



**TOWN OF OXFORD  
PLANNING & ZONING COMMISSION**  
S.B. Church Memorial Town Hall  
486 Oxford Road, Oxford, Connecticut 06478-1298  
[www.Oxford-CT.gov](http://www.Oxford-CT.gov)

**Planning & Zoning Commission**  
**Regular Meeting Agenda**  
**Tuesday, February 16, 2021**  
**7:30 PM - Online/Virtual Meeting**

The Planning & Zoning Commission will meet remotely on **Tuesday, February 16, 2021, at 7:30 PM.**

Members of the public and applicants that would like to join us online can access the meeting using the following information:

**Join Zoom Meeting:**

<https://us02web.zoom.us/j/81746872988?pwd=Ky9oRkVWei9kcGN6TmtXbE0vNnNKQT09>

**Meeting ID:** 817 4687 2988

**Passcode:** 954429

**One tap mobile:** +1 646 558 8656

**Dial by Location:** +1 646 558 8656

**I. CALL TO ORDER**

**II. PLEDGE OF ALLEGIANCE**

**III. ROLL CALL**

**IV. SEATING OF ALTERNATES**

**V. PUBLIC HEARINGS**

**A. Recessed Public Hearings – NONE**

**B. New Public Hearings- NONE**

**C. Future Public Hearings – NONE**

**VI. REGULAR MEETING BUSINESS**

**A. Amendments to the Agenda – NONE**

**B. Audience of Citizens – (Items not listed on the Agenda)**

**C. Correspondence**

- a. Memorandum from the Selectmen’s Office  
Re: Appointments
- b. CFPZA Newsletter – Winter 2021

**D. Old Business – Matters on which a Public Hearing was held – NONE**

**E. Old Business – Other Matters – NONE**

- 1. **Z-21-012 [IND] – 3 Woodruff Hill Road, aka Lot 5 - Owner:** Town of Oxford –  
486 Oxford Road, Oxford, CT - **Applicant:** Oxford Enterprises, LLC, 20 Old Country Road, Oxford,  
CT (Site Plan Application)
- 2. **Z-21-013 [IND] – 7 Woodruff Hill Road, aka Lot 6 - Owner:** Town of Oxford –  
486 Oxford Road, Oxford, CT - **Applicant:** Oxford Enterprises, LLC, 20 Old Country Road, Oxford,  
CT (Site Plan Application)

**F. New Business – Schedule a Public Hearing – NONE**

**G. New Business**

- 1. **Z-21-015 [VCMUD] -276-1 Oxford Road (H-102) – Owner & Applicant:** Oxford Town Center,  
LLC, 220-2F Main Street, Oxford, CT (Use Permit – Realogy/Coldwell Banker)

**H. Zoning Enforcement**

**I. Minutes**

- 1. 1/19/21 - Regular Meeting Minutes
- 2. 2/2/21 – Regular Meeting Minutes

**J. Invoices**

- a. East Coast Car Care Repair – Order #39356
- b. McSherry Law Office – February Invoice

**K. Other Business**

- a. Any other business the Commission deems necessary for discussion.
- b. Moose Hill Estates Requests – Discussion with possible action.
- c. Riverview Subdivision – Request from Horbal & Judson – Referred to Attorney Kevin McSherry

**L. Adjournment**

Respectfully submitted,

*Jessica Pennell*  
 Jessica Pennell, Coordinator  
 Planning & Zoning Commission

21 FEB 11 PM 3:50  
 TOWN OF OXFORD, CT  
 Margaret A. West  
 TOWN CLERK



# Office of the First Selectman MEMORANDUM

RECEIVED  
2/8/21

DATE: February 8, 2021  
TO: All Town Boards, Commissions and Committees  
RE: Appointments / Re-Appointments

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Please note that it is the responsibility of each board, commission or committee to request re-appointments or new appointments when members' terms end. We kindly request that you take this time to review your members' terms and expirations. All appointments and re-appointments will need to be approved by the Board of Selectmen. If action is required, please submit a written request to the Selectmen's Office at your earliest convenience.

Please feel free to contact this office should you have any questions. Thank you!

/kmw

# CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2021

Volume XXV, Issue 1

The planning and zoning commission eventually agreed, denying the application on the basis that a crematory would negatively affect the industrial park and the town by depressing property values. Protecting property values was a general standard contained in the zoning regulations that needed to be satisfied before a special permit application could be approved.

The applicant appealed this decision to court alleging that the commission's decision was not based on substantial evidence in the record because its decision was based solely on noncompliance with general standards contained in the zoning regulations.

The appeal found its way to the Appellate Court which found the Commission's decision was supported by substantial evidence. In doing so, the court reaffirmed the rule that noncompliance with general standards contained in the zoning regulations is a sufficient basis to deny a special permit application. *McLoughlin v. Planning & Zoning Commission*, 200 Conn. App. 307 (2020).

## LARGE FINE AWARDED BY COURT FOR ILLEGAL JUNKYARD

An award of \$125,000 for fines plus attorney fees was ordered by a court together with an injunction preventing the further use of a residential property as a junkyard and processing center. The homeowner was using her

home in connection with her business, which was to clean out foreclosed properties. She would, under contract with the foreclosing lender, empty a foreclosed home of its contents and then sell or junk these items.

Much of this material ended up at her home, where it was first stored indoors and then overflowed into the front and side yards of her property. This activity continued even after her home was destroyed by fire. Complaints from neighbors eventually resulted in a zoning enforcement action and a blight action.

The award was made solely under C.G.S. Sec. 8-12, which provides for daily fines as well as an award of attorney fees where the violation is deemed to be willful. The evidence clearly demonstrated that the property owner was aware that her use of the residential property as a junkyard was prohibited, yet she ignored repeated notice of violations and a cease and desist order. See *South Windsor v. Lanata*, 68 Conn. L. Rptr. 45 (2019).

## DENIAL OF APPLICATION BASED UPON STATE REGULATIONS

An owner of a business with an existing liquor permit applied for a special permit and site plan application. The current permitted use was a billiard hall and bar. The owner now sought to convert the business to an exotic dance establishment and bar. The Commission

Written and Edited by  
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# CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2021

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## 2021 ANNUAL MEETING

Due to the ongoing Covid-19 Pandemic and the restrictions imposed by the State of Connecticut in regard to public and private gatherings, the Executive Board of the Federation has determined that the 2021 Annual Meeting will be postponed indefinitely. The Federation remains hopeful that the pandemic will come to an end by Summer. Once it becomes clear when this will occur, a new date for a 2021 conference will be set.

In the meantime, the Federation plans to schedule one or more webinars on land use topics of interest. In addition, an announcement will be mailed for length of service awards and lifetime achievement awards. The recipients of the awards will hopefully be made at a meeting this year but may instead be announced at a webinar.

## NOT ALL SPECIAL EXCEPTION APPLICATIONS ARE CREATED EQUAL

When a property owner's application for a special exception was rejected by a land use administrator, he appealed the matter to the Superior Court. The appeal was dismissed by the court, and later by the Appellate Court, on the basis that the property owner did not exhaust his administrative remedies.

The court viewed the rejection of the application by the land use administrator as a decision by an officer charged with the enforcement of the zoning regulations. It reached this conclusion by first finding that the zoning regulations provided the administrator with the authority to review applications and decide whether they were complete. Then, since this review was based upon the interpretation of the zoning regulations by the administrator, the decision that the application was incomplete was in fact a decision involving the enforcement of the zoning regulations. Thus, the decision was required to be appealed to the zoning board of appeals before an appeal to court could be taken. *See Farmington-Girard LLC v. Planning & Zoning Commission, 190 Conn. App. 743 (2019).*

## GENERAL STANDARDS ALONE SUPPORT DENIAL OF SPECIAL EXCEPTION SAYS COURT

The owner of a parcel of property located within an industrial zone applied for a special permit to operate a crematory. The owners of parcels within the industrial park objected, as did the town's economic development commission. These objectors claimed that approving the crematory would result in a decrease of their property values and negatively affect the character of the industrial park.

Written and Edited by  
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[cfpza@live.com](mailto:cfpza@live.com) [www.cfpza.org](http://www.cfpza.org)

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denied the application for one reason which was that under state law, a liquor permit could not be issued to a business that featured unclothed employees.

On appeal to court, the commission's decision was upheld. While local land use commissions can impose stricter requirements on the sale of alcohol, they cannot make less restrictive rules. Thus, the Commission was correct to deny the application where it was certain that state law prohibited the use as it could not approve a use of land that the state prohibited. *Q-Lungian Enterprises Inc. v. Planning & Zoning Commission, 69 Conn. L. Rptr. 295 (2019).*

## VALIDITY OF PLANNED DEVELOPMENT DISTRICTS AFFIRMED BY COURT

A superior court decision affirmed that a zoning commission can amend its zoning regulations to include what are known as planned development districts. These districts typically target one or just a few properties for multi-use development and allow the commission to apply detailed standards and controls to the uses permitted therein. In this case, aggrieved neighboring property owners challenged the district as violating the uniformity requirement found in C.G.S. Sec. 8-2 as well as being an improper exercise by the commission of the variance power which is reserved for a zoning board of appeals.

The court dismissed both arguments and found that the commission was within its authority when it adopted the district, finding that such a district does not violate the uniformity requirement as it treated all property within the district the same. As for the variance argument, it was quickly dismissed as the amending of zoning regulations is a specific power given to a zoning commission and does not constitute a variance. *See Tillman v. Planning & Zoning Commission, 69 Conn. L. Rptr. 409 (2020).*

## ANNOUNCEMENTS

### **CFPZA Website**

The Federation's website has been up and running for nearly one year. The web address is [www.cfpza.org](http://www.cfpza.org). On the website you can find educational materials published by the Federation as well as news items and Federation webinars. Please take time to visit us.

### **Workshops**

If your land use agency recently had an influx of new members or could use a refresher course in land use law, contact us to arrange for a workshop to be held at your next meeting. At the price of \$180.00 per session for each agency attending, it is an affordable way for your commission or board to keep informed.

Written and Edited by  
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**Planning and Zoning Commission**

Z#:	<u>221-012</u>
Date Received:	_____
Date Accepted:	_____
Date on Agenda:	_____
65 Day Exp.:	_____
Extension:	_____
2 <sup>nd</sup> Extension:	_____

**\* Please Note:**

- Read Instructions Thoroughly Before Completing Form
- This form Must Be Completely Typewritten or Legibly Printed in Ink

1) **APPLICATION:** This is an application for: *(Check the ones that apply)*

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision          | <input type="checkbox"/> Resubdivision      | Total Number of Lots: _____                |
| <input type="checkbox"/> Zone Change          | <input type="checkbox"/> Special Exception  | S/E (Include Article & Section No.): _____ |
| <input type="checkbox"/> Excavation           | <input type="checkbox"/> Map/Text Amendment | (Include Article & Section No.): _____     |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Other              | _____                                      |

Name of Project - Title: 3 Woodruff Hill Rd. (Lot 5)

2) **PROPERTY LOCATION(s):**

a) Street Address: 3 Woodruff Hill Road

Town Clerk Record Map Number: \_\_\_\_\_

Assessor's Identification Numbers:

Map: 25 Block: 22 Lot: 13-5 Unit: \_\_\_\_\_

**Zoning District:** *(Check One)*

- |                                  |                                    |   |   |
|----------------------------------|------------------------------------|---|---|
| <input type="checkbox"/> RES A   | <input type="checkbox"/> RES Golf  | <input type="checkbox"/> COM            | <input type="checkbox"/> Planned COM                            |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input checked="" type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

**Water and Sewer:** *(Check the ones that apply)*

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Municipal Sanitary Sewers | <input type="checkbox"/> Private Wells           |
| <input type="checkbox"/> On Site Septic Systems               | <input checked="" type="checkbox"/> Public Water |

b) Street Address: \_\_\_\_\_

Town Clerk Record Map Number: \_\_\_\_\_

Assessor's Identification Numbers:

Map: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_ Unit: \_\_\_\_\_

**Zoning District:** *(Check One)*

- |                                  |                                    |                              |   |
|----------------------------------|------------------------------------|------------------------------|---|
| <input type="checkbox"/> RES A   | <input type="checkbox"/> RES Golf  | <input type="checkbox"/> COM | <input type="checkbox"/> Planned COM                            |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

**Water and Sewer:** *(Check the ones that apply)*

- |  |  |
|--|--|
| <input type="checkbox"/> Municipal Sanitary Sewers | <input type="checkbox"/> Private Wells |
| <input type="checkbox"/> On Site Septic Systems    | <input type="checkbox"/> Public Water  |

Please indicate who will be the **POINT OF CONTACT**:

(All communications and correspondence will be directed to the Point of Contact)

(Check one)

- APPLICANT    OWNER    LAND SURVEYOR    ENGINEER    ARCHITECT

3) **APPLICANT:** Oxford Enterprises, LLC  
Address: 20 Old Country Road  
Town: Oxford State: CT Zip Code: 06478  
Phone: (203) 893-5155 Fax: ( ) Email: darin.bouchard@yahoo.com

4) **OWNER(s):** Town of Oxford  
Address: 486 Oxford Road  
Town: Oxford State: CT Zip Code: 06478  
Phone: (203) 888-2543 Fax: ( ) Email:

5) **APPLICANT'S OWNERSHIP INTEREST:** contract purchaser

6) **LAND SURVEYOR:** Civil 1 (see below) **REG. No:**   
Address:   
Town:  State:  Zip Code:   
Phone: ( ) Fax: ( ) Email:

7) **CIVIL ENGINEER:** Civil 1 - Brian Baker **REG. No:** 23805  
Address: 43 Sherman Hill Rd D101  
Town: Woodbury State: CT Zip Code: 06798  
Phone: (203) 266-0779 Fax: ( ) Email: brian@civil1.com

8) **ARCHITECT:**  **REG. No:**   
Address:   
Town:  State:  Zip Code:   
Phone: ( ) Fax: ( ) Email:

9) **PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED:**   
(Subject to BOS Approval)  
(Check One)    Private Road    Town Road    Length of Road

10) **STATUS OF WETLANDS PERMIT:** Pending - Application Filed  
(Please Provide a Copy)

11) **ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS:** φ

12) **SURETY OPTION (See Article 9 of Subdivision Regulations):**  
(Check the one that applies)  
 Not Applicable.  
 Improvements will be completed prior to endorsement and filing of record subdivision.  
 Surety will be provided.  
 Conditional approval is requested.

13) **WAIVERS:**  
(Check the one that applies)  
 Not Applicable.  
 No waivers of the subdivision regulations are required.  
 Waivers of one or more sections of the subdivision regulations are requested.  
(Please provide a written description of the reason for the waiver and attached to and make part of this application.)



14) **EARTH EXCAVATION:**

(Check one)

- Yes  No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. \_\_\_\_\_ cubic yards.

15) **FLOOD ZONE:**

(Check one)

- Yes  No If yes, what zone. \_\_\_\_\_

16) **APPLICATION/SUPPORTING DOCUMENTS:**

(Indicate Attached or Not Applicable)

- |  |                                       |
|--|---------------------------------------|
| <input checked="" type="checkbox"/> Project Narrative Letter <i>(Statement of use)</i> | _____ Fire Marshal's Review           |
| _____ Record Subdivision Plan  | _____ Letter from Public Water Supply |
| <input checked="" type="checkbox"/> Site Development Plan                              | _____ P.D.D.H. Approval               |
| <input checked="" type="checkbox"/> Plan and Profile                                   | _____ Inland Wetlands Approval        |
| <input checked="" type="checkbox"/> Standard Construction Details                      | _____ W.P.C.A. Approval               |
| _____ Connecticut Highway Department   | _____ Legal Boundary Description      |
| _____ Engineering Department Review  | _____ Zoning and Subdivision History  |
| <input checked="" type="checkbox"/> Drainage Calculations                              | _____ Certificate from Assessor       |
| _____ Other: _____   | _____ Other: _____                    |

17) **REFERRALS:**

(Check the ones that apply)

- A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
- A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.
- Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- Subdivision/Resubdivision includes land which abuts or is partially located in the Town of \_\_\_\_\_.
- Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by **CERTIFIED MAIL/RETURN RECEIPT.**

18) **APPLICATION FEES:** (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

\_\_\_\_\_ Building Lots (x) \$ \_\_\_\_\_ per lot = \$ \_\_\_\_\_

\_\_\_\_\_ Cubic yards (x) \$100 for each 1,000 cubic yards = \$ \_\_\_\_\_

Public Hearing Fee = \$ \_\_\_\_\_

Other Fees = \$ \_\_\_\_\_

State Fee = \$ \_\_\_\_\_

**Total Fee = \$ \_\_\_\_\_ (Ck#) \_\_\_\_\_**

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

b) PROPERTY OWNER(s):

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

20) INFORMATIONAL:

**Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.**

\*\*\*\*\*

21) ACTION TAKEN:

**(This SECTION is to be filled out by Planning & Zoning Staff ONLY)**

DENIED /  APPROVED  
(Check One)

**APPROVED WITH CONDITIONS**  Yes or  No  
(Check One)

See Letter dated \_\_\_\_\_ for DETAILS of ACTION taken and attach a copy hereto.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
(Name & Title)



**TOWN OF OXFORD**  
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Z#:	<u>22-013</u>
Date Received:	_____
Date Accepted:	_____
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65 Day Exp.:	_____
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**Planning and Zoning Commission**

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Name of Project - Title: 7 Woodruff Hill Rd. (Lot 6)

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Assessor's Identification Numbers:

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(Check the one that applies)

- Not Applicable.
- Improvements will be completed prior to endorsement and filing of record subdivision.
- Surety will be provided.
- Conditional approval is requested.

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(Please provide a written description of the reason for the waiver and attached to and make part of this application.)

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(Check one)

- Yes  No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. \_\_\_\_\_ cubic yards.

15) FLOOD ZONE:

(Check one)

- Yes  No If yes, what zone. \_\_\_\_\_

16) APPLICATION/SUPPORTING DOCUMENTS:

(Indicate Attached or Not Applicable)

Table with 2 columns of document types and checkboxes. Includes items like Project Narrative Letter, Record Subdivision Plan, Site Development Plan, etc. Includes handwritten note '(Statement of use)' next to Project Narrative Letter.

17) REFERRALS:

(Check the ones that apply)

- A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
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Public Hearing Fee = \$ \_\_\_\_\_

Other Fees = \$ \_\_\_\_\_

State Fee = \$ \_\_\_\_\_

Total Fee = \$ \_\_\_\_\_ (Ck#) \_\_\_\_\_

**19) AUTHORIZATION AND ENDORSEMENTS:**

**a) APPLICANT:**

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

**b) PROPERTY OWNER(s):**

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_

NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_

**20) INFORMATIONAL:**

**Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.**

\*\*\*\*\*

**21) ACTION TAKEN:**

**(This SECTION is to be filled out by Planning & Zoning Staff ONLY)**

**DENIED** /  **APPROVED**  
(Check One)

**APPROVED WITH CONDITIONS**  **Yes** or  **No**  
(Check One)

See Letter dated \_\_\_\_\_ for **DETAILS** of **ACTION** taken and attach a copy hereto.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
(Name & Title)



January 21, 2021

Mr. Steve Macary  
Zoning Enforcement Officer  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

**RE: Statement of Use**  
Lot 5 & 6 Woodruff Hill Industrial Park (#3 and #7 Woodruff Hill Road)  
Application for a Site Plan Approval

Dear Mr. Macary:

Mr. Darin Bouchard of Oxford Enterprises, LLC is the contract purchaser of the above referenced lot from the Town of Oxford subject to obtaining land use approvals.

As such, applications are being submitted to the Town of Oxford Planning & Zoning Commission for a Special Permit & Site Plan permits to develop Lots 5 and 6 Woodruff Hill Industrial Park as a warehousing and volume reduction facility for recycling of asphalt shingles and construction debris to manufacture raw material for other end users.

The southern building which will be on Lot 5 will be 11,200 SF and will contain a 1,400 SF office and 11,200 SF of warehousing area for storage and maintenance of vehicles. Routine vehicle maintenance such as vehicle washing, oil changes and replacement of hydraulic fluid will take place within the building and all necessary fluids (typically motor oil and hydraulic fluid) will be stored inside the building. Waste fluids from vehicle maintenance will also be stored inside until they are removed from the site for proper disposal. Anticipated maximum volume of oil and hydraulic fluid to be stored within the building shall be 110 gallons on new fluid and 55 gallons of waste fluid. All fluids will be stored on a spill containment pallet within the building. Floor drains within the building will drain to an oil/water separator before being discharged to the sanitary sewer system.

The northern building which will be on lot 6 will be 26,500 SF and will contain a loading area, 8 overhead garage door bays and will be used as a warehousing area for storage and a volume reduction facility for recycling of asphalt shingles and construction debris. There are no floor drains proposed for the building on lot 6. The lots will be served by public water and sanitary sewer.

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F 203 266 4759

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All storage of the inbound product for processing and the outbound finished material will be inside of the buildings.

Should you have any comments or questions, please feel free to call.

Very truly yours,

**CIVIL 1**

A handwritten signature in blue ink, appearing to read "B. J. Baker". The signature is stylized and extends with a long horizontal line to the right.

Brian J. Baker, P.E.

Cc: Mike Herde, Wetlands Enforcement Officer

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F 203 266 4759

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# NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL  
ENGINEERING & SURVEYING

February 8, 2021

Mr. David T. Sauter, Chairman  
Planning and Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

Re: Lots 5 & 6 Woodruff Hill Road, Oxford, CT

Dear Mr. Sauter:

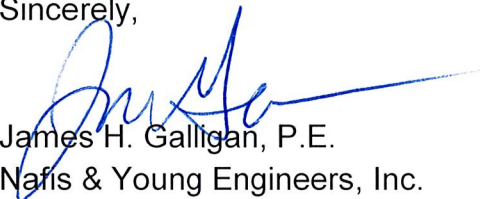
Nafis & Young Engineers, Inc. (NYE) is in receipt of plans and engineering report for the above-referenced projects. The proposal is for construction of two (2) industrial buildings in the industrial zone. These sites have been created as lay-down areas during construction of the Power Plant. As such, the properties have received significant fills from the previous work and were graded to be "pad ready". Both lots meet the zoning requirements of the Town of Oxford for lot area, frontage, setbacks, coverage and building height. The parking requirements are listed as "AS DETERMINED BY COMMISSION" and should be clarified by the Applicant. Stormwater has been separated and directed to drainage systems on each individual lot. Vehicle access however, to both lots is thru a single entrance on Lot 5. NYE recommends that a "right to pass and repass" easement over Lot 5 in favor of Lot 6 be established at this time to prevent future confusion should ownership of either lot changes. We offer the following:

1. Provide access easement over Lot 5 in favor of Lot 6 with rights to pass and repass.
2. Wall designs on Lot 5 and Lot 6 must be signed and sealed by a Professional Engineer licensed in the State of Connecticut prior to issuance of a building permit for the buildings on Lot 5 and Lot 6 respectfully.
3. The Timber Guardrail (guiderail) detail does not appear sturdy enough for truck traffic. Please revise.
4. Please complete parking table to include regulation requirements.

5. Please add silt fencing below the proposed retaining wall on Lot 5.
6. Please provide dumpster enclosure detail.
7. Two (2) inches of bituminous concrete for the proposed use is too thin. Please increase.
8. Please provide Temporary and Permanent pavement repair details for Woodruff Hill Road.
9. Are any Sanitary facilities proposed for the building on Lot 6?
10. Please provide documentation from water supply provider that sufficient fire flow pressure and flow is available.
11. The construction sequence needs revisions.
  - a. Clearing is identified prior to installation of silt fencing.
  - b. Please clarify which TST is to be used for construction, or is both TST's?
  - c. Please identify which building is to be constructed first and tailor construction sequence for each building.
12. NYE recommends that the Applicant provide the Town of Oxford with a Soil Erosion Control Bond in the amount of \$15,000 prior to start of construction.

If you should have any questions, please feel free to contact me at 203-314-8041.

Sincerely,



James H. Galligan, P.E.  
Nafis & Young Engineers, Inc.  
Town Engineer of Oxford

cc: B. Baker



February 10, 2021

Mr. David Sauter, Chairman  
Planning & Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT. 06478

RE: #3 Woodruff Hill Road (Lot 5) & #7 Woodruff Hill Road (Lot 6)

Dear Mr. Sauter,

We have received a review letter from James H. Galligan, P.E. of Nafis & Young Engineers dated February 8, 2021 for the above referenced project and have revised the Permitting Set based upon his recommendations. Enclosed please find two copies of revised plans with a revision date of February 10, 2021. Additionally, we offer the following responses to each of Mr. Galligan's comments:

C1) Provide access easement over Lot 5 in favor of Lot 6 with rights to pass and repass.

*R1) A proposed access easement over lot 5 in favor of Lot 6 has been added to the Site Plans per the recommendation. Note that the same entity will own both lots so the easement will not need to be filed at this time. The easement will be filed if one of the lots is ever to be sold to another entity.*

C2) Wall designs on Lot 5 and Lot 6 must be signed and sealed by a Professional Engineer licensed in the State of Connecticut prior to issuance of a building permit for the buildings on Lot 5 and Lot 6.

*R2) We concur. The aforementioned wall designs will be completed and submitted prior to issuance of a building permit.*

C3) The Timber Guardrail (guiderail) detail does not appear sturdy enough for truck traffic . Please revise.

*R3) The Timber Guide Rail detail has been replaced with a W-beam Steel Guide Rail in accordance with the recommendation.*

C4) Please complete parking table to include regulation requirements.

*R4) The parking table has been revised to include the individual uses and a breakdown of spaces provided. 7 additional spaces have been added to the site plans. We are now provided 39 total spaces of the 50 required by the calculations, therefore we are requested 22% be held in future reserve. In accordance with Section 3.24.2 of the Zoning Regulations the Commission may allow up to 25% be held in future reserve. Please note that the applicant has indicated that 39 spaces is more than sufficient for the proposed use at the property.*

C5) Please add silt fencing below the proposed retaining wall on Lot 5.

*R5) Silt Fence is included on the plans below the retaining wall for Lot 5. It is shown on the Erosion & Sediment Control Plan on Sheet C-3.1.*

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C6) Please provide dumpster enclosure detail.

*R6) A dumpster enclosure detail has been included on Sheet C-5.4 of the plan set per the recommendation.*

C7) Two (2) inches of bituminous concrete for the proposed use is too thin. Please increase.

*R7) The proposed pavement section detail on sheet C-5.2 calls for 2 -2" courses of asphalt for a total of 4". This is adequate for the proposed use.*

C8) Please provide Temporary and Permanent pavement repair details for Woodruff Hill Road.

*R8) Temporary and Permanent Pavement Repair Details have been included on Sheet C-5.2 per the recommendation.*

C9) Are any sanitary facilities proposed for the building on Lot 6?

*R9) No sanitary sewer facilities are proposed for the building on Lot 6. The plan has been reviewed and approved by the Oxford Water Pollution Control Authority (WPCA).*

C10) Please provide documentation from water supply provider that sufficient fire flow pressure and flow is available.

*R10) The fire suppression design for the building(s) has not been designed yet. They will be designed as the building plans progress and the applicant will reach out to the water supplier (Connecticut Water Company) for coordination and confirmation when design of the fire suppression system is under way. Note that the Towantic Power Plant is fed by the same line and sits approximately 70' higher in elevation than this site. The plant has adequate supply flows and pressure so we anticipate that there will be no issue with water pressure and flow to this site.*

C11) The construction sequence needs revisions.

- a) Clearing is identified prior to installation of silt fencing.
- b) Please clarify which TST is to be used for construction, or both TSTs?
- c) Please identify which building is to be constructed first and tailor construction sequence for each building.

*R11) a) Standard construction procedure is to clear the trees but not to remove the stumps prior to silt fence installation otherwise silt fence gets damaged by the trees when they are taken down. We have added a note clarifying that no stumps are to be removed until silt fence installation has occurred.*

*b) Both TSTs will be used during construction. The notes have been updated to clarify as such.*

*c) Site preparation will and drainage installation on both lots will occur concurrently to prepare the site for the buildings. It is anticipated that the southern building (Lot 5) will be constructed first with the building on Lot 6 to follow immediately afterwards. The construction sequence has been revised as such.*

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C12) NYE recommends that the applicant provide the Town of Oxford with a Soil Erosion Control Bond in the amount of \$15,000 prior to the start of construction.

*R12) We concur with the recommendation.*



Please feel free to contact us if you have any further questions.

Sincerely,

**CIVIL 1**

Brian J. Baker, P.E

T 203 266 0778  
F 203 266 4759

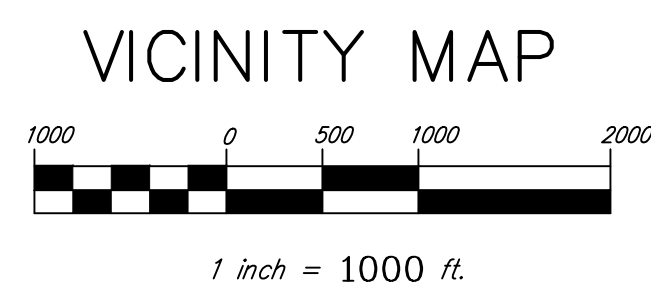
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# OXFORD ENTERPRISES LLC

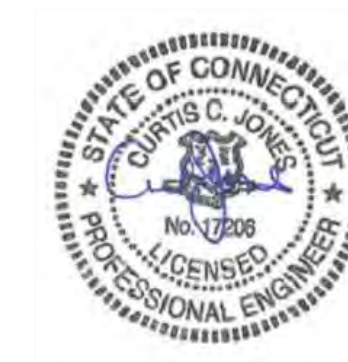
## PERMITTING SET

### NOT FOR CONSTRUCTION

**3 WOODRUFF HILL ROAD (LOT5) and 7 WOODRUFF HILL ROAD (LOT6)**  
**WOODRUFF HILL INDUSTRIAL PARK, OXFORD, CT**  
**TAX MAPS - MAP:25 - BLOCK: 22 LOT: 13-5 & 13-6**



CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
 43 SHERMAN HILL ROAD  
 WOODBURY CONNECTICUT (203) 266-0778



DECEMBER 4, 2020  
 REVISED FEBRUARY 10, 2021

SHEET NUMBER	DESCRIPTION
S 1.1	ZONING LOCATION SURVEY LOT 5 (3 WOODRUFF HILL RD.)
S 1.2	ZONING LOCATION SURVEY LOT 6 (7 WOODRUFF HILL RD.)
C 1.0	EXISTING CONDITIONS MAP
C 1.1	SITE PLAN AND LANDSCAPE PLAN
C 2.1	GRADING PLAN DRAINAGE PLAN AND UTILITY PLAN
C 3.1	EROSION CONTROL PLAN
C 4.1	DRIVEWAY PLAN & PROFILES
C 4.2	DRIVEWAY PLAN & PROFILES
C 4.3	STORM DRAINAGE PROFILES
C 5.1	DETAILS
C 5.2	DETAILS
C 5.3	DETAILS
C 5.4	DETAILS
C 6.1	EROSION CONTROL NARRATIVE & PROJECT NOTES

**OWNER**  
 TOWN OF OXFORD  
 486 OXFORD ROAD  
 OXFORD, CT 06478

**APPLICANT**  
 OXFORD ENTERPRISES, LLC  
 20 OLD COUNTRY ROAD  
 OXFORD, CT 06478

**ENGINEER / SURVEYOR**  
 CIVIL 1  
 43 SHERMAN HILL ROAD, SUITE D-101  
 WOODBURY, CT









**PLANT SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>EVERGREEN SHRUB(S)</b>						
JP	30	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER	spaced @ 30" o.c.
PL	15	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	CONTAINER	-
<b>DECIDUOUS SHRUB(S)</b>						
CH	15	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	24-30"	CONTAINER	-
VA	15	VACCINIUM ANGUSTIFOLIUM	LOW BUSH BLUEBERRY	24-30"	CONTAINER	-
DI	15	DIERVILLA IONICERRA	BUSH HONEYSUCKLE	24-30"	CONTAINER	-

**LANDSCAPING COMPLIANCE CHART**

REQUIRED / PERMITTED	PROVIDED / PROPOSED	COMPLIANCE
ARTICLE 9 9.14.7 A MINIMUM OF ONE SHRUB OF A MINIMUM HEIGHT OF 24" SHALL BE PLANTED FOR EACH 3 FEET OF BUILDING FRONTAGE. THE COMMISSION, AT THEIR DISCRETION, MAY PERMIT THE SUBSTITUTION OF PERENNIAL GARDENS.	TOTAL BUILDING FRONTAGE: 270 LF REQUIRED NUMBER OF SHRUBS = 90 PROVIDED NUMBER OF PLANTS = 90	COMPLIES**

\*PENDING COMMISSION APPROVAL APPLICANT MAY USE ORNAMENTAL GRASSES, PERENNIALS, AND GROUND COVER AS SUBSTITUTE TO SHRUBS. ALTERNATE SHRUB SPECIES MAY BE SUBSTITUTED BASED UPON AVAILABILITY AT THE DISCRETION OF A QUALIFIED LANDSCAPE PROFESSIONAL OR LANDSCAPE ARCHITECT. EXACT LOCATION OF SHRUBS SHALL BE SET IN FIELD AT THE DISCRETION OF A QUALIFIED LANDSCAPE PROFESSIONAL OR LANDSCAPE ARCHITECT.

**ZONING DATA - INDUSTRIAL DISTRICT LOT 6**

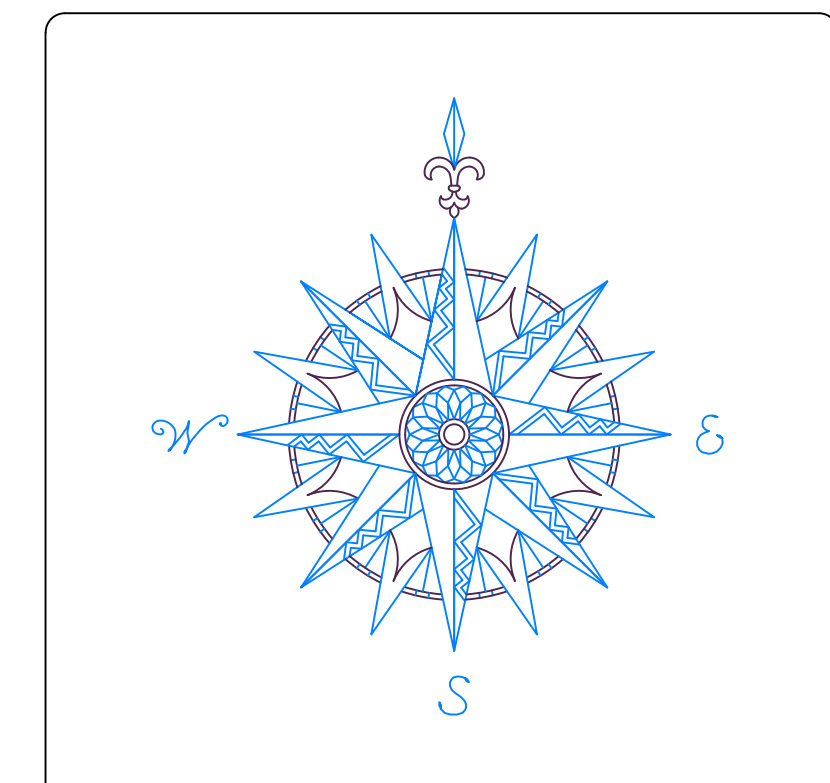
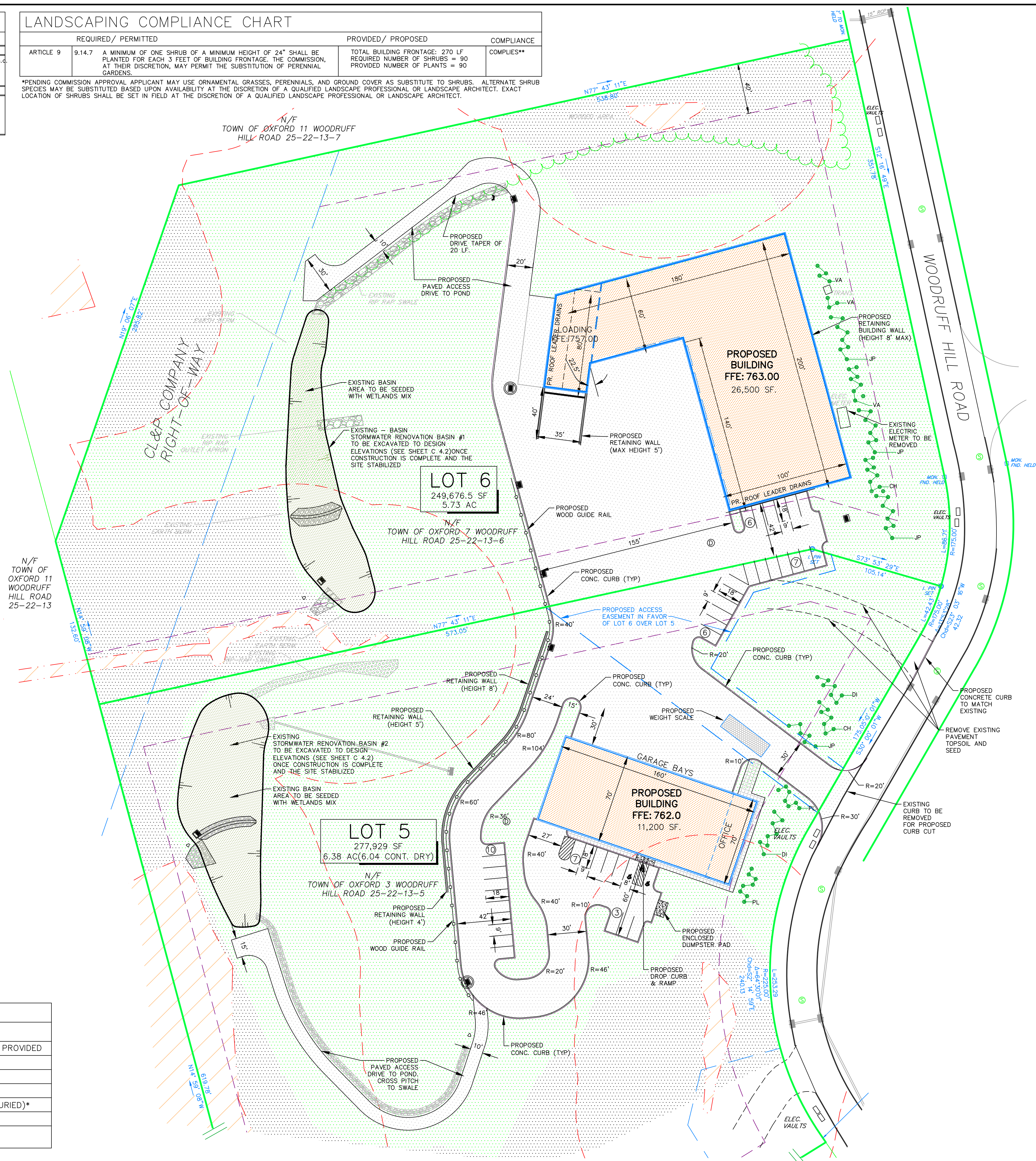
ITEM	REQUIRED	PROVIDED
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	249,676.5 SF
ROAD FRONTAGE (FT.)	225'	438.49'
MIN. FRONT YARD (FT.)	40'	72.47'
MIN. SIDE YARD (FT.)	25'	40.0'
MIN. REAR YARD (FT.)	25'	308.2'
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	10.6%
TOTAL LOT COVERAGE (%)	65% MAX.	21.9%
PARKING REQUIREMENT	AS DETERMINED BY COMMISSION	6

**ZONING DATA - INDUSTRIAL DISTRICT LOT 5**

ITEM	REQUIRED	PROVIDED
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	277,929 SF
ROAD FRONTAGE (FT.)	225'	478.31'
MIN. FRONT YARD (FT.)	40'	40.0'
MIN. SIDE YARD (FT.)	25'	101.8'
MIN. REAR YARD (FT.)	25'	308.3'
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	4.0%
TOTAL LOT COVERAGE (%)	65% MAX.	18.3%
PARKING REQUIREMENT	AS DETERMINED BY COMMISSION	26

**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- TREE LINE
- WETLAND LINE
- 100' WETLAND REGULATED AREA
- WETLANDS AREA
- SANITARY SEWER MANHOLE
- PROPOSED PAVEMENT
- PROPOSED BUILDING
- PROPOSED LAWN AREA
- EXISTING STORMWATER RENOVATION



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21

*Previous Editions Obsolete*



**OXFORD ENTERPRISES, LLC**  
20 OLD COUNTRY ROAD  
OXFORD CT.

**SITE PLAN AND  
LANDSCAPE PLAN**

**3 WOODRUFF HILL RD.  
(LOT 5)  
7 WOODRUFF HILL RD.  
(LOT 6)**

OXFORD CONNECTICUT

**CIVIL C1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY CONNECTICUT  
(203) 266-0778

STATE OF CONNECTICUT  
COURTIS C. JONES  
No. 0206  
LICENSED PROFESSIONAL ENGINEER

DRAWING NO. 3720  
DATE: 4 DEC 20  
SCALE: 1" = 40'  
APPROVED: CJ  
DRAWING NO. C1.1

**PARKING SUMMARY**


BUILDINGS - 37,700 SF TOTAL

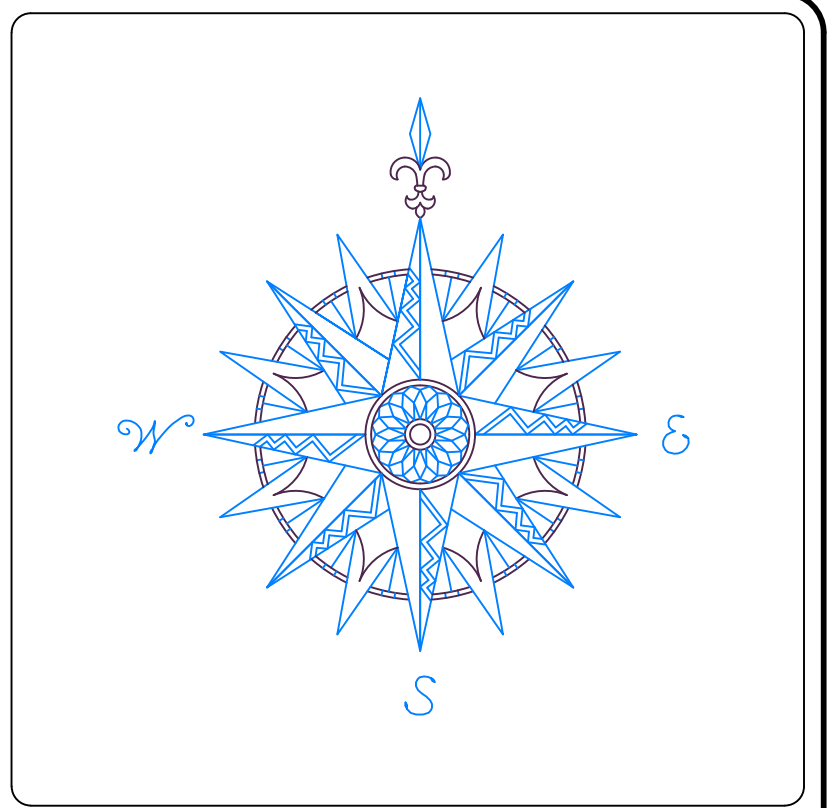
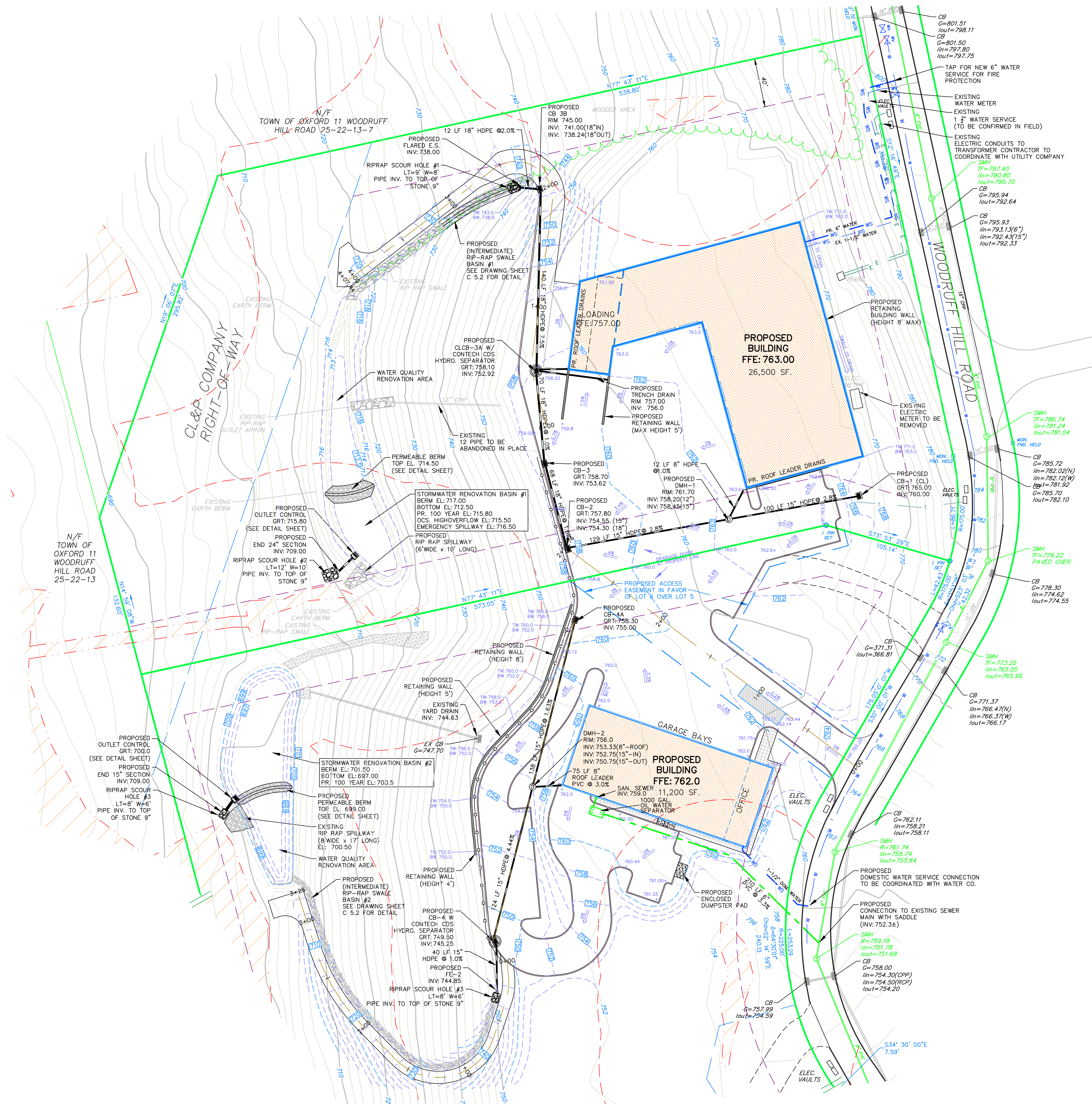
BUILDING USE	SQUARE FOOTAGE	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
OFFICE	1,400 SF	1/250 SF = 5.6	6
MANUFACTURING	8,000 SF	1/500 SF = 16	16
WAREHOUSING/STORAGE	28,300 SF	1/1,000 SF = 28.3	17
<b>TOTAL</b>	<b>37,700 SF</b>	<b>50</b>	<b>39 (78% OF REQUIRED)*</b>

HANDICAP SPACES - FOR 26-50 SPACES - 2 REQUIRED. 2 PROVIDED

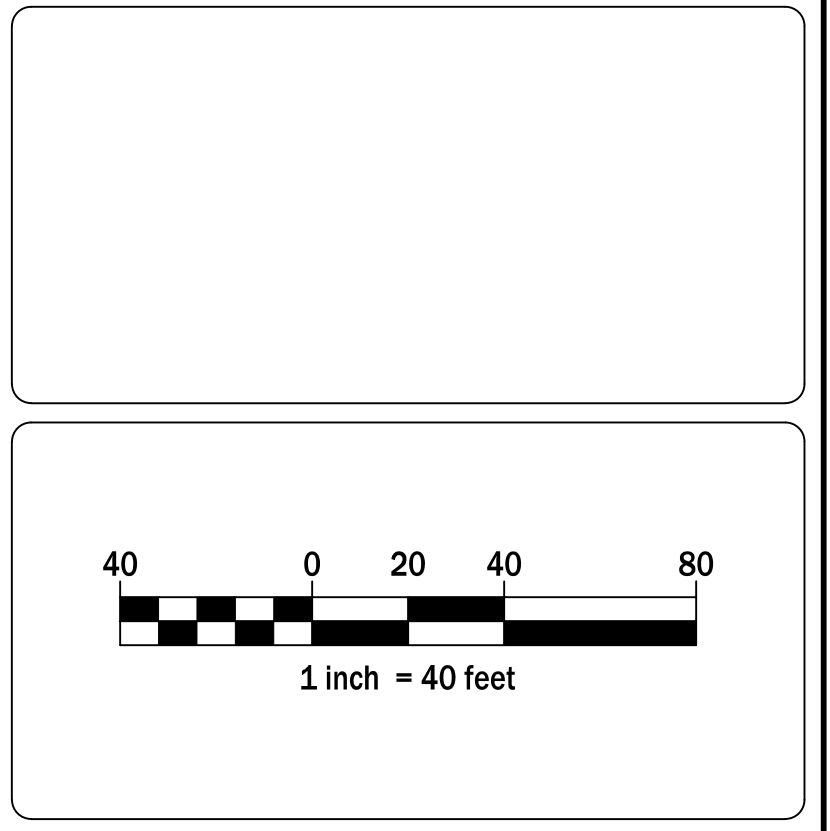
\*22% SPACES TO BE RESERVED FOR FUTURE PARKING PER SECTION 3.24.2 OF ZONING REGULATIONS (UP TO 25% ALLOWED)

**LEGEND**

-  PROPERTY LINE
-  BUILDING SETBACK LINE
-  EXISTING CONTOUR
-  EXISTING SPOT GRADE
-  PROPOSED SPOT GRADE
-  EXISTING STORM SEWER
-  PROPOSED STORM SEWER
-  PROPOSED CATCH BASIN
-  PROPOSED DRAIN MANHOLE
-  WATER VALVE
-  EXISTING WATER MAIN
-  PROPOSED WATER SERVICE
-  EXISTING SANITARY SEWER MAIN
-  PROPOSED SANITARY SEWER MAIN
-  SANITARY SEWER MANHOLE



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	OIL/WATER SEP FOR SAN SEWER	21 JAN 21
3	REVISED PER REVIEW BY N & Y	10 FEB 21
Previous Editions Obsolete		



**OXFORD ENTERPRISES, LLC**  
 20 OLD COUNTRY ROAD  
 OXFORD CT.

**GRADING PLAN  
 DRAINAGE PLAN &  
 UTILITY PLAN**

**3 WOODRUFF HILL RD.  
 (LOT 5)  
 7 WOODRUFF HILL RD.  
 (LOT 6)**

OXFORD CONNECTICUT



























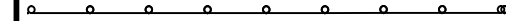
**CIVIL C1**  
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 (203) 266-0778

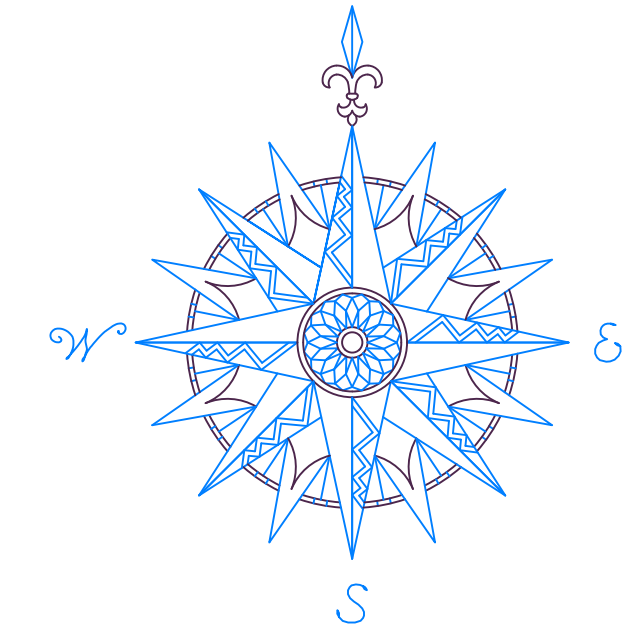
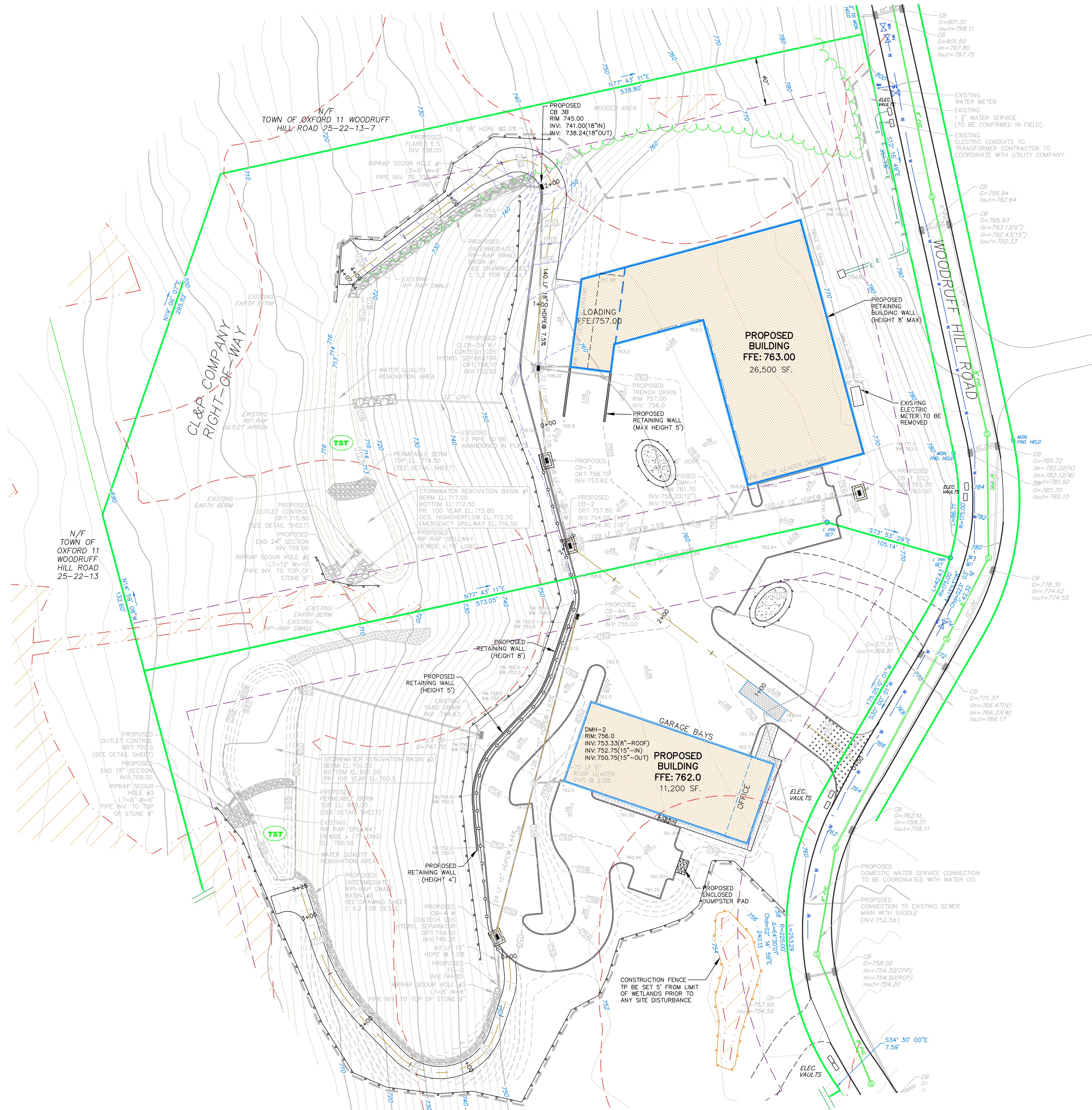
STATE OF CONNECTICUT  
 CURTIS C. JONES  
 LICENSED PROFESSIONAL ENGINEER

DATE: 4 DEC 20  
 SCALE: 1" = 40'  
 DRAWING NO.: 3720  
 APPROVED: CJ

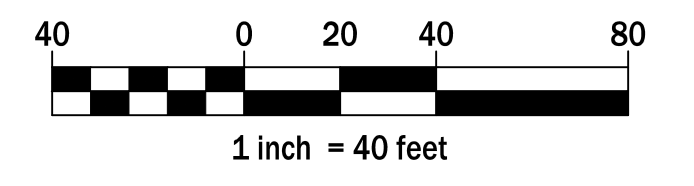
**C 2.1**

**LEGEND**

-  PROPERTY LINE
-  BUILDING SETBACK LINE
-  EXISTING CONTOUR
-  EXISTING SPOT GRADE
-  PROPOSED CONTOUR
-  PROPOSED SPOT GRADE
-  EXISTING STORM SEWER
-  PROPOSED STORM SEWER
-  PROPOSED CATCH BASIN
-  PROPOSED DRAIN MANHOLE
-  WATER VALVE
-  EXISTING WATER MAIN
-  PROPOSED WATER SERVICE
-  EXISTING SANITARY SEWER MAIN
-  PROPOSED SANITARY SEWER LINE
-  SANITARY SEWER MANHOLE
-  EXISTING ELECTRIC
-  PROPOSED ELECTRIC SERVICE
-  EXISTING FENCE
-  WETLAND LINE
-  100' WETLAND REGULATED AREA
-  SILT FENCE
-  TEMPORARY SOIL STOCKPILE AREA
-  TEMPORARY CONSTRUCTION ENTRANCE
-  LIMITS OF CONSTRUCTION
-  INLET PROTECTION
-  TEMPORARY SEDIMENT TRAP



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
<i>Previous Editions Obsolete</i>		



**OXFORD ENTERPRISES, LLC**  
 20 OLD COUNTRY ROAD  
 OXFORD CT.

**EROSION CONTROL PLAN**

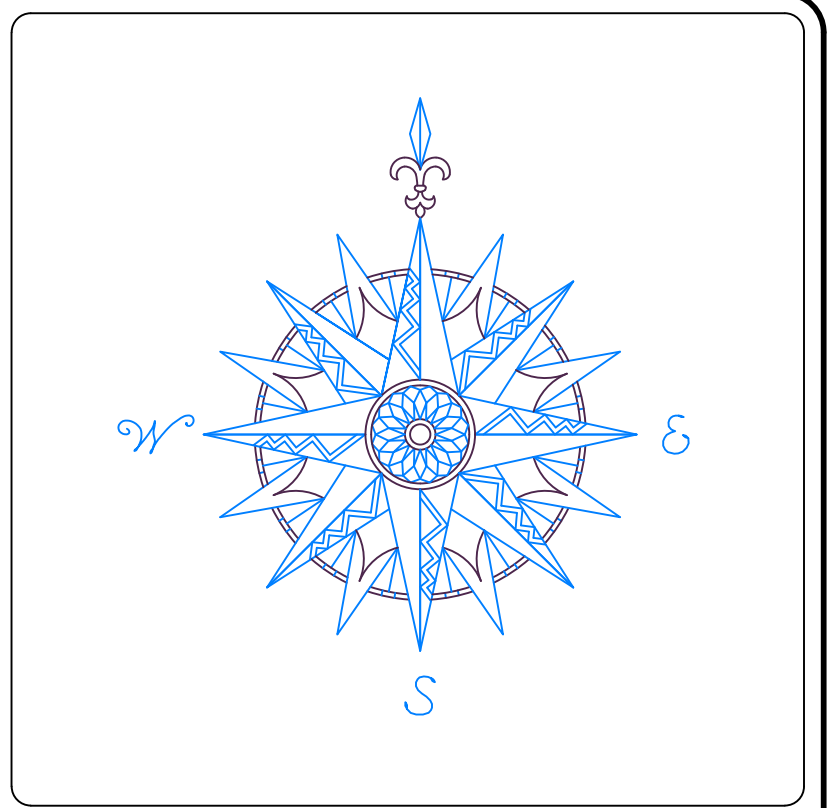
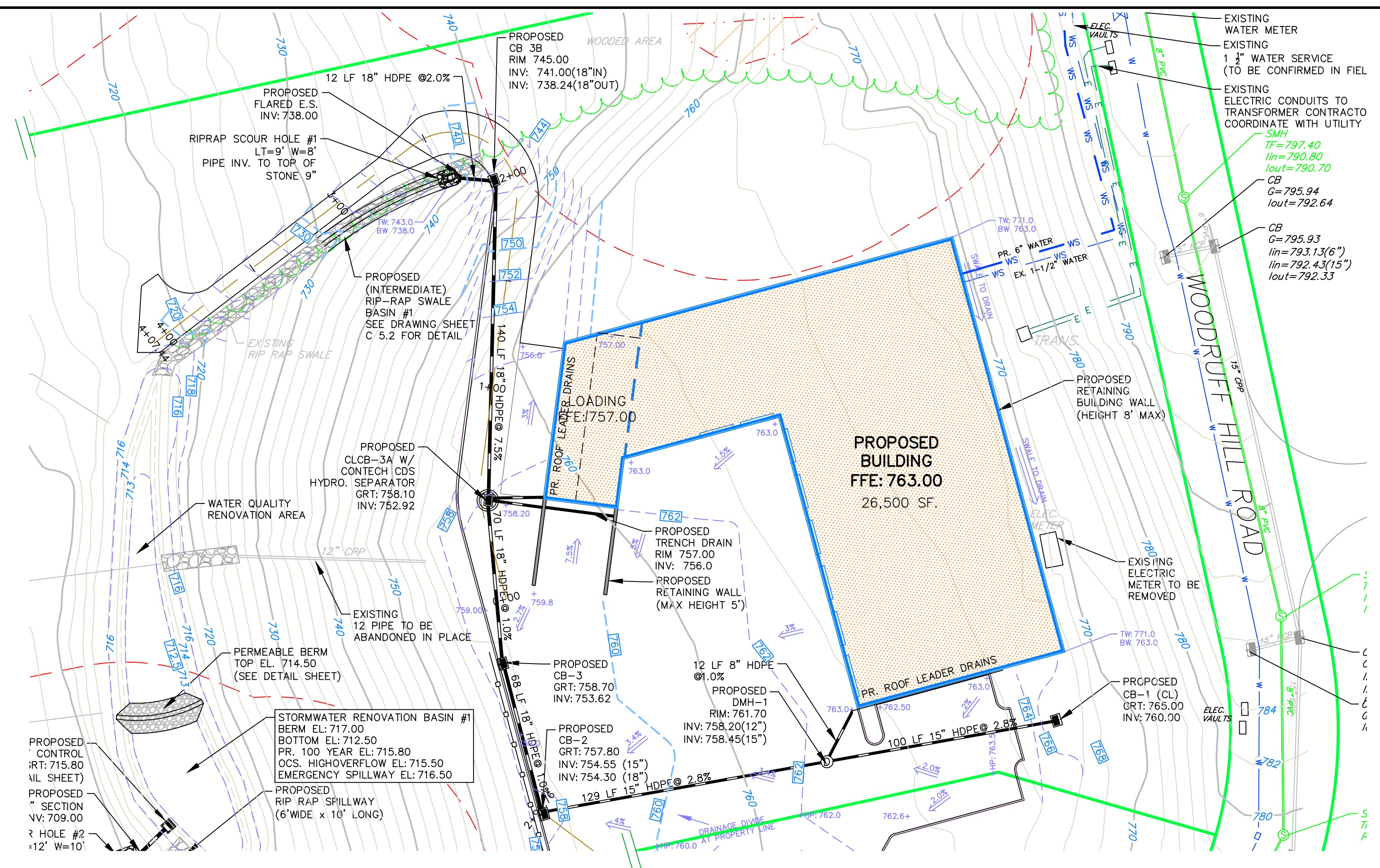
**3 WOODRUFF HILL RD.**  
 (LOT 5)  
**7 WOODRUFF HILL RD.**  
 (LOT 6)

**CIVIL C1**  
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
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 WOODBURY CONNECTICUT (203) 266-0778

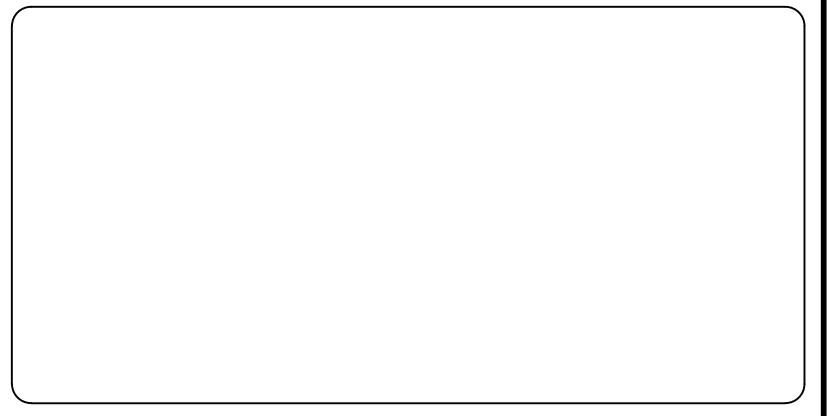
DRINKER J.L. APPROVED: C.J.  
 SCALE: 1" = 40'  
 DATE: 4 DEC 20  
 PROJ. NO.:  
 CARD FILE NAME: 3720  
 DRAWING NO.: **C 3.1**







NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
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**OXFORD ENTERPRISES, LLC**  
**20 OLD COUNTRY ROAD**  
**OXFORD CT.**

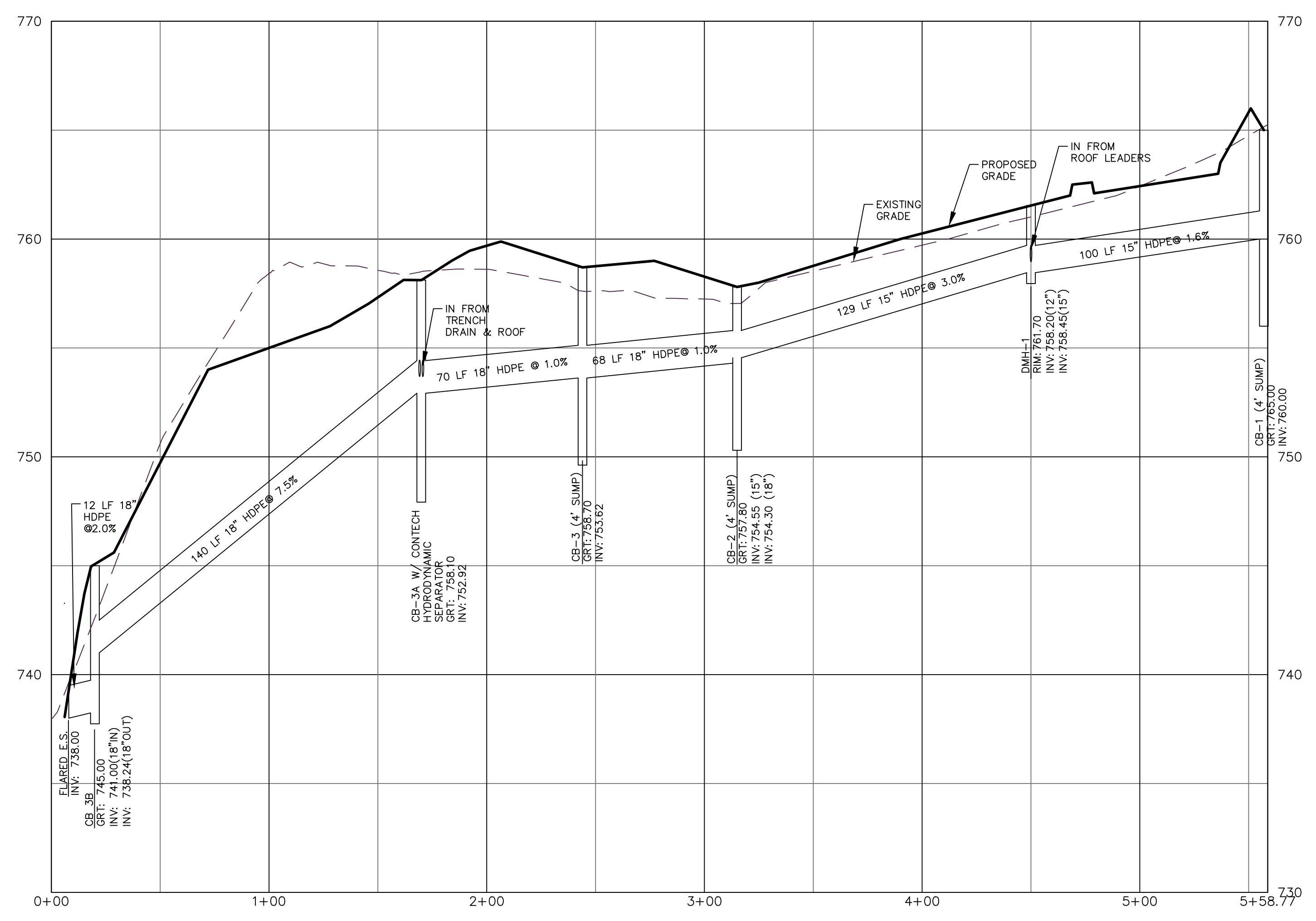
**STORM DRAINAGE PROFILES**

**3 WOODRUFF HILL RD. (LOT 5)**  
**7 WOODRUFF HILL RD. (LOT 6)**

OXFORD CONNECTICUT



	DRAWN: JL APPROVED: CJ SCALE: AS NOTED DATE: 4 DEC 20 PROJ. NO.: CARD FILE NAME: 3720 DRAWING NO.: <b>C 4.3</b>
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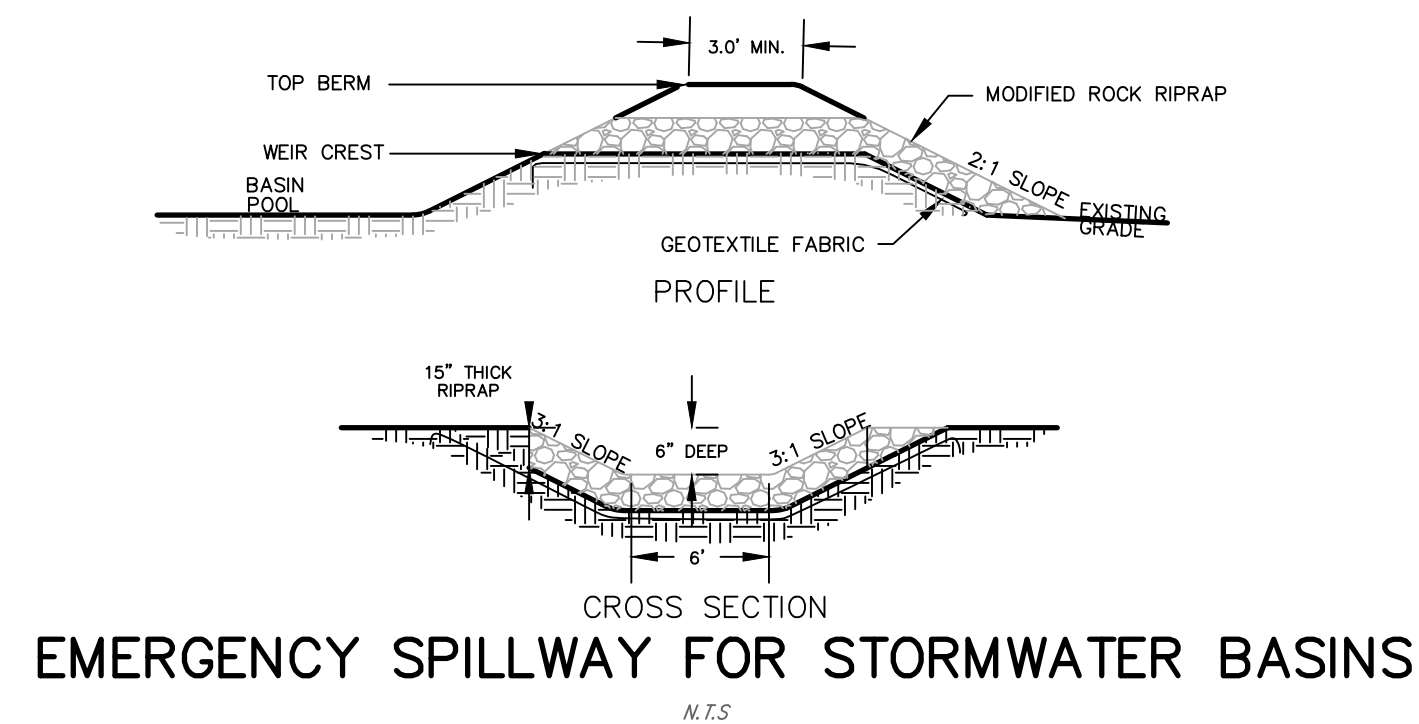
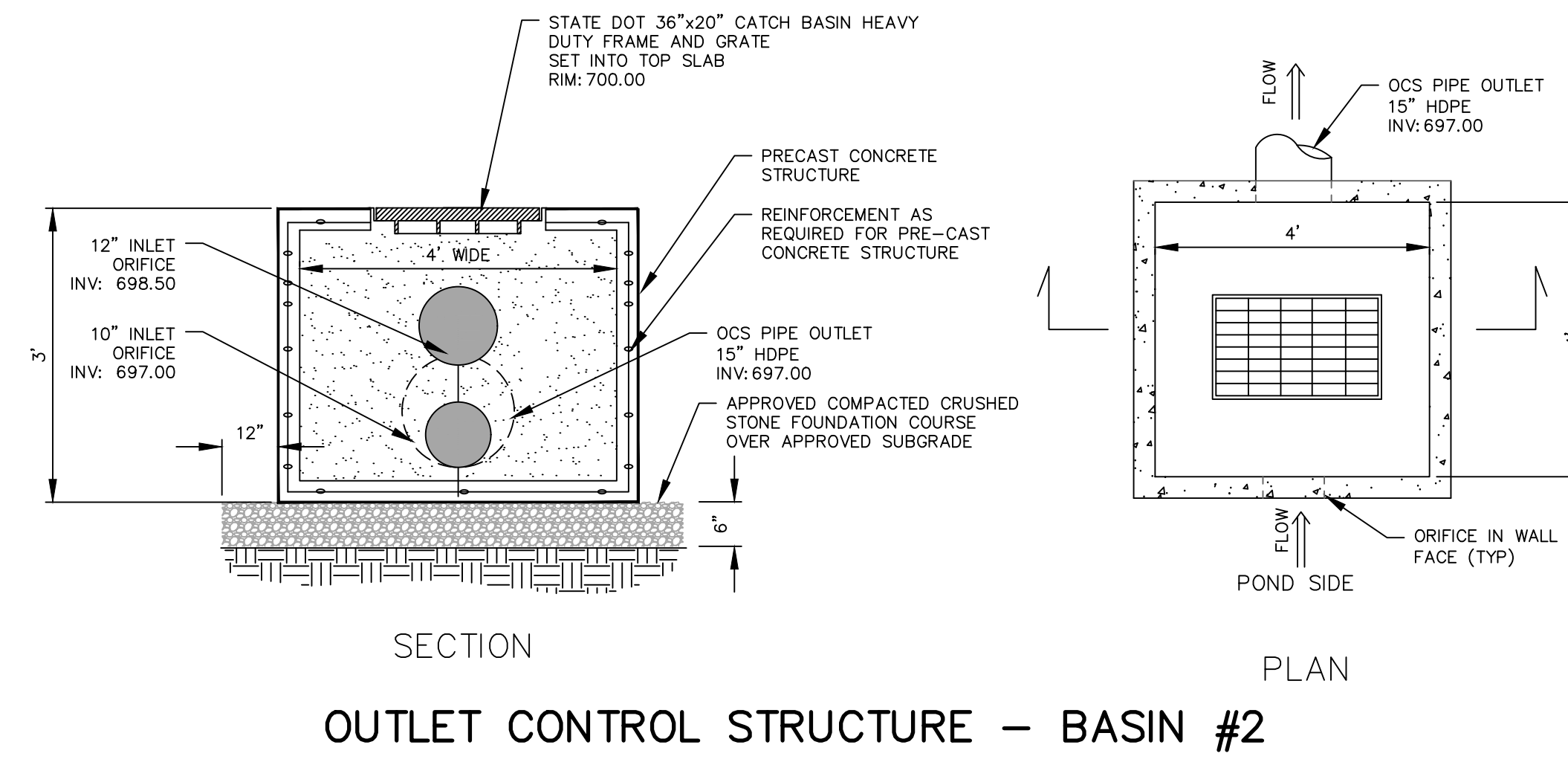
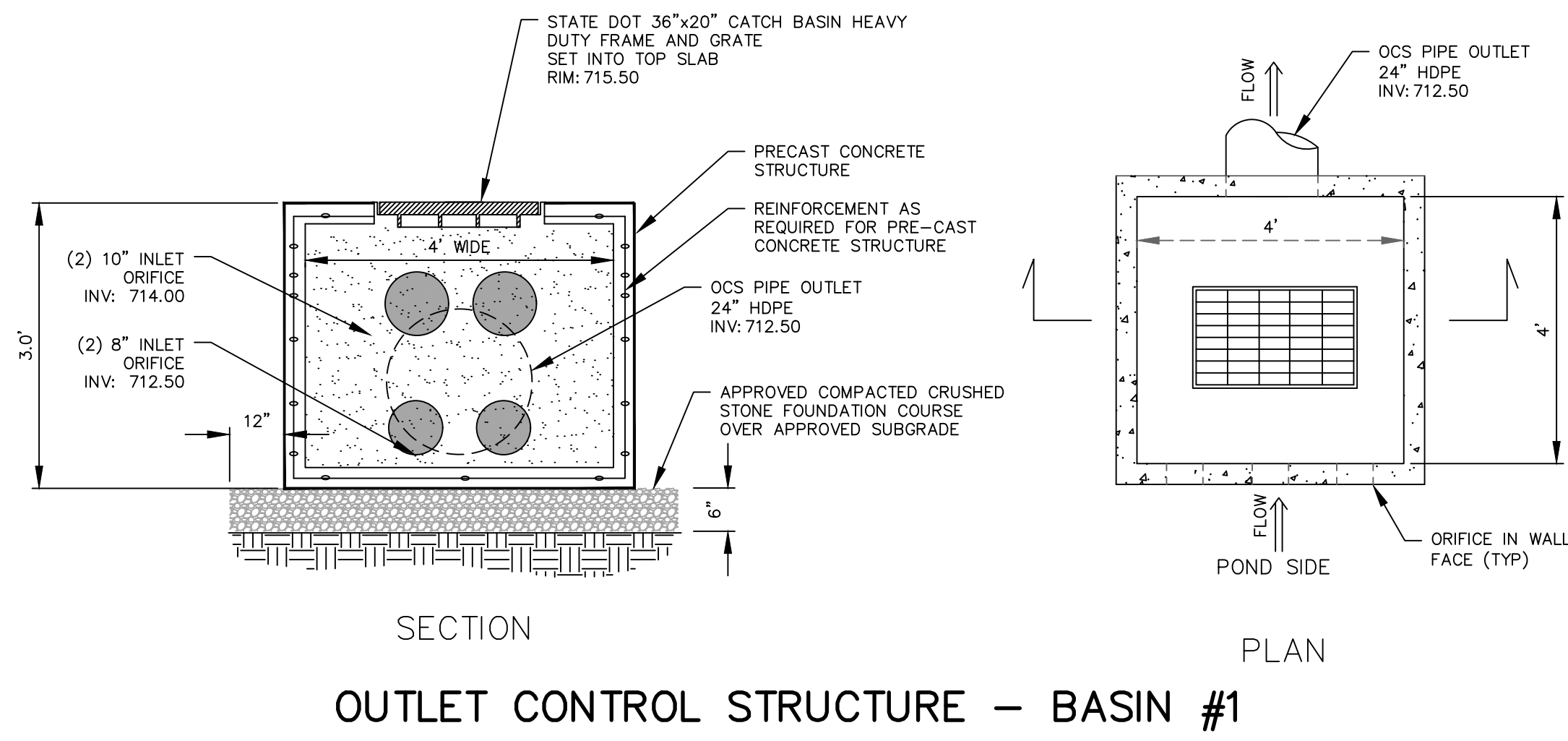
**DRAINAGE PROFILE CB-1 TO FLARED E.S.**

SCALE: 1"=40' HOR.  
 1"= 3' VER.

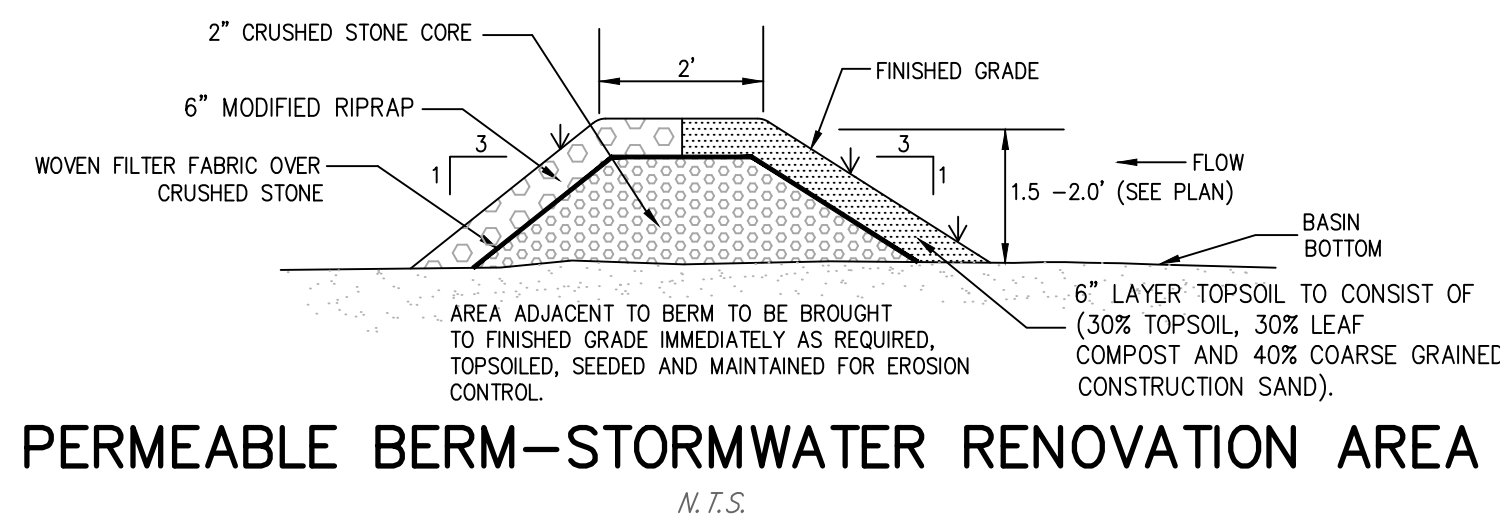




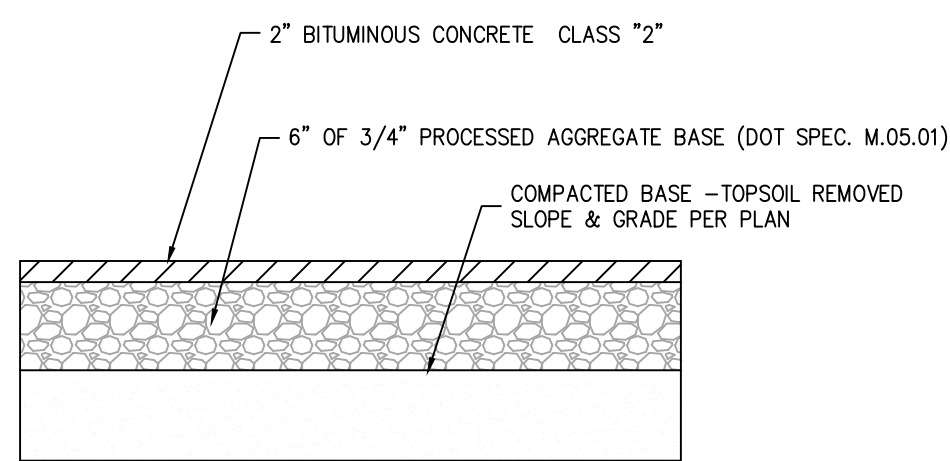




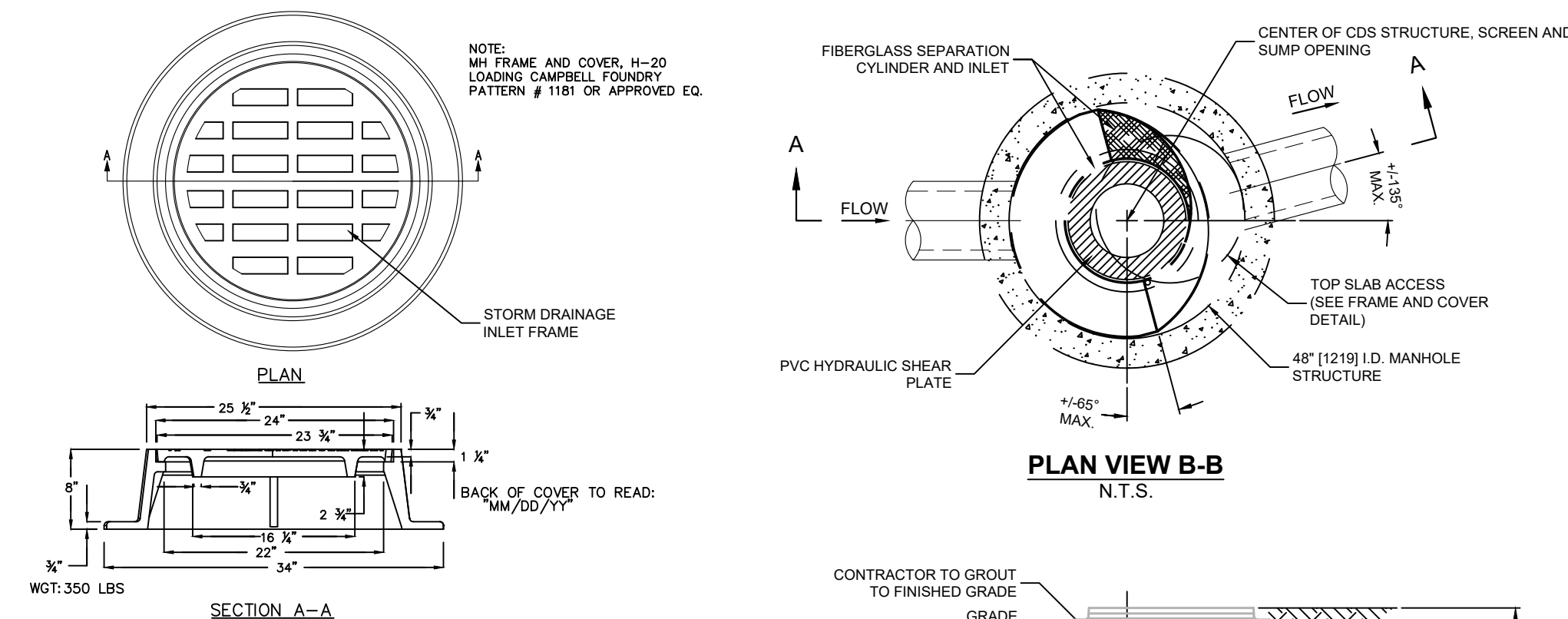
EMERGENCY SPILLWAY FOR STORMWATER BASINS  
N.T.S.



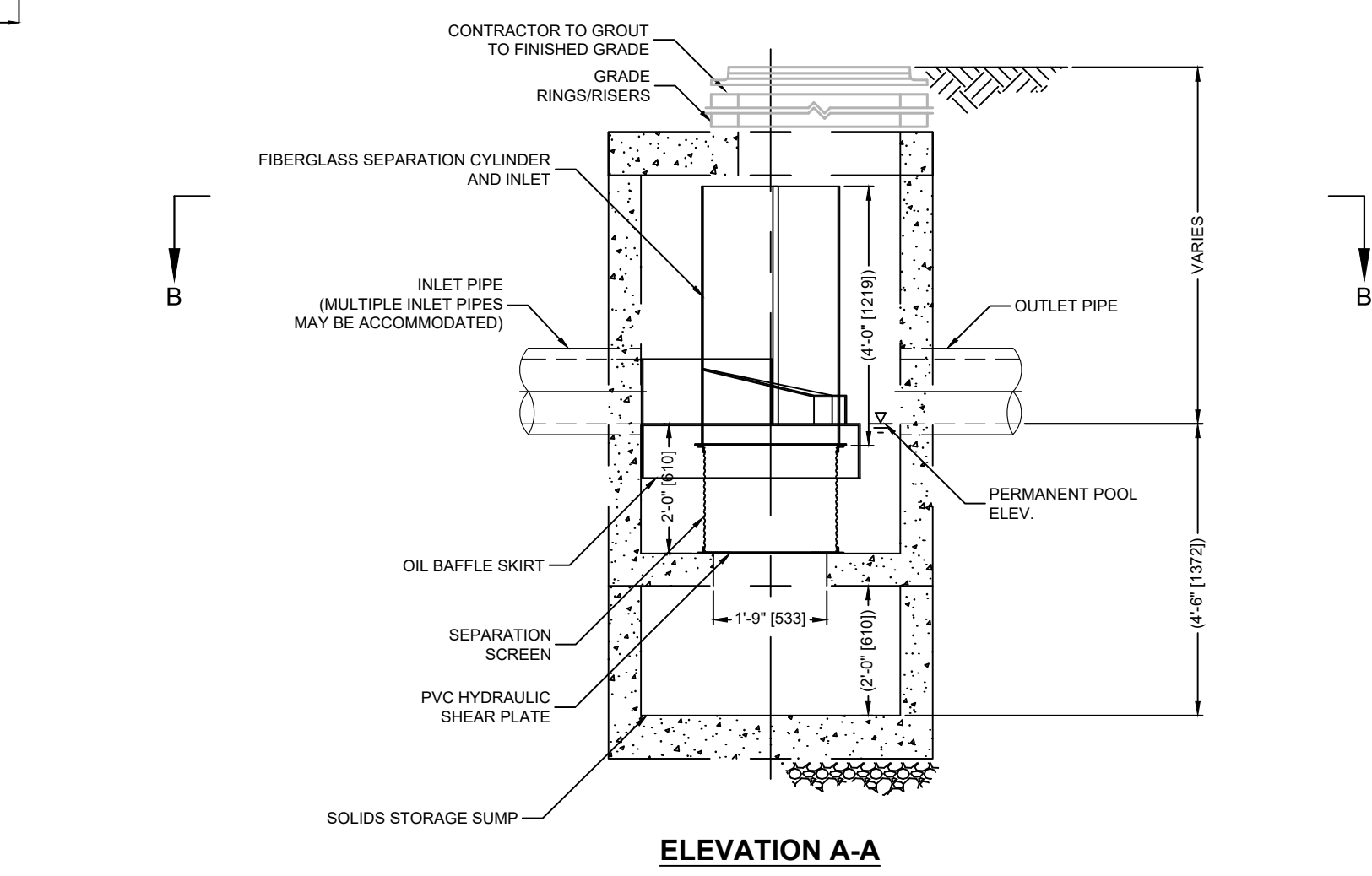
PERMEABLE BERM - STORMWATER RENOVATION AREA  
N.T.S.



ACCESS DRIVE SECTION - FOR STORMWATER BASIN MAINTENANCE ACCESS  
N.T.S.



SECTION A-A  
FRAME AND COVER  
(DIAMETER VARIES)  
N.T.S.



CONTECH CDS3025-6-C DETAIL

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR EACH HYDRODYNAMIC SEPARATOR FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION  
N.T.S.

NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
<i>Previous Editions Obsolete</i>		

OXFORD ENTERPRISES, LLC  
20 OLD COUNTRY ROAD  
OXFORD CT.

STORMWATER BASIN  
AND DETAILS

3 WOODRUFF HILL RD.  
(LOT 5)  
7 WOODRUFF HILL RD.  
(LOT 6)

OXFORD CONNECTICUT



CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY CONNECTICUT  
(203) 266-0778

	DRAWN BY:	APPROVED BY:
	SCALE:	1" = 40'
	DATE:	4 DEC 20
	PROJ. NO.:	
	CARD FILE NAME:	3720
DRAWING NO.:	<b>C 5.3</b>	





**PLANNING & ZONING COMMISSION**  
**TOWN OF OXFORD**  
 486 Oxford Road  
 Oxford, CT 06478  
 (203) 888-2543

Z#: 2-21-015  
 Date Rec'd: \_\_\_\_\_  
 Date on Agenda: \_\_\_\_\_  
 65-Day Expiration: \_\_\_\_\_

**ZONING PERMIT APPLICATION**

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification COLDWELL FTRUIT  
 Street Address: 276-1 OXFORD RD 14-102  
 Subdivision Name: OTC Date Approved: \_\_\_\_\_  
 Map: 34 Block: 9 Lot: 26 Zoning district: \_\_\_\_\_

Owner/Applicant  
 Owner Name: OXFORD TOWN CENTER LLC  
 Owner Address: 220-2F MAW ST OXFORD  
 Owner Telephone: 203 888-2181  
 Applicant Name: Same  
 Applicant Address: \_\_\_\_\_  
 Applicant Telephone: \_\_\_\_\_

Miscellaneous Information  
 Special Exception: Article \_\_\_\_\_ Section \_\_\_\_\_ Yes No  
 Site Plan Approval: Article \_\_\_\_\_ Section \_\_\_\_\_ Yes No  
 Estimated Cost of Construction: \_\_\_\_\_  
 Variance Granted: \_\_\_\_\_ Date Granted: \_\_\_\_\_

Signatures/Authorization  
 Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

Property Owner or Agent \_\_\_\_\_ 2/5/21 \_\_\_\_\_  
 Date

Purpose  
 \_\_\_ New Home  
 \_\_\_ Addition  
 \_\_\_ Garage  
 \_\_\_ Cottage Business  
 \_\_\_ Swimming Pool IG AG  
 \_\_\_ Sign  
 \_\_\_ Shed  
 \_\_\_ Barn  
 \_\_\_ Change of Use  
 \_\_\_ Excavating/Filling  
 \_\_\_ Trailer  
 Other FTRUIT

Use  
 \_\_\_ Single-Family Residence  
 \_\_\_ Multi-Family Residence  
 Commercial  
 \_\_\_ Industrial  
 \_\_\_ Residential/POD  
 \_\_\_ Other \_\_\_\_\_

Required Approvals and Dates  
 \_\_\_ Inland Wetlands \_\_\_\_\_  
 \_\_\_ P.D.D.H. \_\_\_\_\_  
 \_\_\_ Fire Marshal \_\_\_\_\_  
 \_\_\_ Z.B.A. \_\_\_\_\_  
 \_\_\_ W.P.C.A. \_\_\_\_\_  
 \_\_\_ Floodplain \_\_\_\_\_  
 \_\_\_ Copy of Deed \_\_\_\_\_  
 \_\_\_ Driveway \_\_\_\_\_  
 \_\_\_ Erosion Control Plan \_\_\_\_\_  
 \_\_\_ Plot Plan \* \_\_\_\_\_  
 \_\_\_ Other \_\_\_\_\_

39000 Town Fee  
 \_\_\_\_\_ State Fee  
 \_\_\_\_\_ Total Fee

\*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied Approved By: [Signature] Date: 2/5/21  
 Title: \_\_\_\_\_  
 Reason for Denial: ZED

ZPA-1  
 (Adopted 5/15/97)



**TOWN OF OXFORD**  
 S.B. Church Memorial Town Hall  
 486 Oxford Road, Oxford, Connecticut 06478-1298  
 www.Oxford-CT.gov

Planning and Zoning Commission

Application #: Z-21-015  
 Date: \_\_\_\_\_

2/3/21

**STATEMENT OF USE**

Article 11, Section 2

Property Address: 276-1 Oxford Rd Zone: VCNUD Map: 34 Block: 9 Lot: 26

Bldg. ID H-102  
 Name and Address of Owner: Oxford Towne Center LLC, 220-2F Main St. Oxford

Name and Address of Applicant: Realty/Coldwell Banker, 276-01 OXFORD RD,

Name of Proposed Business: Coldwell Banker Realty Oxford, CT

Total Square Footage: 1280 06478

Hours of Operation: 8:30-5:30

Number of Employees: 15

List Hazardous and/or Chemicals Material on site: None

Provide Approval from: PDDH \_\_\_\_\_ Fire Marshal \_\_\_\_\_ Other \_\_\_\_\_

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

\_\_\_\_\_  
 Applicant's Signature 2/3/2021  
Date

Dan Brady  
 Coldwell Banker Regional Vice President



(PART 1)

**REQUIRED CONSTRUCTION APPROVALS**

1) Applicant: Oxford Town Center LLC  
 Property Address: 276-1 Oxford Rd H-102 Coldwell Fitout  
 Permit Use: FITOUT  
 Subdivision Lot #: \_\_\_\_\_ Zone: \_\_\_\_\_

**OBTAIN SIGNATURES IN NUMERICAL ORDER**

The same plan must be submitted to each land-use department. If changes are made to the plans after an approval has been given, the plans must be re-submitted to all prior departments for re-approval.

2) To be filled out by Tax Assessor: Map: 34 Block: 9 Lot: 26  
 Street Address: 276-1 Oxford Rd H-102  
 Signature of Assessor: Jane Lawson Date: 1/11/2021

3) To be filled out by Tax Collector: Taxes Current: Yes / No  
 Signature of Tax Collector: Ashley Schenck Date: 1/11/2021

4) To be filled out by P.D.D.H. or W.P.C.A.  
 Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 2-5-24

5) To be filled out by Inland / Wetlands: **NO EXTENSION OF EXISTING FOUNDATION OR ADDED FOOTPRINTS**  
 Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 1/11/21  
 I/W Permit Number: \_\_\_\_\_

6) To be filled out by Driveway Inspector:  
 Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Driveway Permit Number: \_\_\_\_\_

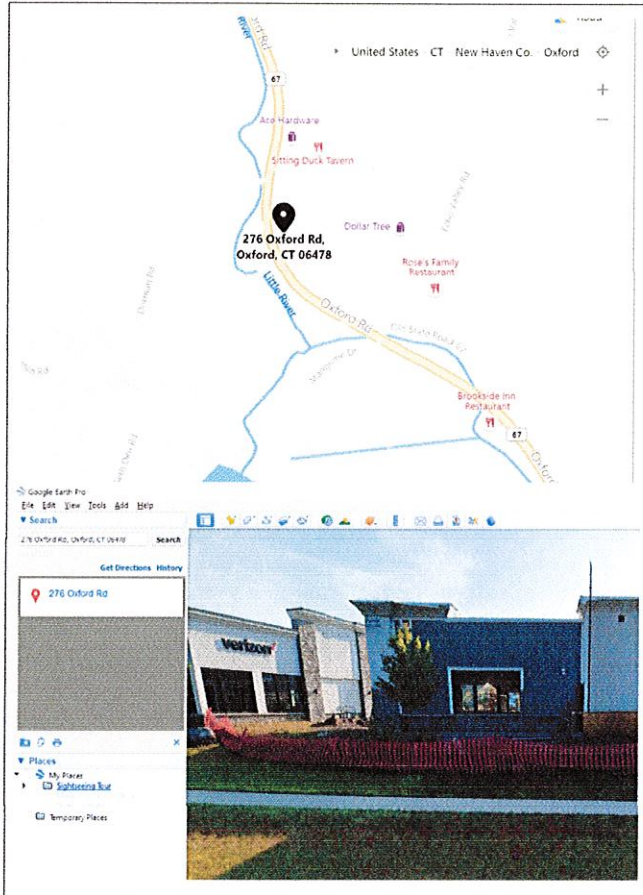
7) To be filled out by Zoning Enforcement Official:  
 Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 2/5/21  
 Zoning Permit Number: 2-21-015 Aquifer Protection Area: Y or N

8a) To be filled out by Fire Department (If driveway exceeds 500 ft) (If applicable):  
 Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

8b) To be filled out by Fire Marshal for Building Permit (If applicable):  
 Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

9) To be filled out by Building Official:  
 Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Building Permit Number: \_\_\_\_\_

(After construction, applicant MUST obtain post-construction approvals on the back of this form to receive a C.O.)



# COLDWELL BANKER REALTY

OFFICE LOCATION

276 Oxford Road Oxford CT 06478

JANUARY 26 2021



330 Washington Ave  
Carlstadt, NJ 07072  
Thomas Acosta

t 800 203 0301  
f 201 528 6590  
m 917 807 5812

e info@vgs-inc.com  
www.vgsnl.com  
tacosta@vgs-inc.com





330 Washington Ave  
 Carlstadt, NJ 07072

t 800 233 0301  
 f 201 528 0890

e info@vgsinc.com  
 www.vgsinc.com

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**COLDWELL BANKER REALTY**  
**DATE: JANUARY 26 2021**  
**REV #: 1**

APPROVED DRAWINGS must be returned to Visual Graphic Systems Inc., signed & dated by Client (or Authorized Agent) before fabrication will begin.

Signature \_\_\_\_\_ Date \_\_\_\_\_

1

2

10'-0"

32"

**CB** COLDWELL BANKER REALTY

B

T.O. PARAPET  
16'-6"



VGS

330 Washington Ave  
Carlstadt, NJ 07072

t 800 233 0301  
f 201 528 0890

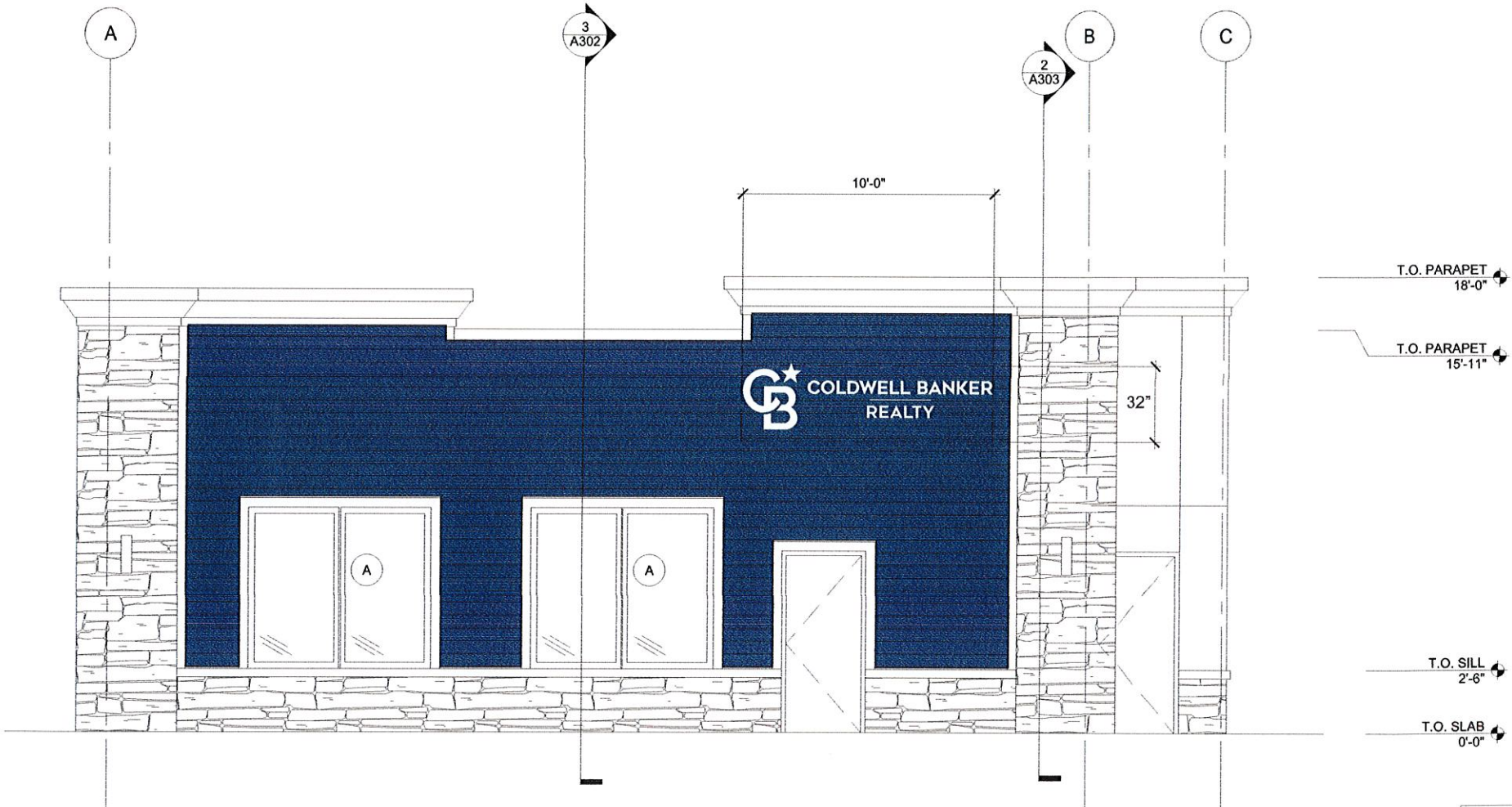
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www.vgsorline.com

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Signature \_\_\_\_\_ Date \_\_\_\_\_



**SOUTHWEST ELEVATION (FACING BUILDING "I")** **4**  
 1/4"=1'-0"



330 Washington Ave  
 Carlstadt, NJ 07072

t 800 233 6301  
 f 201 528 0890

e info@vgs-inc.com  
 www.vgs-online.com

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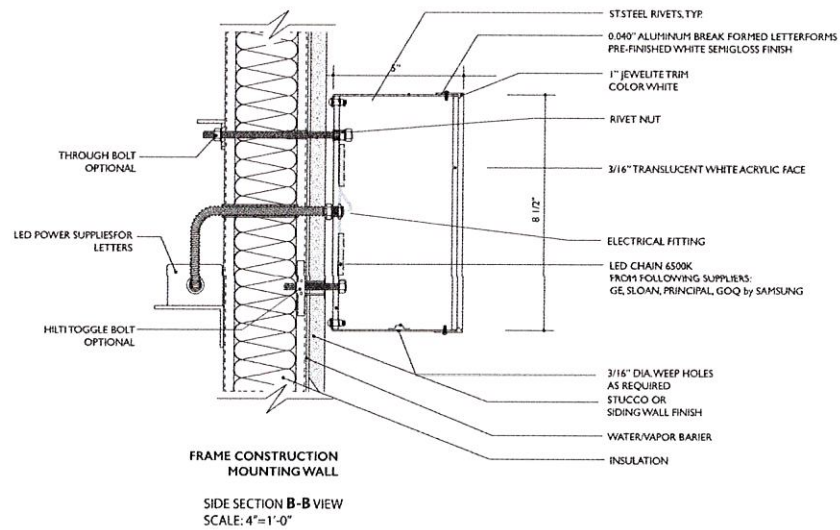
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Signature \_\_\_\_\_ Date \_\_\_\_\_



# COLDWELL BANKER REALTY



390 Washington Ave  
Clarkstadt, NJ 07072

T 800 233 0301  
F 201 528 0890

E info@vgs-inc.com  
www.vgsinc.com

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Signature \_\_\_\_\_ Date \_\_\_\_\_



**East Coast Car Care**

52A Donovan Rd  
Oxford, CT 06478  
203-888-4056



Hours of Operation - Mon.-Fri. 8 a.m. to 5 p.m., Sat. 8 a.m - 1 p.m.  
Thank you for your business.

1/29/2021 12:20:23 PM

**Repair Order #39356**

Page:1

**Town of Oxford / Town Hall**

**Phone: 203-828-6503 Steve**

486 Oxford Rd  
Oxford CT, 06478

Service Writer : T2

**Vehicle : 2011 Ford Truck Escape 2.5 L 2488 CC L4 DOHC 16 Valve**

VIN : 1FMCU9C7XBKA82997

Tag/State : 42 OX/CT

Fleet #/Driver:

Created : 1/26/2021 9:33:44 AM

Odometer In : \_\_\_\_\_

Odometer Out : 30709

**Labor/Notes**

<u>Technician</u>	<u>Description</u>	<u>Price</u>
T8		\$95.00

CHECK FOR TRANSMISSION SLIPPING AND CHECK OVER.  
 DURING TEST DRIVE COLD HAD SOME SLIGHT SLIPPAGE/SHUDDER. SCAN COMPUTER FOR CODES, NO TRANSMISSION CODES SET BUT DID NOTE ADAPTIVE VALUES ARE AT THE HIGH END OF NORMAL. THIS MAY BE THE BEGINNING OF A FUTURE ISSUE IN TRANSMISSION, WOULD NEED A TRANSMISSION SHOP TO EVALUATE FURTHER.  
 HAS AN EXHAUST LEAK AT THE MUFFLER, THE ORIGINAL IS A WELDED ONE PIECE SYSTEM, SO IT WOULD NEED TO BE REPLACED FROM THE CONVERTER BACK. BOTH FRONT AND REAR BRAKES ARE AT 50% AND DO NOT NEED TO BE REPLACED YET.

NOTE: ESTIMATE TO REPLACE MUFFLER AND TAILPIPE/RESONATOR ASSEMBLIES IS \$600.00

Labor .....	\$95.00
Shop Supply .....	\$4.75

**Repair Total \$99.75**

<u>Technician Code</u>	<u>Certification #</u>
T8	

**MCSHERRY LAW OFFICE**  
**38 Fairview Avenue**  
**Naugatuck, CT 06770**

203-723-6609

[mcsherrylawoffice@yahoo.com](mailto:mcsherrylawoffice@yahoo.com)

Invoice

---

Town of Oxford

S. B. Church Memorial Town Hall

Land Use-486 Oxford Road, Oxford, CT 06478-1298

\$190.00 per hr Land Use Invoice

1/4/2021 Phone Call with Dave Sauter Zoning, Subdivision, Issues  
prior to meeting of 1/5/2021 .25hrs

1/5/2021 Review of Riverview Subdivision research Lot Line revision  
Cady v ZBA Burlington, Preparation and Attendance Meeting  
Planning & Zoning 1.5 hrs

1/14/2021 Review of Complaint of 110 Hawley Road 1.0

1/15/2021 Phone conference with Chair of the P&Z Commission issues  
re complaint, Riverview Subdivision .5 hr

1/18/2021 Research/ Correspondence 110 Hawley Road 2.0 hrs

1/21/2021 Perkins Road Lot Access Research/Prep 0.5 hrs

1/22/2021 Meeting with ZEO Atty Tuccio/Lot owner Perkins Rd 1.0 hrs

1/25/2021 Appearance Case Review 4 Cases Timberlake (2) ,  
Werden, TCB 1.0hrs

1.0 hrs

1/28/2021 Timberlake Cases Conference Attorney Christopher Smith  
resubmittal Permit Inland Wetlands, Planning and zoning .75 hrs

9.5hrs

9.5hrs x \$190.00 =

**Total \$ \$1,805.00**

Make Check Payable to McSherry Law