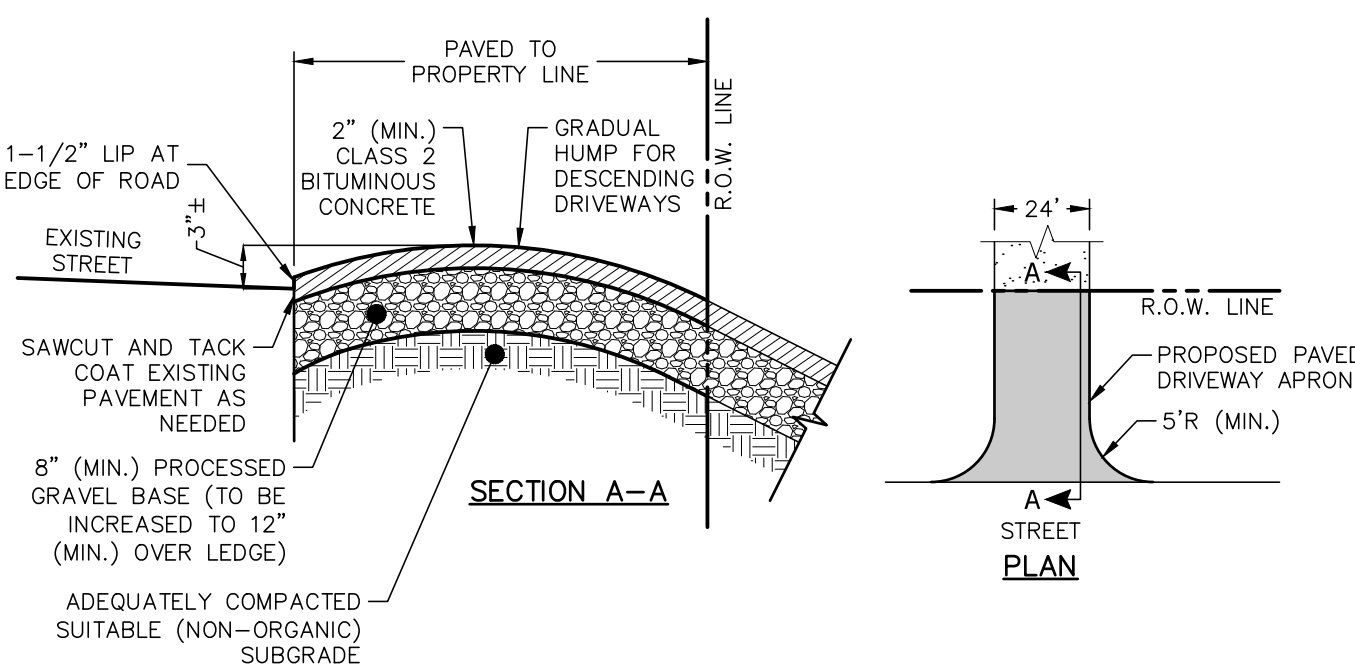
FLOW LINE (INCHES)	LEACHING (GAL/LF)	LEACHING (FT-2/UNIT)	INSIDE CAPACITY (GALLONS)
38	9.2	36.8	330

GALLERY DESIGN SPECIFICATIONS

CONFORMS TO LATEST:
ASTM DESIGNATION C913

NOTES:

1. PIPE INLET LOCATIONS HAVE 4" DIAMETER KNOCKOUTS, TYPICAL. CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
4. METHOD OF MANUFACTURE: WET CAST.
5. SECTION IS MONOLITHIC.
6. THE GALLERY IS DESIGNED FOR HS-20 LOADING w/18" OF SOIL COVER.



DESCENDING DRIVEWAY DETAIL

NOT TO SCALE

NOTES:

1. SUBBASE MUST BE SHAPED AND PROPERLY COMPACTED PRIOR TO THE PLACEMENT OF BASE.
2. ALL BRUSH, TREES AND ANY OTHER OBSTRUCTIONS SHALL BE CLEARED AND REMOVED FOR A DISTANCE OF 3 FEET BEYOND THE EDGE OF PAVEMENT ALONG BOTH SIDES FOR THE ENTIRE LENGTH OF THE DRIVEWAY, AND TO A HEIGHT OF 12 FEET ABOVE THE DRIVEWAY SURFACE.
3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CONNECTICUT D.O.T. STANDARD SPECIFICATIONS.
4. A 1-1/2" LIP AND A GRADUAL HUMP SHALL BE PROVIDED AS SHOWN TO PREVENT RUNOFF FROM ENTERING THE DRIVEWAY.
5. GRADUAL HUMP SHALL BE CONSTRUCTED IN A MANNER SO THAT STANDARD PASSENGER CARS CAN EASILY TRAVERSE IT UP ON ENTERING AND EXITING THE DRIVEWAY.
6. TACK COAT AND SEALER SHALL BE APPLIED BETWEEN ROADWAY AND DRIVEWAY APRON.
7. PROPOSED DRIVEWAY SHALL PITCH TOWARD THE CATCH BASIN.

STORMWATER CALCULATIONS:

TREATED RUNOFF ON LOTS #50 & #51

FIRST INCH OF RAINFALL FROM NET INCREASE IN IMPERVIOUS SURFACE AREA:
(INCLUDES EXISTING PAVED DRIVE AND CONC. WALK ON NW SIDE OF BUILDING)*
9,948 S.F. x 1" RUNOFF x (1/12) = 829 C.F.

PROPOSED STORAGE CAPACITY***:
(RAIN GARDEN)
848± S.F.

848± C.F. PROVIDED > 829 C.F. REQUIRED -- O.K.

TREATED RUNOFF ON LOT #52

FIRST INCH OF RAINFALL FROM NET INCREASE IN IMPERVIOUS SURFACE AREA:
(INCLUDES PROPOSED BUILDING, PAVED APRON, GRAVEL DRIVE AND CONC. WALK ON SE SIDE OF BUILDING)**
11,650 S.F. x 1" RUNOFF x (1/12) = 971 C.F.

PROPOSED STORAGE CAPACITY***:
(TWENTY (20) 4'x4'x4' H-20 CONCRETE LEACHING CHAMBERS BY UNITED CONCRETE)
20 CHAMBERS x 330 GAL. PER CHAMBER / 7.48 GAL. PER C.F. = 882 C.F.

(12" MIN. CRUSHED STONE AROUND PERIMETER, ASSUMING 40% VOIDS)
400 C.F. x 40% VOIDS = 160 C.F.

TOTAL STORAGE CAPACITY = 882 C.F. + 160 C.F. = 1,042± C.F.

1,042± C.F. PROVIDED > 971 C.F. REQUIRED -- O.K.

NOTES:

- * THE EXISTING BUILDING ON LOT #51 HAS EXISTING STONE INFILTRATION TRENCHES ALONG THE NW & SE SIDES OF THE BUILDING.
- ** THE EXISTING BUILDINGS AND OTHER IMPERVIOUS SURFACE COVERAGE ON LOT #52 ARE PROPOSED TO BE REMOVED (TOTAL AREA = 3,360 S.F.). THE MAJORITY OF THE PROPOSED IMPERVIOUS SURFACE COVERAGE ON LOT #52 WILL BE CAPTURED AND TREATED USING UNDERGROUND LEACHING CHAMBERS AND THE REMAINING PORTION OF THE PROPOSED IMPERVIOUS SURFACE COVERAGE THAT IS NOT CAPTURED (TOTAL AREA = 2,018 S.F.) IS LESS THAN THE EXISTING IMPERVIOUS SURFACE COVERAGE THAT IS TO BE REMOVED (3,808 S.F. - 2,108 S.F. = 1,700 S.F. REDUCTION). THE LEACHING TRENCHES AND RAIN GARDEN HAVE AN EXCESS STORAGE VOLUME OF 90 C.F.
- *** PER NATURAL RESOURCE CONSERVATION SERVICE (NRCS) MAPPING, THE ENTIRE SITE CONTAINS HINCKLEY LOAMY SAND (NRCS SOIL MAP UNIT 38A) WHICH TYPICALLY HAS AN AVERAGE INFILTRATION RATE OF MORE THAN 20 INCHES/HOUR.

E&S, DETAILS & STORMWATER COMPUTATIONS

PREPARED FOR THE NEW HAVEN ROWING CLUB, INC.
403, 407 & 411 ROOSEVELT DRIVE
OXFORD, CONNECTICUT

DATE:
NOVEMBER 4, 2019

SCALE:
AS NOTED

DRAWN BY:
RG

CHECKED BY:
JW

DWG. NO.:
ES-1

SHEET NO.:
2 of 2

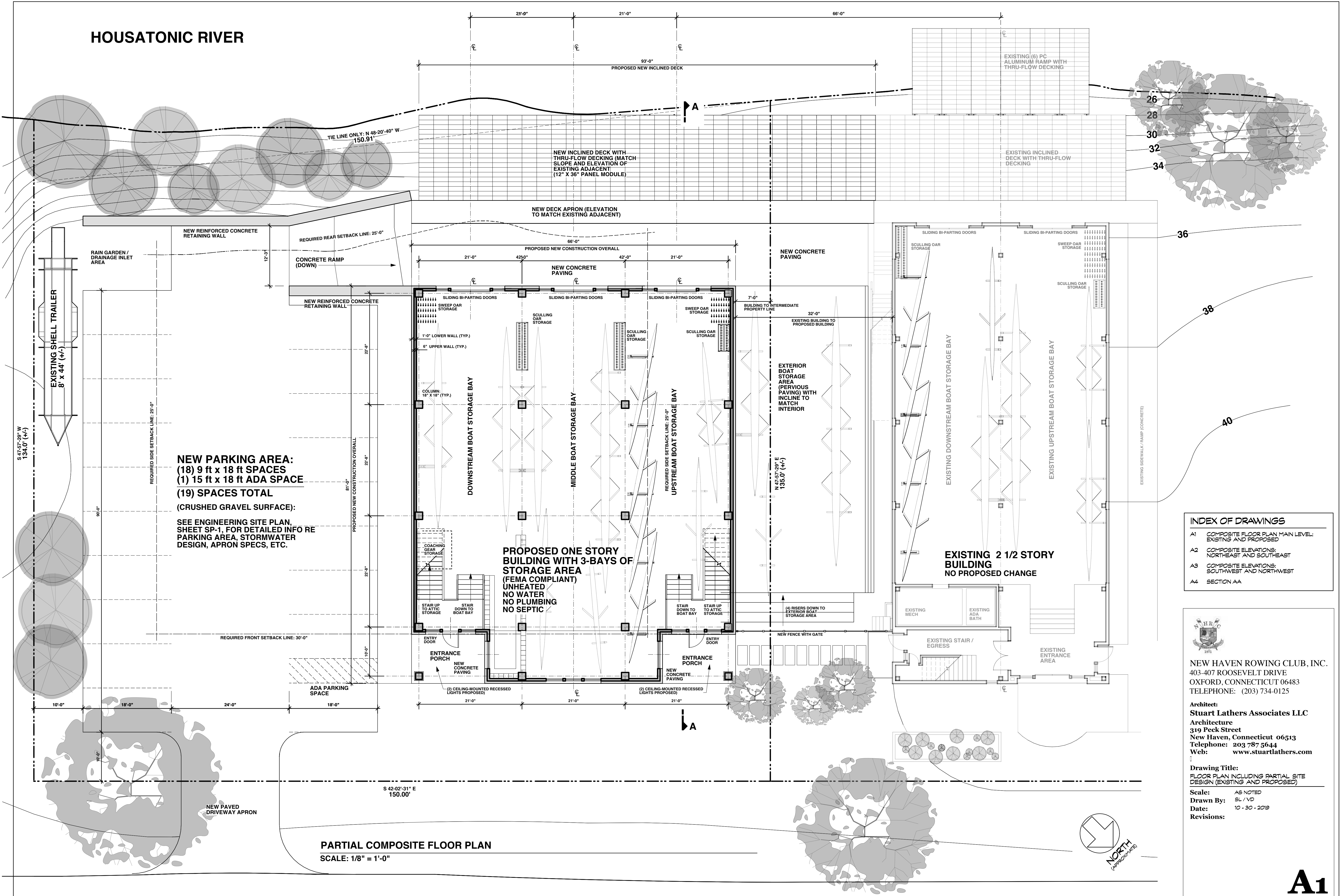
JOB. NO.:
2018-371

PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
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40 ELM STREET, 2ND FLOOR
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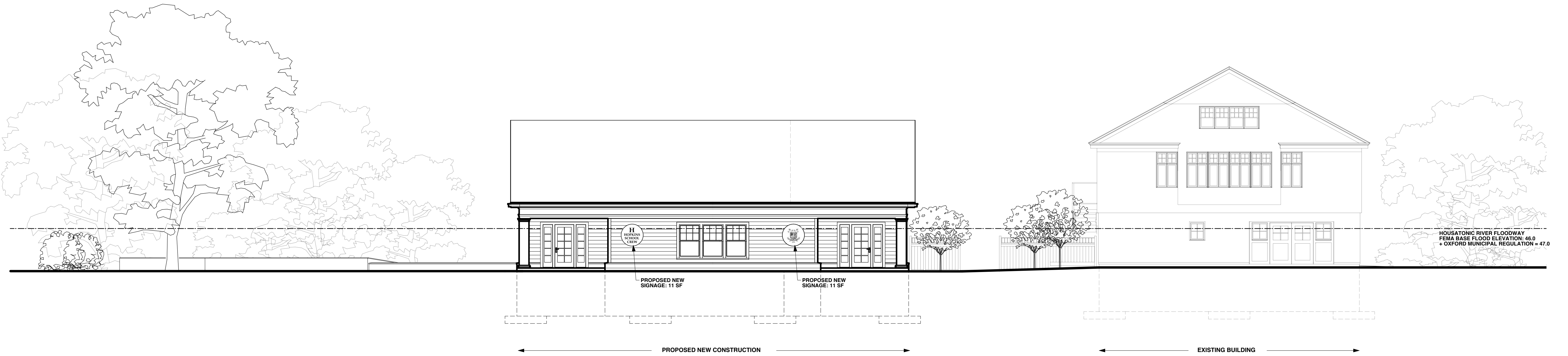
THE EMBOSSED SEAL OF
THE ENGINEER MUST BE
AFFIXED HERE FOR THIS
MAP TO BE VALID

REVISIONS FOR PLANNING & ZONING COMMISSION, MISC.	RG	DATE	DESCRIPTION
3. 1/28/2020	RG		
2. 1/14/2020	RG		
1. 1/7/2020	RG		

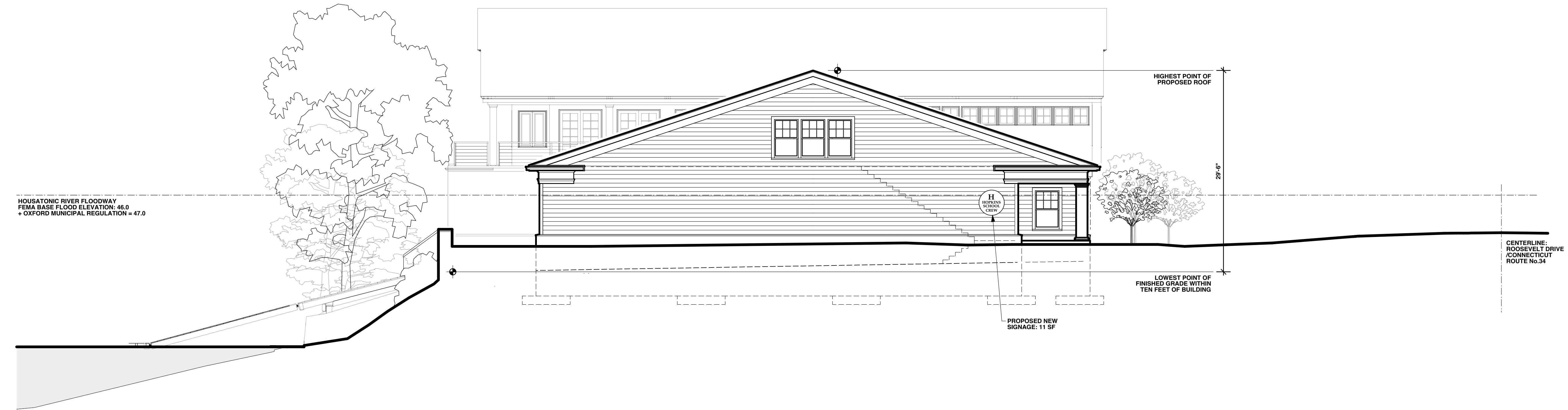
HOUSATONIC RIVER



A1



COMPOSITE NORTHEAST ELEVATION: (ROOSEVELT DRIVE FACADES)
SCALE: 1/8" = 1'-0"



COMPOSITE SOUTHEAST ELEVATION (PROPOSED BUILDING IN FOREGROUND)
SCALE: 1/8" = 1'-0"



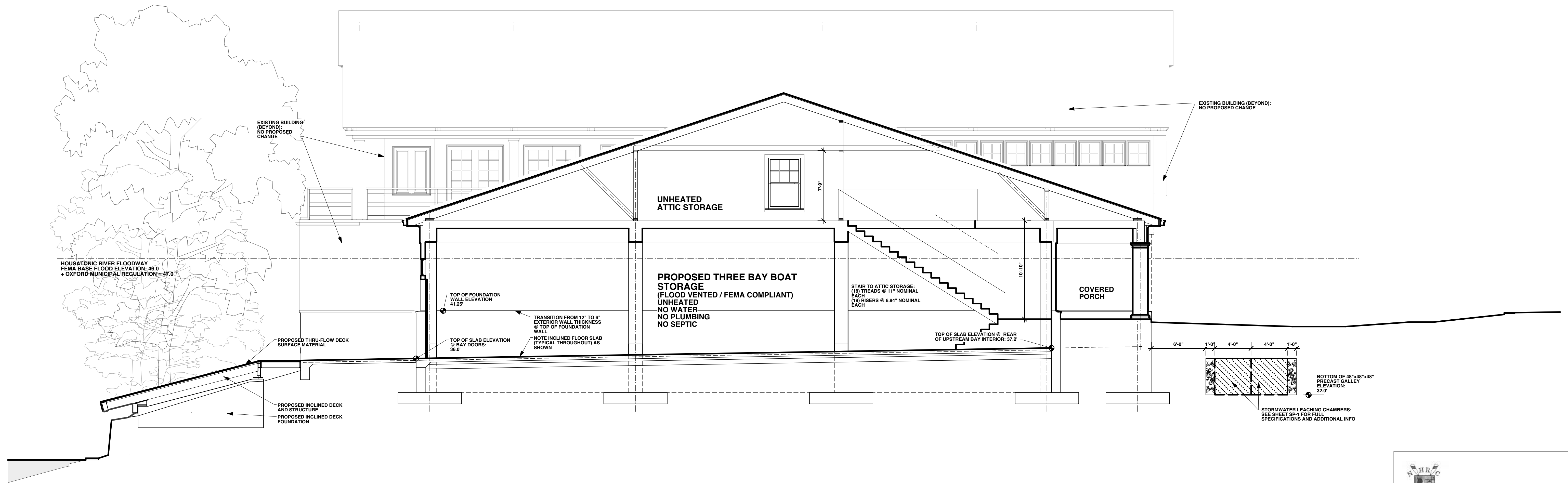
NEW HAVEN ROWING CLUB, INC.
403-407 ROOSEVELT DRIVE
OXFORD, CONNECTICUT 06483
TELEPHONE: (203) 734-0125

Architect:
Stuart Lathers Associates LLC
Architecture
319 Peck Street
New Haven, Connecticut 06513
Telephone: 203 787 5644
Web: www.stuartlathers.com

Drawing Title:
COMPOSITE
ELEVATIONS

Scale: AS NOTED
Drawn By: SL / VD
Date: 10 - 30 - 2019
Revisions:

A2



SECTION AA
SCALE: 3/16" = 1'-0"



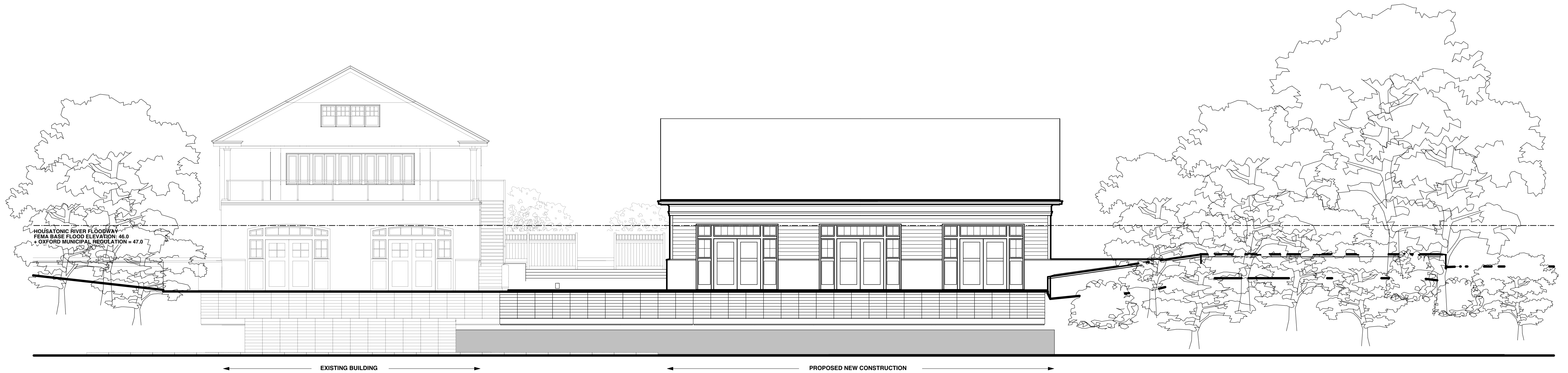
NEW HAVEN ROWING CLUB, INC.
403-407 ROOSEVELT DRIVE
OXFORD, CONNECTICUT 06483
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Architect:
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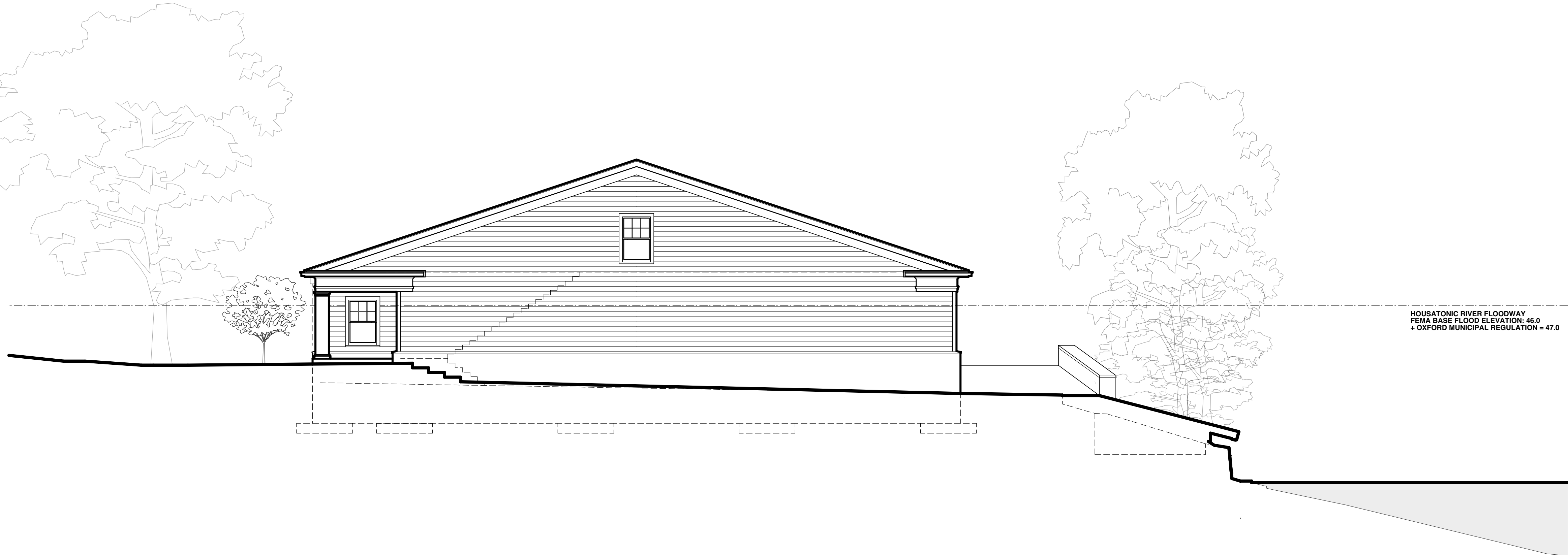
Drawing Title:
SECTION AA

Scale: AS NOTED
Drawn By: SL / VD
Date: 10 - 30 - 2019
Revisions: 1 - 13 - 2020 (STORMWATER LEACHING CHAMBERS ADDED)

A4



COMPOSITE SOUTHWEST ELEVATION: (HOUSATONIC RIVER FACADES)
SCALE: 1/8" = 1'-0"



COMPOSITE NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



NEW HAVEN ROWING CLUB, INC.
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Telephone: 203 787 5644
Web: www.stuartlathers.com

Drawing Title:
COMPOSITE
ELEVATIONS

Scale: AS NOTED
Drawn By: SL / VD
Date: 10 - 30 - 2019
Revisions:

A3



NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL
ENGINEERING & SURVEYING

March 3, 2020

Mr. Jeffrey Luff, Chairman
Planning and Zoning Commission
Town of Oxford
486 Oxford Road
Oxford, CT 06478

Re: 403-407-411 Roosevelt Drive, Oxford, CT

Dear Mr. Luff:

Nafis & Young is in receipt of a Plans and Engineering Report for the above-referenced project. The proposal is for construction of a boat house at the above-referenced address. The building will be constructed within the flood plain. However, the basement of the boat house will be excavated into the river bank. FEMA compliant flow thru ports for flood water passage is proposed for the basement of the building. No fill will be placed within the flood plain because the flow thru ports will enable flood waters to enter and exit the basement freely.

Enclosed is a list of our review comments dated 01-13-2020 for the Inland Wetlands and Watercourses Commission. All of these comments have been addressed. We have no further comment.

If you should have any questions, please feel free to contact me at 203-314-8041.

Sincerely,

James H. Galligan, P.E.
Nafis & Young Engineers, Inc.
Town Engineer of Oxford



NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL
ENGINEERING & SURVEYING

January 13, 2020

Michael Herde
Chairman, Oxford IWWA
Oxford Town Hall
486 Oxford Road
Oxford, CT 06478

Re: 403-407-411 Roosevelt Drive, Oxford, CT

Dear Mr. Herde:

Nafis & Young is in receipt of a plan for construction of a boat house at the above-referenced site. We offer the following:

1. Please provide a cut/fill volume for work within the flood plain.
2. Please indicate the location of the floodway.
3. Please provide evidence that the existing paved parking lot will drain to the proposed rain garden. (spot grades)
4. Please provide a cross-section diagram thru the "leaching galleries", proposed "1 story building and proposed inclined flow thru deck".
5. Please provide copies of reference maps to verify property boundaries.
6. Are there any easements or rights of way over the properties?
7. Please provide first floor elevations of both buildings.

If you should have any questions, please feel free to contact me at 203-314-8041.

Sincerely,

James H. Galligan, P.E.
Nafis & Young Engineers, Inc.
Town Engineer of Oxford

*Allan S. Young, P.E. • James H. Galligan, P.E. • David L. Nafis, P.E., L.S. • Lawrence K. Secor, CHMM
1355 Middletown Avenue, Northford, CT 06472 • Tel: (203) 484-2793 • Fax: (203) 484-7343 • e-mail: nyeng@nafisandyoung.com*

NEW HAVEN ROWING CLUB PETITION

Saturday, March 7, 2020 5:29 PM

RECEIVED
MAR 31 2020

103 total

As residents and tax payers who live on the Housatonic River we are concerned about the negative impact that an increased rowing presence will have to our quality of life here.

- The increased amount of non residents and non members of the NHRC using the river because of this one entity. This will be putting an increased strain on an already crowded river.
- Limited use of the river while training.
- Use of amplified megaphones by coaches during training.
- Shutting the river down during races. It used to be 1/2 day and now it's 2 full days.

Therefore we are opposed to the plans for a new "Storage Building" as it stands:

- This will significantly increase the size of their current facility.
- The proposed structure includes the name "Hopkins School" on it.
- We ask that limits be set on the amount of people and boats that will be using the river from that property.
- As per the clubs online video "expand, develop and prosper".

Name *Maideline 1/1/05*
[Signature]
[Signature]
[Signature]
Dina Gorman
[Signature]
Caroline E. Lydon
[Signature]

Address *553 Roosevelt Dr*
551 Roosevelt Drive, Oxford Oxford Ct
482 Roosevelt Dr Oxford
425 Roosevelt Dr Oxford
423 Roosevelt Dr. Oxford
421 Roosevelt Dr. Oxford
410 Roosevelt Dr. Oxford
417 ROOSEVELT DR OXFORD

375 Roosevelt Drive

Vincent Veccharelli 371 Roosevelt DRIVE

Myranda Williams 222 Roosevelt Drive

321 Roosevelt Dr

Jan Woodbury 211 Roosevelt Drive Seymour

(Nicholsmoore) 197 Roosevelt Dr. Seymour

Tony Chizzolo 195 Roosevelt Drive

193 Roosevelt Drive Seymour

Fishing quietly parked and Hit 2 times By SKULLS

Cory Fennell 189 Roosevelt Dr Seymour

I was told to use the Lower part of the River
on Sunday's mornings

191 Roosevelt Dr. Seymour

185 Roosevelt Dr Seymour

185 Roosevelt Dr

115 Roosevelt Dr.

5 Roosevelt Drive Seymour

7 Roosevelt Dr Seymour

81 Upper Birchbank

3 Indian Well Rd. Shelton

2 Indian Well Rd., Shelton

63 Indian Well Rd Shelton

57 Birchbank Rd. Shelton CT

12 McConney Ave Derby CT

Richard Machnicz

Judith Machnicz

Shari Baron

Laena Belke

Tracy Filion

NEW HAVEN ROWING CLUB PETITION

Saturday, March 7, 2020 5:29 PM

34 pg 2

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Name

Address

Rodney Lancia
Rich Walker
Loren & Dave Pace
Christina DiMedio
PAUL McMahon
Sacha Duff
Joe Marantz
SACCH

65 Indian Wells Rd
Shelton CT. 06484
69 Indian Well Rd.
Shelton CT, 06484
81 Indian Well Rd
85 Indian Well Rd
95 Indian Well Rd.
93 Indian Well Rd.
99 Indian Well Rd.
117 Indian Well Rd.

Chris Duhonick 105 + 103 Indian Well Rd. Shelton
 Joey McGuire 121 Indian Well Rd. Shelton
 Gael Bolton 125 Indian Well Rd. Shelton
 Victoria Abby 127 Indian Well Rd. Shelton
 Helen O Dell 437 Roosevelt Dr Oxford

Margo O'Connell 5 McConney Derby

Anthony Formato 471 Roosevelt Dr Oxford

Patti Dinan 469 Roosevelt Dr Oxford

Jeffery 225 ROOSEVELT DR SEYMOUR

Sharon Moore 199 Roosevelt Dr Seymour

~~W~~ Grick. Atlin 186R Roosevelt Dr Seymour

Lakeside Family Trust 183 Roosevelt Dr Seymour

JAY MEZIAS 6 McConney Grove Derby

Thomas P. Mattioli 11 McConney Grove Derby
 Mark E. Beff 13 McConney Grove Derby

Deborah Ahlf 17 McConney Grove Derby - 53

Robert Barbieri 3 Roosevelt Dr Seymour

Melanie Spurr 85 Birchbank Rd. Shelton

Ken & Emily Degnan 81 Birchbank Road Shelton

Matt & Marilee Westfall 80 Birchbank Road Shelton

DAVI SANTOS 76 BIRCHBANK RD Shelton

Kris Rodgers 68 Birchbank Rd Shelton

GREG Derodan 68C Birchbank Rd Shelton

STEVE STALMACH 68B BIRCHBANK RD Shelton

NEW HAVEN ROWING CLUB PETITION

20

p93

Saturday, March 7, 2020 5:29 PM

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- As per the clubs online video "expand, develop and prosper".

Name

Address

James Martinelli
11

89 Indian Well Rd Shelton
81 Indian Well Rd Shelton } James Martinelli

James Bonascioni

102 Indian Well Rd Shelton

Shelly Folson
Mark Folson

155 Indian Well Rd, Shelton, CT
153 Indian Well Rd Shelton, CT

Robert Folson

149 Indian Well Rd Shelton, CT

Carla DeBello
Debbie Zych

137 Indian Well Rd 06454
154 Indian Well Rd 06454

145 Indian Well Rd - Shelton Lipinsky
143 Indian Well Rd - Shelton Lipinsky
Jas Lipinsky
108 Indian Well Rd - Shelton (Matter)



Robert Pagliaro 139 Indian Wells Rd Shelton Ct.

Glenn Niestemski 57 INDIAN WELL RD.

Mike Walker 61 Indian well

NATE WALKER 142 Indian

Nancy Walker 63 Indian well

Mike Walker 161 Indian well

Nancy Walker 142 Indian well

Josh Kestebbaum 147 Indian well rd

Justin Lempie 112 Indian well rd.

NEW HAVEN ROWING CLUB PETITION

Saturday, March 7, 2020 5:29 PM

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Name

Address

Ed Hunt

56 Birchbank Rd

Sam Braunard

54 Birchbank Rd

Tim Mingey

50 Birchbank Rd

Naren Battistelli

49 Birchbank Rd

William Sheewood

48 Birchbank Rd

Carol Ann Kuzio

45 Birchbank Rd

Theresa Kule

44 Birchbank Rd

Ed J 42 Birchbank Rd Shelton
Mike Martin 41 Birchbank Rd Shelton
Joe Wanduck 39 1/2 " " "
Christa Myer 39 Birchbank Rd, Shelton CT 06484
C. Sullivan 36 Birchbank Rd Shelton
Deborah O'Donnell 24 Birchbank Rd Shelton CT 06484
Joseph D'Amico 29 Birchbank Rd Shelton CT 06484
Dennis Shelton 28 BIRCHBANK RD SHELTON CT 06484
Lois Shelton 28 Birchbank Rd Shelton CT 06484
Elizabeth Burleigh 24 Birchbank Road Shelton, CT. 06484
Doug Harper 23 Birchbank Rd Shelton
Bill Dwyer 20 Birchbank Rd. Shelton
Pat Anthony 3 Birchbank Rd Shelton



Rosa Reyes
Bond & Specialty Insurance
Construction Services
300 Windsor Street
Hartford, CT 06120
Phone: (860) 277-8557
Fax: (860) 277-8394
E-mail: rreyes@travelers.com

SECOND REQUEST

March 10, 2020

Town of Oxford
S. B. Church Memorial Town Hall
486 Oxford Road
New Haven, CT 06478

Bond No.: 400KF6036
Principal: Haynes Construction Company
Address: 30 Progress Avenue, Seymour, CT 06783
Bond Amount: \$300,000.00
Project: Meadowbrook Estates, Great Cedar Hill Road, Seymour, CT

To whom it may concern:

On **March 3, 2003**, we executed a Subdivision Bond for the above captioned and we are inquiring about the status to see if bond can be released at this time.

If the bond can be released, we would appreciate it if you would return the bond to us so we can go ahead and process the proper cancellation.

Thank you.

Very truly yours,

Rosa Reyes
Bond Department



Rosa Reyes
Bond & Specialty Insurance
Construction Services
300 Windsor Street
Hartford, CT 06120
Phone: (860) 277-8557
Electronic Fax: (866) 269-4991
E-mail: rreyes@travelers.com

June 17, 2020

Town of Oxford
Office of the First Selectman
486 Oxford Road
Oxford, CT 06478

Bond No.: 104953452
Principal: Oxford Supply, LLC
Address: 70 Platt Road, Shelton, CT 06484
Bond Amount: \$950,000 – Subdivision/Performance Bond

To whom it may concern:

We have been informed that the above mentioned Subdivision Performance Bond is no longer required for renewal, therefore we are asking for the release of the bond.

Please forward a Release of Bond to my attention, at the address above or via email rreyes@travelers.com so I can process the cancellation on this bond.

Should you need any further information, please contact me at 860-277-8557.

Very truly yours,

Rosa Reyes
Bond Department

PLANNING & ZONING COMMISSION
TOWN OF OXFORD
486 Oxford Road
Oxford, CT 06478
(203) 888-2543

Z#: 2-20-080
Date Rec'd: _____
Date on Agenda: 7-7-20
65-Day Expiration: _____

ZONING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification

Street Address: 308 Oxford Rd
Subdivision Name: _____ Date Approved: _____
Map: _____ Block: _____ Lot: _____ Zoning district: _____

Owner/Applicant

Owner Name: Walter Archer
Owner Address: _____
Owner Telephone: _____

Applicant Name: Elaine Marcucio
Applicant Address: 308 Oxford Rd
Applicant Telephone: 203 463 8339

Miscellaneous Information

Special Exception: Article _____ Section _____ Yes _____ No _____
Site Plan Approval: Article _____ Section _____ Yes _____ No _____
Estimated Cost of Construction: _____
Variance Granted: _____ Date Granted: _____

Signatures/Authorization

Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

Purpose

____ New Home
____ Addition
____ Garage
____ Cottage Business
____ Swimming Pool IG AG
____ Sign
____ Shed
____ Barn
____ Change of Use
____ Excavating/Filling
____ Trailer
____ Other _____

Use EVENTS

____ Single-Family Residence
____ Multi-Family Residence
____ Commercial
____ Industrial
____ Residential/POD
____ Other _____

Required Approvals and Dates

____ Inland Wetlands _____
____ P.D.D.H. _____
____ Fire Marshal _____
____ Z.B.A. _____
____ W.P.C.A. _____
____ Floodplain _____
____ Copy of Deed _____
____ Driveway _____
____ Erosion Control Plan _____
____ Plot Plan * _____
____ Other _____

Elaine Marcucio
Property Owner or Agent

7/2/2020
Date

85.00 Town Fee
____ State Fee
____ Total Fee

*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied _____ Approved _____ By: Steve King Date: 7/20/20
Title: _____
Reason for Denial _____

ZPA-1
(Adopted 5/15/97)



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: 7-20080
Date: _____

STATEMENT OF USE

Article 11, Section 2

Property Address: 308 Oxford Rd Zone: _____ Map: _____ Block: _____ Lot: _____

Name and Address of Owner: Walter Archer

Name and Address of Applicant: Elaine Marcucio, 22 Prairie Ave, Derby, CT 06478

Name of Proposed Business: Shop Local Saturdays

Total Square Footage: _____

Hours of Operation: 10-2pm Saturdays - July - Dec 1

Number of Employees: 0

List Hazardous and/or Chemicals Material on site: 0

Provide Approval from: PDDH _____ Fire Marshal _____ Other _____

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

Elaine Marcucio
Applicant's Signature

6/30/2020
Date

TOWN OF OXFORD

PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall

486 Oxford Road, Oxford, Connecticut 06478-1298

Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov

www.Oxford-CT.gov



APPLICANT ACKNOWLEDGEMENT FORM (AAF)

I, Elaine Marcucio, have read and reviewed the Oxford Planning and Zoning regulations relevant to Application # _____, including, but not limited to:

_____	_____
_____	_____
_____	_____

Applicant acknowledges that failure to comply with Oxford Planning and Zoning regulations may lead to delays, additional fees, and/or other penalties related to the application. Applicant acknowledges receiving a copy of completed Form AAF.

BEFORE SIGNING, APPLICANTS PLEASE NOTE:

- i. if an individual, that the signer is the applicant; or
- ii. if an entity (e.g. corporation, llc, partnership, trust, association) that he or she is legally authorized to sign on behalf

Applicant Name (please print)

Elaine Marcucio

Applicant Signature

Elaine Marcucio

Date: 7/2/2020

Witness Name

Witness Signature

Date: _____

Shop Local Saturdays

Dates.

July 11th - 18th - 25th

Aug 1, 8, 15, 22, 29

Sept 5, 12, 19, 26

OCT 3, 10, 17, 24, 31

Nov 7, 14, 21, 28

TIME 10-2pm

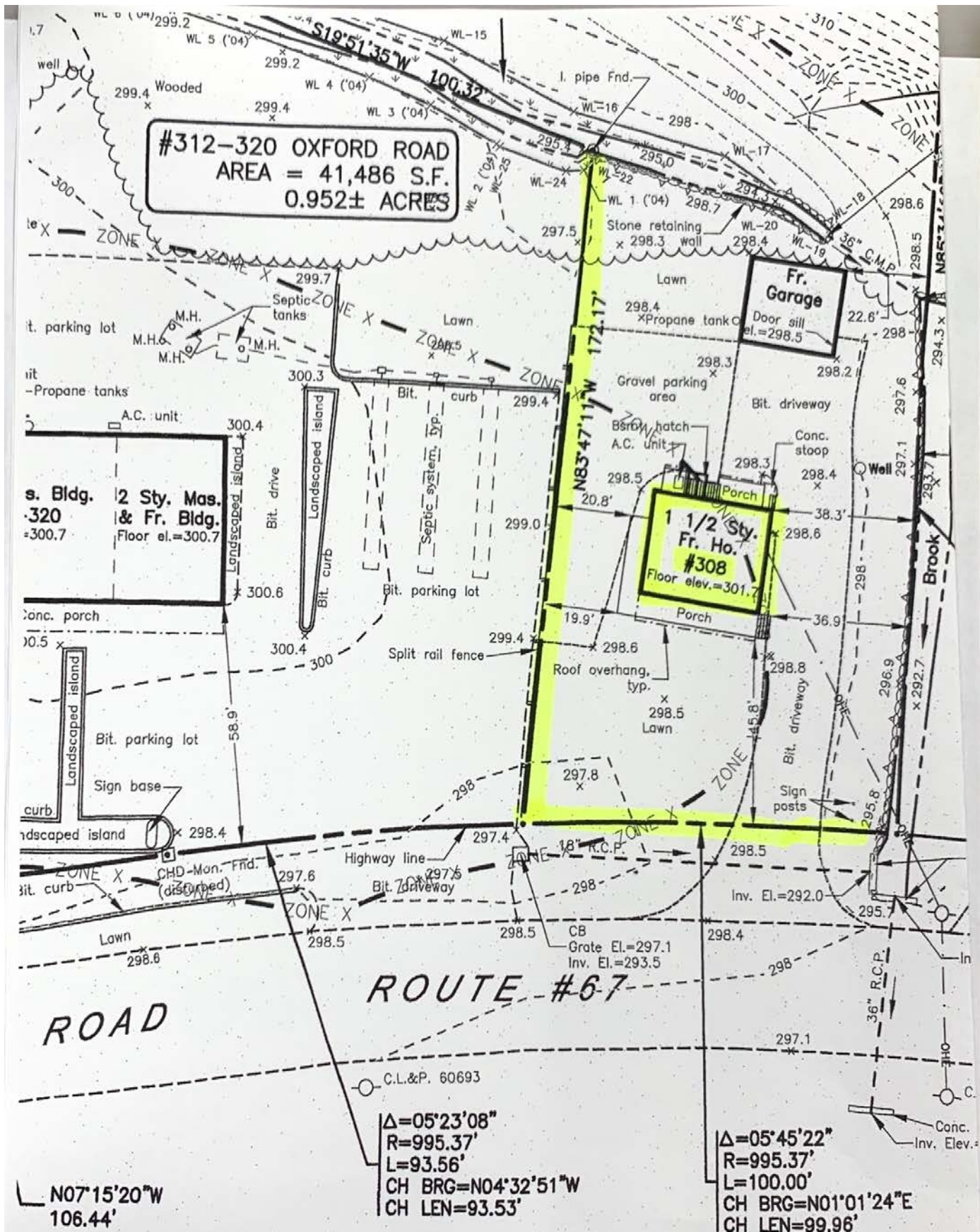
15 vendors

Vendors will park AT Empty LOT

Young At Heart
308 Oxford Rd
Oxford

203 463-8339

ELAINE MARUCIO



COHEN AND THOMAS
ATTORNEYS AT LAW

315 MAIN STREET
POST OFFICE BOX 313
DERBY, CONNECTICUT 06418

(203) 735-9521
FAX: (203) 732-8129
e-mail: djt@cohen-thomas.com

DOMINICK J. THOMAS, JR.
IAN A. COLE
CHRISTINE L. CURTISS
GAYLE C. CARR
GREGORY M. THOMAS

JAMES E. COHEN
RETIRED

DAVID B. COHEN
(1936-1991)

LITCHFIELD OFFICE:
15 MEADOW STREET
LITCHFIELD, CONNECTICUT 06759
(860) 567-3754
FAX: (860) 567-3894

June 16, 2020

Chairman David T. Sauter
Oxford Planning & Zoning Commission
486 Oxford Road
Oxford, CT 06478

VIA EMAIL: pandz@oxford-ct.gov

RE: Z-18-302 / SPECIAL EXCEPTION PERMIT
REQUEST FOR MODIFICATION OF CONSTRUCTION SEQUENCING

Dear Chairman Sauter:

Please be advised that the undersigned represents McNamee Construction Corp. that was approved for the above captioned Special Exception Permit on May 21, 2019. The Permit is recorded in the Oxford Land Records in volume 436 at page 947.

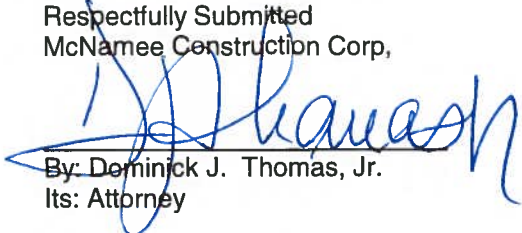
While the Special Exception Permit (attached hereto) does not contain a specific condition concerning construction sequencing, the plan entitled "Soil and Erosion Control and Phase Plan" contains "Section F. Construction Sequence - Phases." The initial requirement in Phase One is "Construction can start after the bridge and driveway are installed and driveway and disturbance is stabilized." This note is based on the permit approval by the Conservation Commission/Inland Wetlands Commission. (See notes attached hereto).

The applicant, McNamee Construction Corp. requests that the Planning & Zoning Commission modify of the Construction Sequence in the approved plans as follows:

Construction can start and a building permit issued for Building 1 which construction shall occur simultaneous with the construction of the bridge and access driveway. The certificate of occupancy for Building 1 cannot be issued and Phase 2 of the construction sequence cannot commence until the bridge and access driveway are installed and the existing temporary access road closed and stabilized per the Inland Wetlands Permit.

I was unable to determine a fee for this type of application. Once advised, I will remit the fee to the agency.

Respectfully Submitted
McNamee Construction Corp,



By: Dominick J. Thomas, Jr.
Its: Attorney

DJT:d
encl.
cc: McNamee Construction Corp.

SOIL EROSION CONTROL NARRATIVE

A. INTRODUCTION

The site is an 18.8 acre undeveloped property at the end of Robinson Lane, zoned industrial. THIS APPLICATION IS FOR THE CONSTRUCTION OF A 6,500 SQ. FT. BUILDING, A 5,000 SQ. FT. BUILDING, A 6,000 SQ. FT. CANOPY BUILDING, AN OUTDOOR STORAGE AREA 5,600 SQ. FT. WITH ASSOCIATED PARKING AND DRAINAGE.

B. MAINTENANCE AND INSPECTION OF EROSION CONTROLS

	Inspection and Silt Removal	Replacement
Silt Fence	Weekly and after heavy rain	Yearly, ripped sections shall be replaced promptly
Haybales	Weekly and after heavy rain	Every 3 months
Anti-tracking Apron	Monthly	Every 3 months
Seeding	Every week and after every rain until germination	As necessary
Sediment Ponds	Every week and after every rain until	As necessary

*Inspections by an independent professional would be recommended during the period of stream crossing work with reporting to the Oxford Conservation Commission staff. At the minimum these inspections should be weekly, immediately before a rain event forecasted to be more than 0.5 inches, and immediately after any run-off producing rain event or when activity is being done in the stream bed and monthly thereafter. These inspections should continue until all exposed areas are permanently stabilized.

MAINTENANCE SCHEDULE DURING CONSTRUCTION:

RAIN GARDENS: are to be inspected after every significant rain storm event of 1 inch or more during construction.

MAINTENANCE SCHEDULE AFTER CONSTRUCTION:

RAIN GARDENS: After the project has been completed for 2 years the rain gardens will be inspected and maintenance performed if necessary annually. They are to be checked annually in the springtime after the snow melts. Any silt accumulations of more than 3 inches shall be removed.

C. SEEDING SPECIFICATION

1. Prepare with 4" topsoil (minimum) lime with ground limestone applying 100 lb./1,000 s.f. and 10: 10: 10: fertilizers of 5 lb./1,000 s.f. Seed with a mix having 10, 20, 10 percent by weight of Tall Fescue, Red Fescue, and Perennial Ryegrass April 1 - June 15 or August 15 - October 12 as permanent seeding is discouraged unless necessary to provide adequate site disturbance.

D. CONSTRUCTION TIMING

Driveway construction is anticipated to begin in the summer of 2020 if approvals are obtained.

E. Record Keeping Program

McNamee Construction Company - Dan McNamee shall be responsible for maintaining a Soil Erosion Control Log until the site is stabilized. The soil erosion control measures shall be inspected weekly during the construction of the bridge and monthly thereafter and after all significant rainfalls and as detailed under The Soil Erosion Control Narrative, Item 'B'. The Log shall keep the dates and descriptions of: inspections, any action needed to repair controls, and any action taken to repair controls soil erosion control measures.

F. CONSTRUCTION SEQUENCE -PHASES:

PHASE ONE:

Construction can start after the bridge and driveway are installed and driveway and disturbance is stabilized.

1. A pre-construction meeting should be held on site with the Oxford Inland Wetland officer, site contractor, owner and site engineer. Notice should be given to the Oxford Inland Wetland Officer at least 48 hours prior to commencement of site work.
2. Clear trees in construction area for Canopy Building and detention areas.
3. Install anti-tracking pad and silt fence.
4. Install detention areas and outlets, seed and stabilize. Cap off lower 6" outlets used as sediment ponds.
5. Prepare rain garden areas and swales, install catchbasins. Seed and stabilize.
6. Rough grade the area around the Phase #1 Buildings directing run-off to sediment ponds, and rain garden/swales. Gravel driveway.
7. Construct Phase #1 office, garage and canopy buildings.
8. Pave driveway, stabilize site. Gravel Canopy Building area.
9. Grade and construct Phase 1 outdoor storage area. Area is to be gravelled.
10. Stabilize site. Remove lower outlet covers.

PHASE II:

1. Clear trees for Phase II.
2. Install additional silt fence for Building #2.
3. Grade building and parking areas.
4. Construct Building. Any silt tracked on existing driveway to be swept within 48 hours.
5. Grade and gravel Phase II outdoor storage area.
6. Remove all soil and erosion controls.
7. Stabilize all disturbance for Building 2.
8. Hay, mulch or hydroseed all exposed soils after attaining final grades.
9. Soil stockpiles stored over 30 days should be tarped, mulched or seeded to limit exposure to the elements (PHASE ONE AND TWO).

EROSION AND SEDIMENT CONTROL PLAN

1. Land disturbance will be kept to a minimum reestablishment will be scheduled as soon as practical.
2. Haybale and/or fabric fillers will be installed at all culvert outlets and along the toe of all critical cut and fill slopes.
3. Culvert discharge areas will be protected with rip-rap channels; energy dissipaters will be provided as necessary.
4. Catchbasins will be protected with haybale fillers throughout the construction period and until all disturbed areas are thoroughly stabilized.
5. All erosion and sediment control measures will be constructed in accordance with the standards and specifications of the "2002 Erosion and Sediment Control Guidelines".
6. Erosion and sediment control measures will be installed prior to construction.
7. All control measures will be maintained during the construction period.
8. Additional control measures will be installed during the construction period, if necessary or required.
9. Sediment removed from control structures will be disposed of in a manner which is consistent with the intent of the plan.
10. Dan McNamee
McNamee Construction Corp.
154 Route 202
Uncasville, CT 06480
203-489-7334
203-819-1215

are assigned the responsibility for implementing this erosion and sediment control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan, notifying the Inland Wetland Commission of any transfer of this responsibility and for conveying a copy of the Erosion and Sediment Control Plan if the title to the land is transferred.

Alan B. Shepard
ALAN B. SHEPARD P.E. # 16188
INC. 12188
This Map is NOT VALID without a
PRE-SIGNATURE CROSSED SEAL



SOIL AND EROSION CONTROL AND PHASE PLAN	
PREPARED FOR	
MCNAMEE CONSTRUCTION CORPORATION	
10 ROBINSON LANE OXFORD, CONNECTICUT	
SCALE: 1"= 50'	DATE: AUGUST 17, 2018
2-25-19 Per Engineers Comments	MAP# A-3854 SEARCH 4501 FB/PG 222/72 DRAWING 081737
1/2/19 Per Engineers Comments	CIVIL ENGINEERING
12/10/18 REVISIONS	NOWAKOWSKI - O'BYMACHOW - KANE, ASSOCIATES
10/8/18 Per Engineer's Comments	CIVIL ENGINEERING & LAND SURVEYING
DATE: DESCRIPTION	415 HOWE AVENUE SHELTON, CONNECTICUT 06484
REVISIONS	PHONE: (203) 824-7745 FAX: (203) 824-7328 Records Since 1950

PLANNING & ZONING COMMISSION

TOWN OF OXFORD

486 Oxford Road

Oxford, CT 06478

(203) 888-2543

Z#:	<u>Z-20-058</u>
Date Rec'd:	_____
Date on Agenda:	_____
65-Day Expiration:	_____

ZONING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification

Street Address: 144 Oxford Road
 Subdivision Name: _____ Date Approved: _____
 Map: _____ Block: _____ Lot: _____ Zoning district: _____

Owner/Applicant

Owner Name: 144 Oxford Road LLC
 Owner Address: 114-A Washington Ave North Haven CT 06473
 Owner Telephone: 203-234-6371

Applicant Name: Jennifer Quiles
 Applicant Address: 70 Valley Brook Terrace Stratford CT 06464
 Applicant Telephone: 203-345-9205
jenn.quiles@gmail.com

Miscellaneous Information

Special Exception: Article _____ Section _____ Yes _____ No _____
 Site Plan Approval: Article _____ Section _____ Yes _____ No _____
 Estimated Cost of Construction: \$15,000.00
 Variance Granted: _____ Date Granted: _____

Signatures/Authorization

Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

Purpose

- _____ New Home
- _____ Addition
- _____ Garage
- _____ Cottage Business
- _____ Swimming Pool IG AG
- _____ Sign
- _____ Shed
- _____ Barn
- ☒ **Change of Use**
- _____ Excavating/Filling
- _____ Trailer
- _____ Other _____

Use

- _____ Single-Family Residence
- _____ Multi-Family Residence
- _____ Commercial
- _____ Industrial
- _____ Residential/POD
- _____ Other _____

Required Approvals and Dates

- _____ Inland Wetlands _____
- _____ P.D.D.H. _____
- _____ Fire Marshal _____
- _____ Z.B.A. _____
- _____ W.P.C.A. _____
- _____ Floodplain _____
- _____ Copy of Deed _____
- _____ Driveway _____
- _____ Erosion Control Plan _____
- _____ Plot Plan *
- _____ Other _____

#5179

28000 Town Fee
 State Fee
 Total Fee

Property Owner or Agent

Date

*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied _____ Approved _____ By: Shirley J. Murray Date: 6/11/20
 Title: ZEO
 Reason for Denial _____

ZPA-1
 (Adopted 5/15/97)



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: 2-20-058
Date: 6-12-20

STATEMENT OF USE

Article 11, Section 2

Property Address: 144 OXFORD RD Zone: _____ Map: _____ Block: _____ Lot: _____
Name and Address of Owner: 144 OXFORD ROAD, LLC, 114A Washington Ave North Haven CT 06473
Name and Address of Applicant: Jennifer Quiles 70 Valley Brook Terrace STAFFORD CT
Name of Proposed Business: Valley Nutrition, LLC
Total Square Footage: 918
Hours of Operation: 7-5 Mon-Fri, 9-4 Sat, 10-2 Sun
Number of Employees: 5
List Hazardous and/or Chemicals Material on site: N/A

Provide Approval from: PDDH _____ Fire Marshal _____ Other _____

WE MAKE protein smoothie and energy bars Iced protein coffee. we are a level #1 with the H.D.

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

[Signature]
Applicant's Signature

6-10-2020
Date



TOWN OF OXFORD

S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

(PART 1)

REQUIRED CONSTRUCTION APPROVALS

- 1) Applicant: JENNIFER MOSLEY
Property Address: 144 OXFORD RD
Permit Use: SMOOTHIES, TEAS, COFFEE
Subdivision Lot #: N/A Zone: Comm

OBTAIN SIGNATURES IN NUMERICAL ORDER

The same plan must be submitted to each land-use department. If changes are made to the plans after an approval has been given, the plans must be re-submitted to all prior departments for re-approval.

- 2) To be filled out by Tax Assessor: Map: 35 Block: 7 Lot: 2A
Street Address: 144 Oxford Rd
Signature of Assessor: [Signature] Date: 6/11/20
- 3) To be filled out by Tax Collector: Taxes Current: ☒ Yes ☐ No
Signature of Tax Collector: [Signature] Date: 6/11/2020
- 4) To be filled out by P.D.D.H. or W.P.C.A.
Plan Date: _____ Signature: _____ Date: _____
- 5) To be filled out by Inland / Wetlands:
Plan Date: 6 Signature: [Signature] Date: 6/11/20
I/W Permit Number: _____
- 6) To be filled out by Driveway Inspector:
Plan Date: _____ Signature: N/A Date: _____
Driveway Permit Number: _____
- 7) To be filled out by Zoning Enforcement Official:
Plan Date: _____ Signature: [Signature] Date: 6-12-20
Zoning Permit Number: 2-20-058 Aquifer Protection Area: Y or N
- 8a) To be filled out by Fire Department (If driveway exceeds 500 ft) (If applicable):
Plan Date: _____ Signature: _____ Date: _____
- 8b) To be filled out by Fire Marshal for Building Permit (If applicable):
Plan Date: _____ Signature: _____ Date: _____
- 9) To be filled out by Building Official:
Plan Date: _____ Signature: _____ Date: _____
Building Permit Number: _____

(After construction, applicant MUST obtain post-construction approvals on the back of this form to receive a C.O.)

valley
NUTRITION

ZC meeting 7-14-20

PLANNING & ZONING COMMISSION

TOWN OF OXFORD
486 Oxford Road
Oxford, CT 06478
(203) 888-2543

Z#: 7-20-078
Date Rec'd: _____
Date on Agenda: 7-14-20
65-Day Expiration: _____

ZONING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification

Street Address: 360 CENTER ROCK GREEN
Subdivision Name: QUARRY WALK Date Approved: _____
Map: 34 Block: 9 Lot: 26 Zoning district: Mixed

Owner/Applicant

Owner Name: OXFORD TOWN CENTER LLC
Owner Address: 300 PROGRESS AVE SEYMOUR
Owner Telephone: 203-232-1590

Applicant Name: Same
Applicant Address: _____
Applicant Telephone: _____

Miscellaneous Information

Special Exception: Article _____ Section _____ Yes No
Site Plan Approval: Article _____ Section _____ Yes No
Estimated Cost of Construction: _____
Variance Granted: _____ Date Granted: _____

Signatures/Authorization

Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

RFB
Property Owner or Agent

7/1/20
Date

30000 Town Fee
State Fee
Total Fee

Purpose

☐ New Home
☒ Addition
☐ Garage
☐ Cottage Business
☐ Swimming Pool IG AG
☐ Sign
☐ Shed
☐ Barn
☐ Change of Use
☐ Excavating/Filling
☐ Trailer
☐ Other _____

Use

☐ Single-Family Residence
☐ Multi-Family Residence
☒ Commercial
☐ Industrial
☐ Residential/POD
☐ Other _____

Required Approvals and Dates

☐ Inland Wetlands _____
☐ P.D.D.H. _____
☐ Fire Marshal _____
☐ Z.B.A. _____
☐ W.P.C.A. _____
☐ Floodplain _____
☐ Copy of Deed _____
☐ Driveway _____
☐ Erosion Control Plan _____
☐ Plot Plan * _____
☐ Other _____

*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied Approved By: Steven J. M... Date: 7/1/20
Title: ZC

Reason for Denial _____

ZPA-1
(Adopted 5/15/97)



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: _____
Date: 7/10/2020

STATEMENT OF USE

Article 11, Section 2

Property Address: 360 Center Rock Green

Zone: VCMUD Map: 34 Block: 9 Lot: 26

Name and Address of Owner: Oxford Towne Center, LLC

Name and Address of Applicant: Oxford Towne Center, LLC

220-2F Main Street, Oxford, CT 06478

Name of Proposed Business: Sitting Duck Tavern

Total Square Footage: 966+/- Permanent Covered Roof over existing approved Patio

And Second Stairwell Egress to approved Rooftop Patio

Hours of Operation: 12:00 pm to 10:00 pm Daily

Number of Employees: 30+/-

List Hazardous and/or Chemicals Material on site: N/A

Provide Approval from: PDDH _____ Fire Marshal _____ Other _____

Permanent covered roof design over patio

Second Stairwell EGRESS

I(we) hereby certify that I(we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

Applicant's Signature


7/10/20

Date

QUARRY WALK
BUILDING N1 - TENANT 113 PATIO & ROOF DECK
360 CENTER ROCK GREEN
OXFORD, CONNECTICUT

STRUCTURAL

JACQUES CONSULTING, LLC.
CONSULTING ENGINEERS
15 JUDSON COURT
CHESHIRE, CT 06410
T: 203.232.5236
CONTACT: WILLIAM JACQUES
E-MAIL: wejce@att.net

		ISSUED FOR PERMIT#BD 07.07.2020			<div><div></div><div><div>PHASE ZERO DESIGN</div><div>architects interior designers</div></div></div> <div>35 POND PARK ROAD, BAY 16 HINGHAM, MA 02043 PHONE: (781) 452-7121 FAX: (781) 976-3039 www.phasezerodesign.com</div>
ISSUE HISTORY:					
GENERAL					CLIENT
G000	TITLE SHEET, ABBREVIATIONS, SYMBOLS, GENERAL NOTES	●			HAYNES DEVELOPMENT 300 PROGRESS AVE. SEYMOUR, CT 06483 PHONE: (203) 888-0048
G001	EGRESS PLAN AND CODE REVIEW	●			
ARCHITECTURAL					
A101	FIRST FLOOR PLAN & REFLECTED CEILING PLAN	●			
A111	ROOF PLAN	●			
A201	EXTERIOR ELEVATIONS	●			
A301	WALL SECTION	●			
A401	EXTERIOR & INTERIOR STAIR PLAN DETAILS	●			
A402	STAIR SECTIONS	●			
STRUCTURAL					
S-1	FOUNDATION PLAN & DETAILS	●			
S-2	ROOF FRAMING PLAN & DETAILS	●			

QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK

360 CENTER ROCK GREEN
OXFORD, CT

[illegible]

1. ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. CONTRACTOR SHALL OBTAIN PERMITS BEFORE STARTING WORK, AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION, AND AS REQUIRED.
2. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, OWNER-CONTRACTOR AGREEMENTS AND ALL ADDENDA ISSUED PRIOR TO AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT.
3. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING; ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
4. GENERAL CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE AND IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING, METHODS AND TECHNIQUES.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING FOR AND OBTAINING ALL PERMITS, INSPECTIONS REQUIRED TESTS AND UTILITY CONNECTIONS, TERMINATIONS, AND CAPPING UNLESS OTHERWISE NOTED.
6. GENERAL CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT PLACE.
7. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES & WHICH REQUIRE UTILITY SHUT DOWN, SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MINIMUM OF (5) FIVE DAYS NOTICE. ALL FIRE WATCHES & SECURITY REQUIREMENTS SHALL BE G.C.
8. IN THE EVENT OF DISCREPANCIES IN THE DRAWINGS, THE COSTLIER OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT. UNLESS OTHERWISE STATED IN WRITING, FROM THE OWNER OR OWNER'S REPRESENTATIVE. ANY DISCREPANCIES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
10. VERIFY DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS, AND REPORT TO THE ARCHITECT AND OR OWNER DISCREPANCIES WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. DO NOT SCALE THE DRAWINGS.
11. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP THE PREMISES CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC. RESULTING FROM THE WORK OF THIS CONTRACT. TENANT SPACE SHALL BE BROOM CLEAN EACH WORK DAY.
12. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR SHALL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER, OR THEIR AGENT, IN WRITING BEFORE THE WORK IS DONE, BASED UPON UNIT PRICING.
13. AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.
14. ALL FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE WHEN REQUIRED.
15. CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS DICTATED BY STATE AND LOCAL BUILDING AND SAFETY CODES. COORDINATE WITH OWNER AND OWNER'S REPRESENTATIVE.
16. COORDINATE AND VERIFY EQUIPMENT SIZES WITH THE OWNER. COORDINATE DIMENSIONS OF FURRED AREAS WITH EQUIPMENT AND OWNER FIREWORK REQUIREMENTS.
17. PROVIDE FRT SOLID WOOD BLOCKING BEHIND ALL SPECIALTY MILLWORK, SIGNAGE, AND AWNINGS, ETC. COORDINATE LOCATION OF ALL SUCH WALL ATTACHED ITEMS WITH OWNER OR THEIR AGENT PRIOR TO INSTALLATION OF WOOD BLOCKING.
18. ALL REQUESTS FOR PAYMENT SHALL BE MADE WITH THE USE OF THE AIA APPLICATION FOR PAYMENT AND PROVIDED TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND RECOMMENDATION TO THE OWNER.
21. PROTECTION OF WORK: HOISTING, UNLOADING AND DELIVERIES, TRASH & DEBRIS REMOVAL, AND DISPOSAL OF ALL WASTE, MUST BE COORDINATED WITH BASE BUILDING, DOCK MANAGER & CITY POLICE.
22. ALL LIGHT GAUGE METAL FRAMING SHALL BE PREPARED AND STAMPED UNDER THE SUPERVISION OF A QUALIFIED ENGINEER LICENSED IN THE JURISDICTION OF THE PROJECT.
23. PATCHING OF HOLES IN EXISTING CONSTRUCTION - PATCH AND REPAIR HOLES AS NECESSARY TO MATCH ADJACENT CONSTRUCTION AND TO MAINTAIN THE FIRE RATING OF THE ASSEMBLIES. FIRESTOPPING SYSTEM MAY BE USED TO FILL HOLES THAT WILL BE CONCEALED IN THE FINISH CONSTRUCTION.

EL: 0'-0"

HEIGHT DATUM

DETAIL MARKS

ELEVATIONS

SECTION CUT

DIRECTION ARROW

BUILDING SECTION

LAYOUT POINT

INTERIOR ELEVATIONS

KEYNOTE

REVISION CLOUD & TAG

MATCH LINE & NOTE

ROOM NAME/
ROOM NUMBER

DOOR NUMBER
SEE DOOR
SCHEDULE

WINDOW NUMBER
SEE WINDOW
SCHEDULE

COLUMN REFERENCE

CENTER LINE

FINISH KEY

WALL FINISH

FLOOR FINISH

BASE FINISH

WAINSCOTING

ROOM TAG

SHEET CODED
NOTE

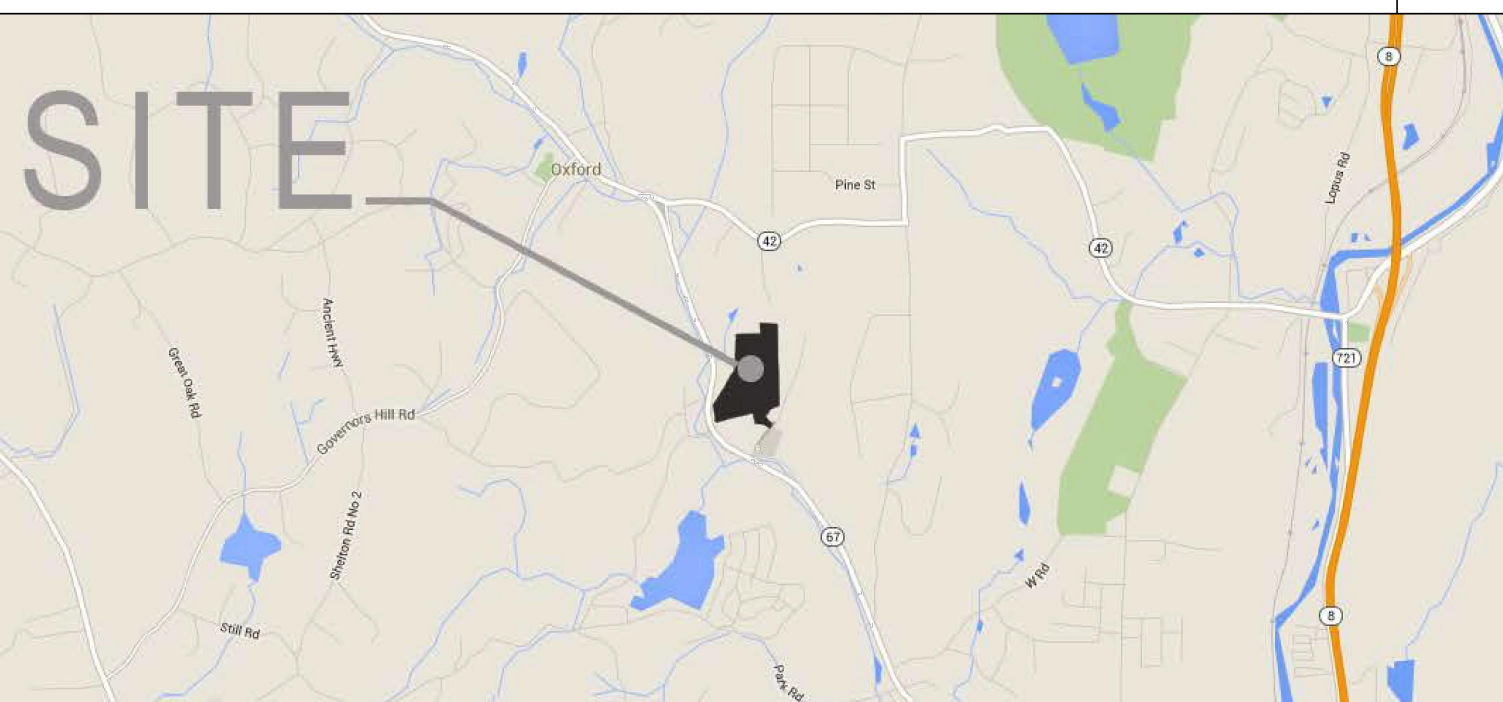
CEILING MATERIAL

CEILING FINISH

CEILING HEIGHT

NORTH ARROW

SYMBOL INDEX



LOCUS PLAN



QUALITY CONTROL:

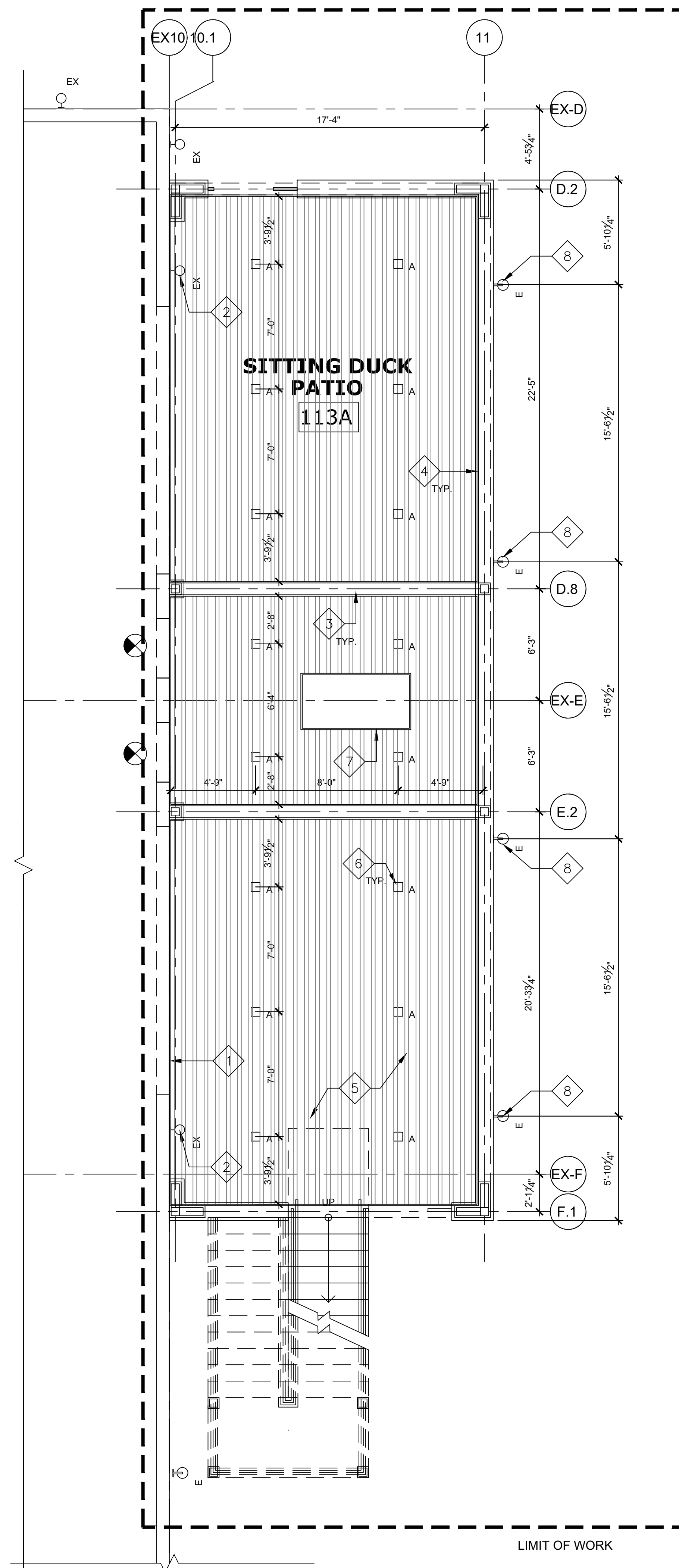
A. SITE MEETINGS: CONTRACTOR TO CONDUCT SITE MEETINGS AND WRITE MEETING MINUTES AT FREQUENCY AS DIRECTED BY OWNER, UNLESS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT, UNLESS WAIVED BY OWNER.

B. INSTALLATION: EXCEPT AS MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES, COMPLY WITH GENERALLY ACCEPTED INDUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

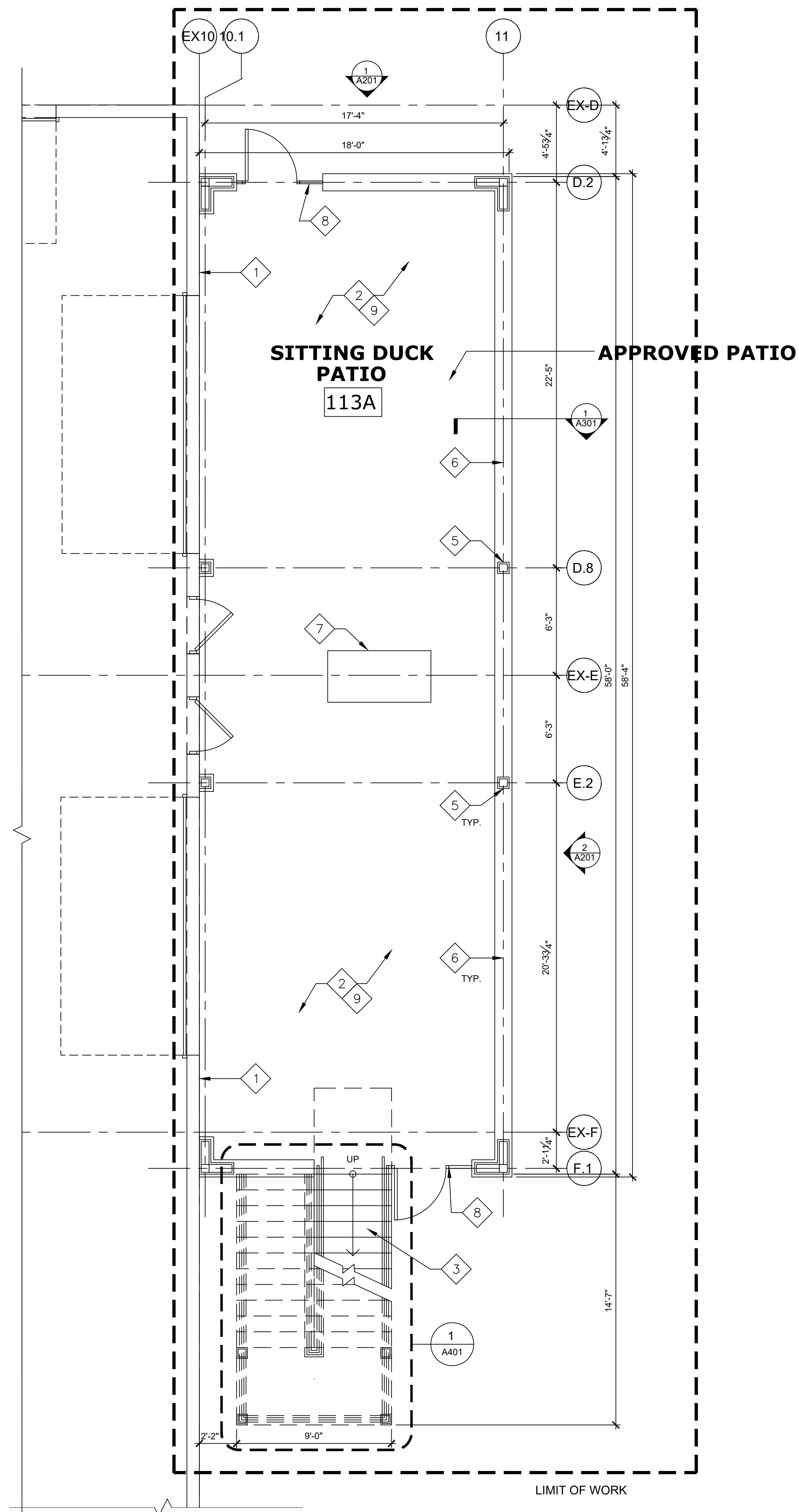
C. WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORDS "ACCEPTABLE", "VISIBLE", "INVISIBLE", "MATCHING", "CONED", AND SIMILAR TERMS OF JUDGMENT SHALL MEAN "ACCEPTABLE, ETC., IN THE OPINION OF THE ARCHITECT OR OWNER".

ABBREVIATIONS	GENERAL NOTES	VICINITY MAP	INDEX OF DRAWINGS
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G000











FIRST FLOOR REFLECTED CEILING PLAN 2

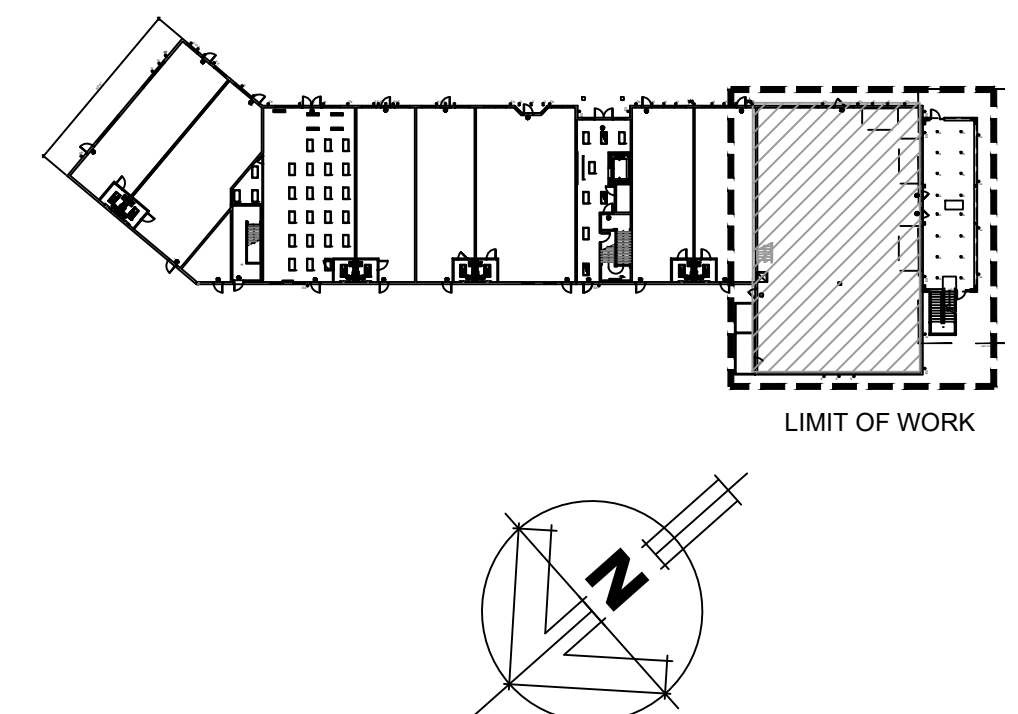


FIRST FLOOR PLAN 1

FLOOR PLAN KEY NOTES:	
	EXISTING BUILDING TO REMAIN.
	NEW PATIO WITH COVERED ROOF.
	NEW EXTERIOR STAIR.
	INTERNAL ROOF DRAIN.
	6X6 WOOD POST WRAPPED IN PVC TRIM T1.
	2'-6" HIGH KNEE WALL CLAD IN STONE.
	GAS VENTLESS 2-SIDED FIREPLACE.
	2'-6" RAIL SYSTEM WITH GATE (FOR EGRESS ONLY).
	STONE PAVERS.

REFLECTED CEILING PLAN KEY NOTES:	
	EXISTING BUILDING TO REMAIN.
	EXISTING EXTERIOR LIGHTING (EX) TO REMAIN.
	PVC TRIM BOARDS HORIZONTAL.
	PVC TRIM BOARDS VERTICAL.
	HARDIE SOFFIT PANEL. COLOR: WHITE HOUSE.
	EXTERIOR RECESSED LIGHTING.
	GAS VENTLESS 2-SIDED FIREPLACE.
	EXISTING DECORATIVE EXTERIOR LIGHTING TO BE RELOCATED FROM EXISTING BUILDING TO NEW ROOF FASCIA. CENTERLINE OF FIXTURE @ 13'-0" AFF.

	NOTES
--	-------



KEY PLAN	
-----------------	--

PHASE ZERO
DESIGN
architects | interior designers

35 POND PARK ROAD, BAY 16
HINGHAM, MA 02043
PHONE: (781) 452-7121
FAX: (781) 875-3039
www.phasezerodesign.com

HAYNES DEVELOPMENT
30D PROGRESS AVE.
SEYMOUR, CT 06483
PHONE: (203) 888-9048

QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK

360 CENTER ROCK GREEN
OXFORD, CT

[illegible]








ISSUED FOR: PERMIT-BID
ISSUED DATE: 07.07.2020




RAWN BY: AJ
CHECKED BY: RK
PROJECT NUMBER: 2118197

**FIRST FLOOR
PLAN &
REFLECTED
CEILING PLAN**

DRAWING NO.


A101

KEYED NOTES:	
	EXISTING BUILDING TO REMAIN.
	EXISTING EXTERIOR LIGHTING TO REMAIN.
	NEW PATIO AND COVERED ROOF.
	NEW EXTERIOR STAIR.
	EXISTING DECORATIVE EXTERIOR LIGHTING TO BE RELOCATED FROM EXISTING BUILDING TO NEW ROOF FASCIA. CENTERLINE OF FIXTURE @ 13'-0" AFF.
	NEW ROOF DECK ON EXISTING ROOF.
	COMPOSITE RAILING SYSTEM ANCHORED TO EXISTING PARAPET / ROOF.

	6X6 WOOD POST & SHEAR WALL PANELS WRAPPED IN PVC TRIM T1.
	2'-6" HIGH KNEE WALL CLAD IN STONE.
	GAS VENTLESS 2-SIDED FIREPLACE.

EXTERIOR MATERIAL & FINISHES		STONE PIER COLOR VIEW
C1	PRE-FINISHED ALUMINUM COPING - MANUFACTURER: PACOCLAD, PRODUCT: CONTINUOUS CLEAT COPING, COLOR: BRONZE.	
H1	"JAMES HARDIE" HARDY PLANK LAP SIDING, COLOR: BOOTH BAY BLUE	
T3	AZEK 5/4" X8 PVC TRIM, COLOR: ARCTIC WHITE, TRADITIONAL FINISH	
T2	AZEK 5/4" X12 PVC TRIM, COLOR: ARCTIC WHITE, TRADITIONAL FINISH	
S1		

ARCHITECT

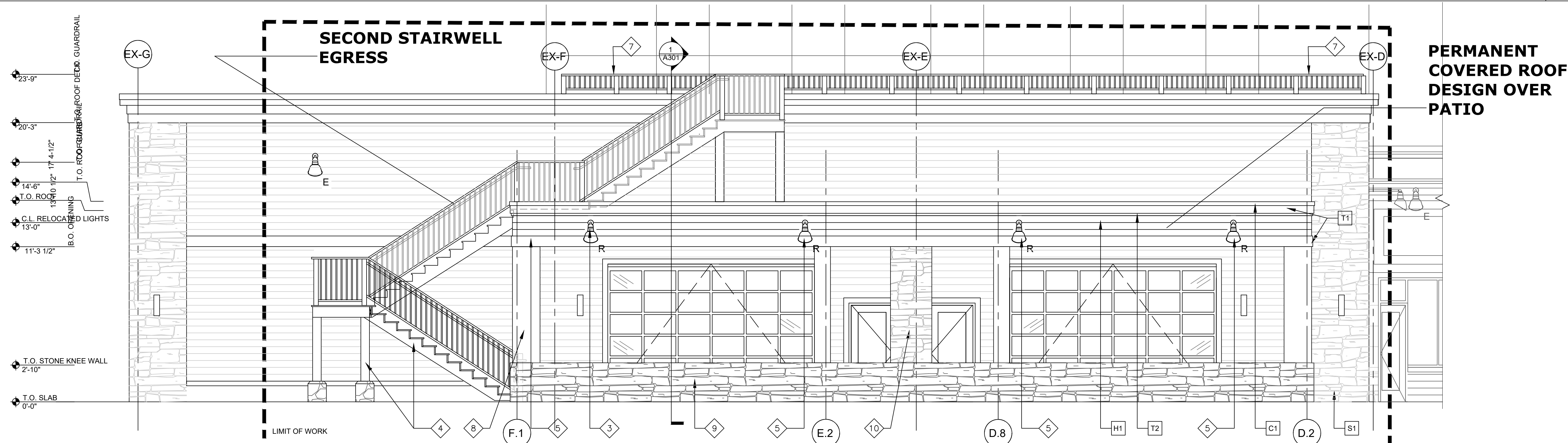
 **PHASE ZERO
DESIGN**
architects | interior designers

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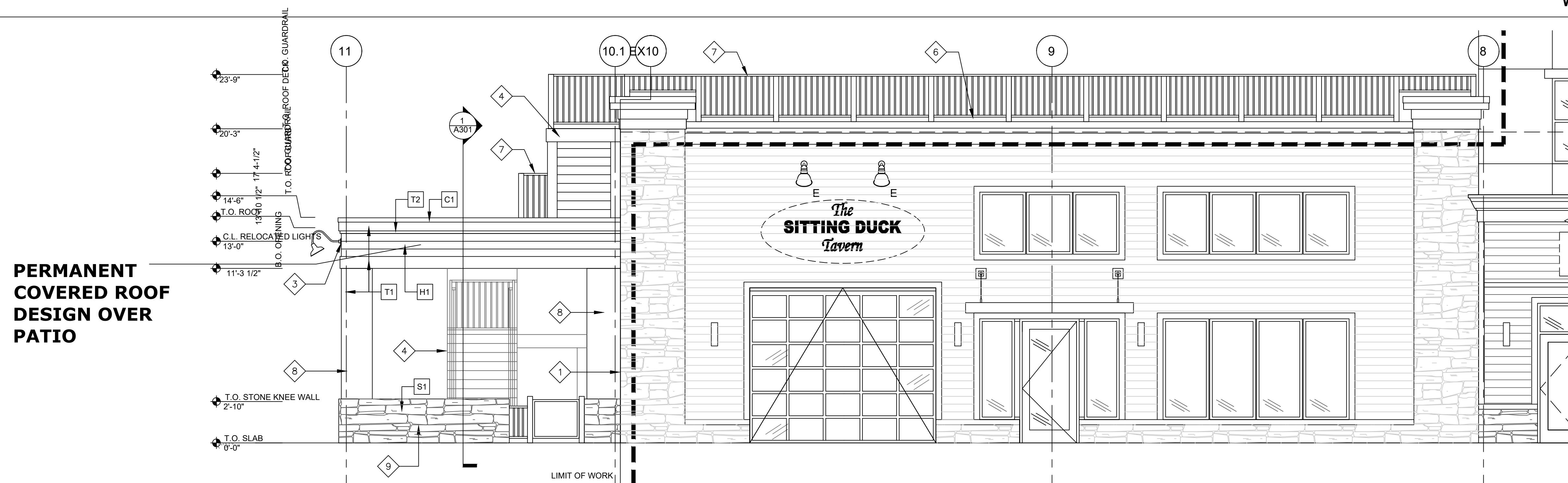
CLIENT

HAYNES DEVELOPMENT
30D PROGRESS AVE.
SEYMOUR, CT 06483
PHONE: (203) 888-9048

NOTES




WEST ELEVATION 2



NORTHWEST ELEVATION 1/4"=1'-0"

ARCHITECT

 **PHASE ZERO
DESIGN**
architects | interior designers

35 POND PARK ROAD, BAY 16
HINGHAM, MA 02043
PHONE: (781) 452-7121
FAX: (781) 875-3039
www.phasezerodesign.com

CLIENT

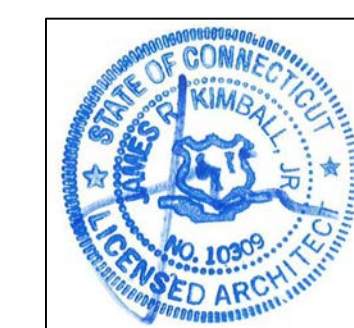
HAYNES DEVELOPMENT
30D PROGRESS AVE.
SEYMOUR, CT 06483
PHONE: (203) 888-9048

QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK

360 CENTER ROCK GREEN
OXFORD, CT

[illegible]

SEAL



ISSUED FOR: PERMIT-BID

ISSUED DATE: 07.07.2020

DRAWN BY: A.J

CHECKED BY: R

PROJECT NUMBER: 2118197

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DRAWING NAME

EXT. ELEVATIONS

DRAWING NO.

A201

QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK

360 CENTER ROCK GREEN
OXFORD, CT

[illegible]

ISSUED FOR: PERMIT-BID
ISSUED DATE: 07.07.2020

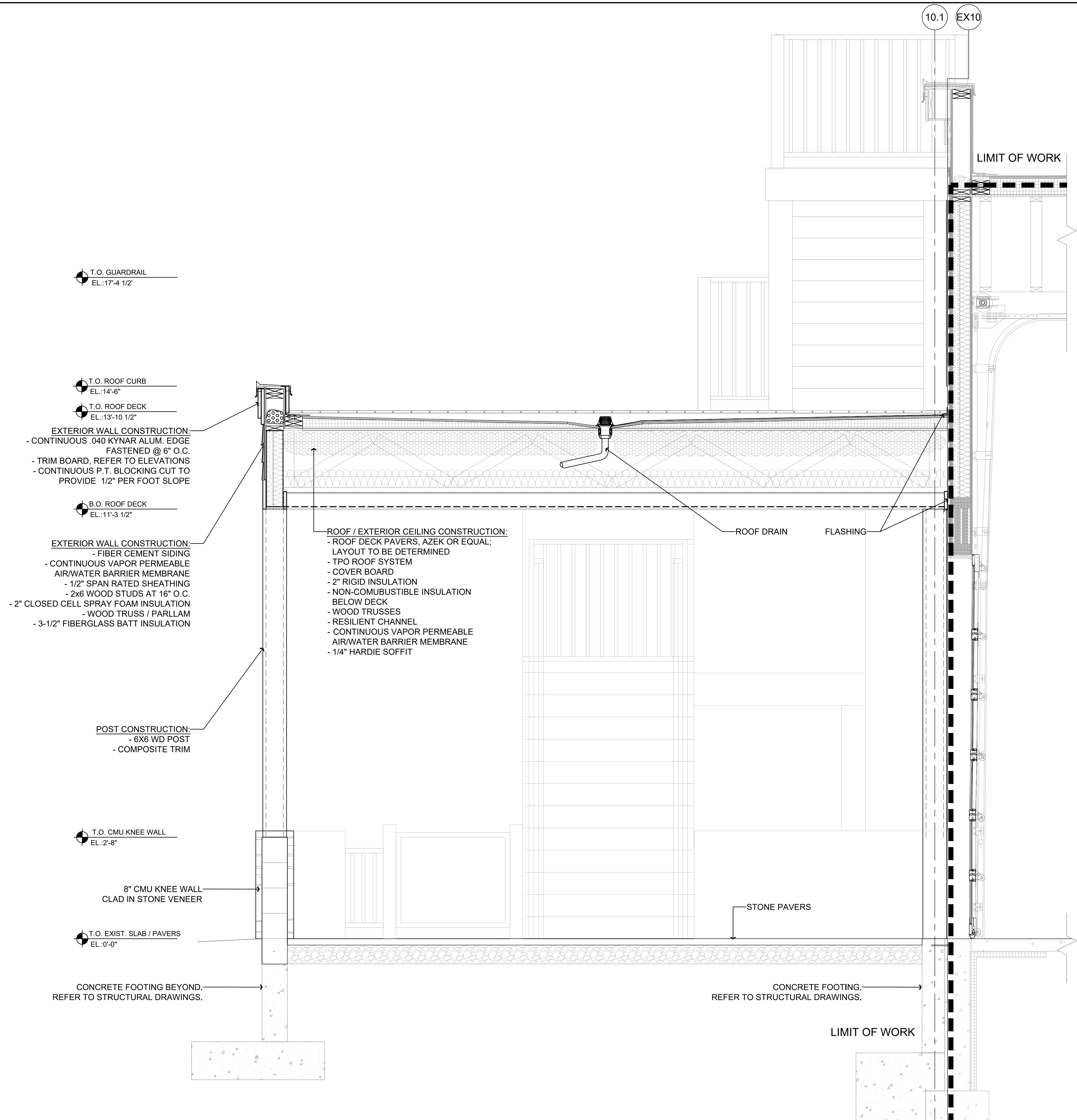
DRAWN BY: AJ
CHECKED BY: RK
PROJECT NUMBER: 2118197

DRAWING NAME

WALL SECTION

DRAWING NO.

A301



QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK

360 CENTER ROCK GREEN
OXFORD, CT

[illegible]

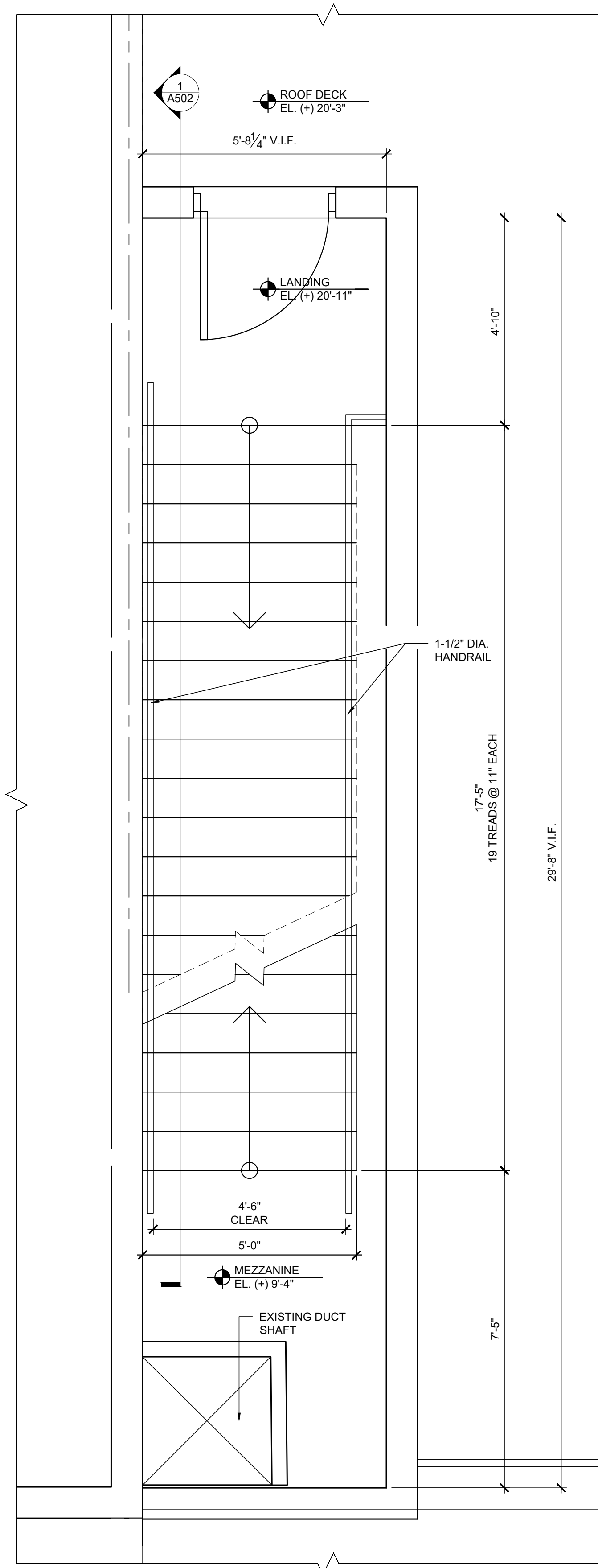
SUED FOR: PERMIT-BID
SUED DATE: 07.07.2020

DRAWN BY: AJ
 CHECKED BY: RK
 PROJECT NUMBER: 211819

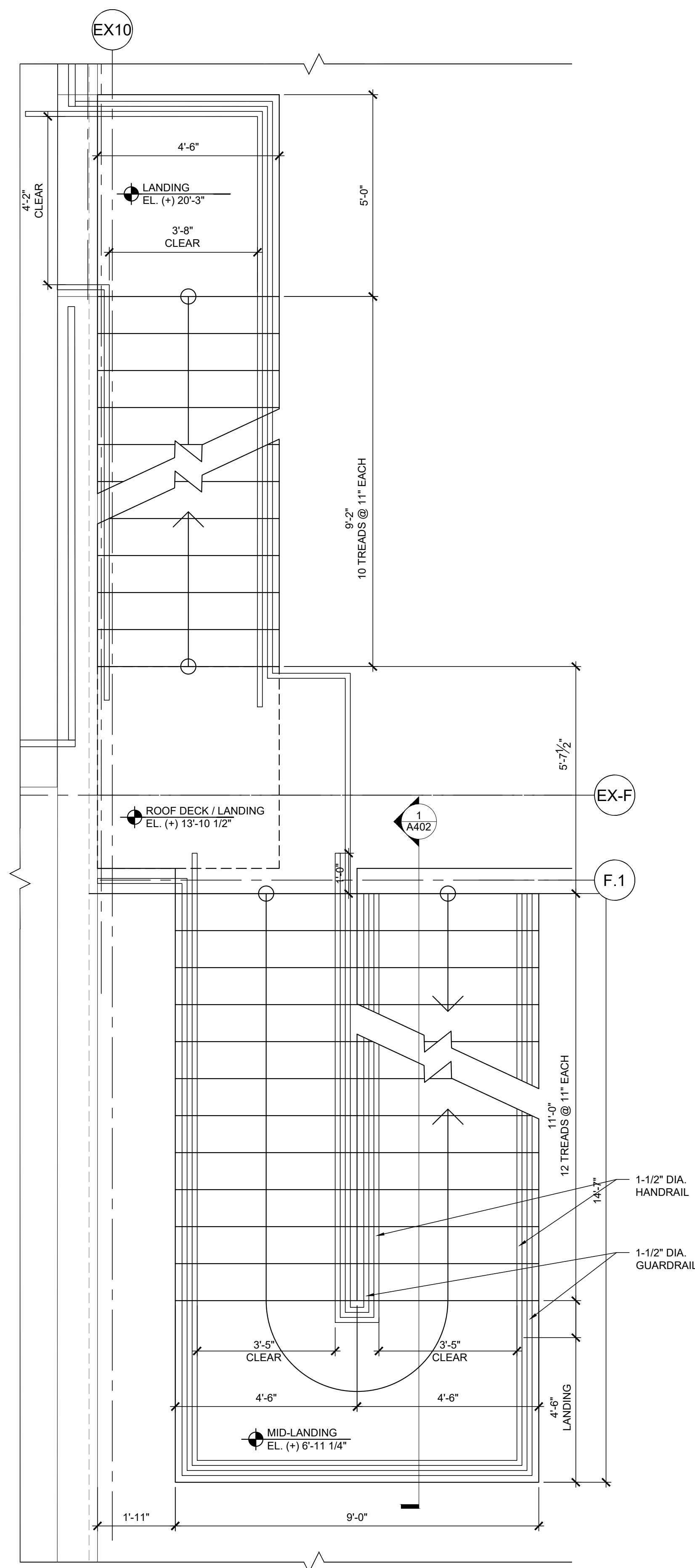
EXTERIOR & INTERIOR STAIR PLAN DETAILS

DRAWING NO.

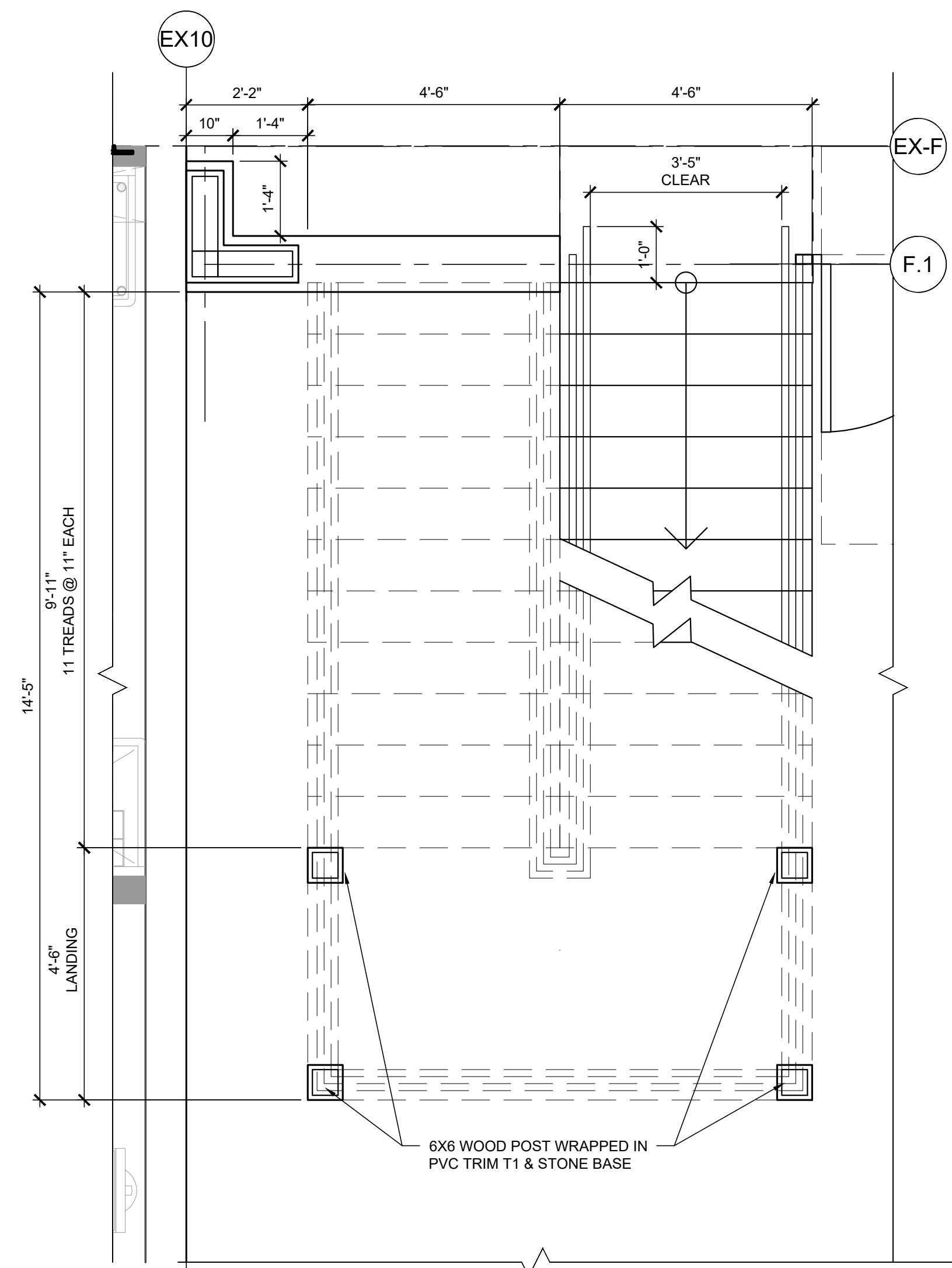
A401



TENANT 113 INTERIOR STAIR PLAN



TENANT 113 EXTERIOR STAIR - SECOND FLOOR 1/2"=1'-0"	2
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TENANT 113 EXTERIOR STAIR - FIRST FLOOR
1/2"=1'-0" **1**

QUARRY WALK BUILDING N1
TENANT 113 PATIO & ROOF DECK
360 CENTER ROCK GREEN
OXFORD, CT



ISSUED FOR: PERMIT-BID
ISSUED DATE: 07.07.2020

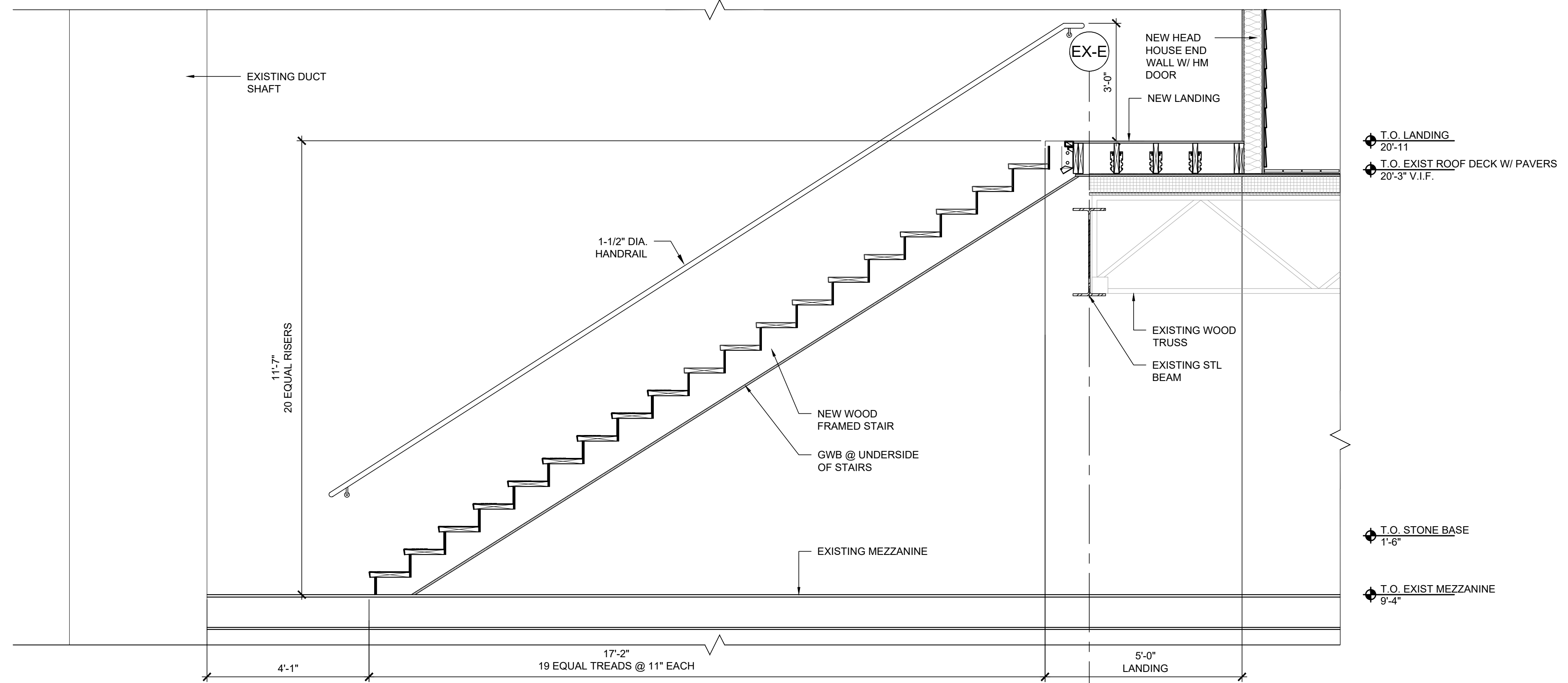
DRAWN BY: AJ
CHECKED BY: RK
PROJECT NUMBER: 2118197

DRAWING NAME

STAIR SECTIONS

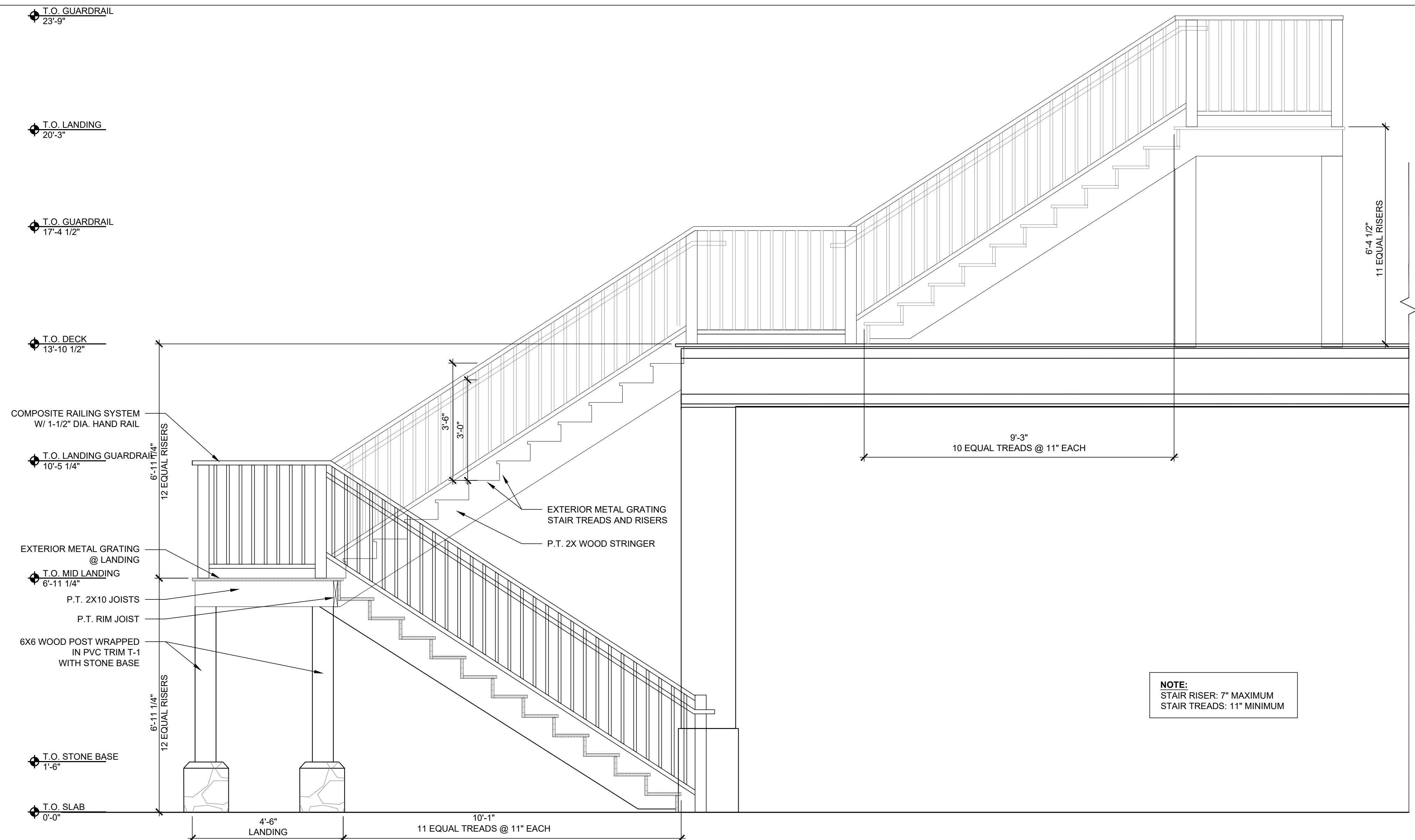
DRAWING NO.

A402



TENANT 113 INTERIOR STAIR - SECTION **2**
1/2"=1'-0"

2



TENANT 113 EXTERIOR STAIR - SECTION

1



TOWN OF OXFORD

S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

(PART 1)

REQUIRED CONSTRUCTION APPROVALS

- 1) Applicant: OXFORD TOWN CENTER LLC
Property Address: 360 CENTER ROCK GREEN (SITTING DUCK)
Permit Use: ALTERATION (ROOF ABOVE PATIO)
Subdivision Lot #: _____ Zone: _____

OBTAIN SIGNATURES IN NUMERICAL ORDER

The same plan must be submitted to each land-use department. If changes are made to the plans after an approval has been given, the plans must be re-submitted to all prior departments for re-approval.

- 2) To be filled out by Tax Assessor: Map: 34 Block: 9 Lot: 26
Street Address: 360 Center Rock Gr.
Signature of Assessor: [Signature] Date: 7/1/2020
- 3) To be filled out by Tax Collector: Taxes Current: ☒ Yes ☐ No
Signature of Tax Collector: [Signature] Date: 7/1/2020
- 4) To be filled out by P.D.D.H. or W.P.C.A.
Plan Date: _____ Signature: _____ Date: _____
- 5) To be filled out by Inland / Wetlands:
Plan Date: _____ Signature: [Signature] Date: 7/1/20
I/W Permit Number: _____
- 6) To be filled out by Driveway Inspector:
Plan Date: _____ Signature: _____ Date: _____
Driveway Permit Number: _____
- 7) To be filled out by Zoning Enforcement Official:
Plan Date: _____ Signature: [Signature] Date: 7/1/20
Zoning Permit Number: 2-20-078 Aquifer Protection Area: Y or N
- 8a) To be filled out by Fire Department (If driveway exceeds 500 ft) (If applicable):
Plan Date: _____ Signature: _____ Date: _____
- 8b) To be filled out by Fire Marshal for Building Permit (If applicable):
Plan Date: _____ Signature: _____ Date: _____
- 9) To be filled out by Building Official:
Plan Date: _____ Signature: _____ Date: _____
Building Permit Number: _____

(After construction, applicant MUST obtain post-construction approvals on the back of this form to receive a C.O.)

LAND USE & CONSERVATION COUNSEL

275 Greenwood Avenue
Bethel, CT 06801

Invoice

Invoice Date: 7/21/2019

Matter: TimberLake (Assisted Living...

File Number 1023 . 3

Bill To :

Dave Sauter
Chair, Planning & Zoning Commission
Oxford Town Hall
486 Oxford Road
Oxford, CT 06478

Date	Description	Hours	Rate	Amount
6/5/2019	Tel C Smith re court status hearing	0.2	215.00	43.00
6/6/2019	Emails C Smith re briefing schedule	0.2	215.00	43.00
6/23/2019	Review motion to withdraw litigation; email J Luff and C Smith re same.	0.2	215.00	43.00

Subtotal \$129.00

Payments/Credits \$0.00

Total \$129.00

E-Mail accounting@luacc.com
Telephone 203.297.6070 EIN: 27-1750073

Please refer to Statements (if enclosed) for Balances Due from prior invoices

LAND USE & CONSERVATION COUNSEL

275 Greenwood Avenue
Bethel, CT 06801

Invoice

Invoice Date: 7/21/2019

Mat ter: TPB Contractors Appeal

File Number 1023 . 18

Bill To :

Dave Sauter
Chair, Planning & Zoning Commission
Oxford Town Hall
486 Oxford Road
Oxford, CT 06478

Date	Description	Hours	Rate	Amount
6/10/2019	Emails S Kulas re marking of motion to modify; review JIS re status of motion	0.2	215.00	43.00
6/11/2019	Arrange to mark motion to modify ready on the papers	0.2	215.00	43.00
6/19/2019	Review order on motion to modify; draft motion for continuance of trial date; email counsel re same	0.3	215.00	64.50
6/25/2019	Review status of Motion for Continuance; email counsel re granting of same	0.2	215.00	43.00

Subtotal \$193.50

Payments/Credits \$0.00

Total Due \$193.50

E-Mail accounting@luacc.com
Telephone 203.297.6070 EIN: 27-1750073

Please refer to Statements (if enclosed) for Balances Due from prior invoices