

TOWN OF OXFORD PLANNING & ZONING COMMISSION S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov

Planning & Zoning Commission Regular Meeting Agenda Tuesday, February 16, 2021 7:30 PM - Online/Virtual Meeting

The Planning & Zoning Commission will meet remotely on Tuesday, February 16, 2021, at 7:30 PM.

Members of the public and applicants that would like to join us online can access the meeting using the following information:

## Join Zoom Meeting:

https://us02web.zoom.us/j/81746872988?pwd=Ky9oRkVWei9kcGN6TmtXbE0vNnNKQT09

Meeting ID: 817 4687 2988 Passcode: 954429 One tap mobile: +1 646 558 8656 Dial by Location: +1 646 558 8656

## I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

## III. ROLL CALL

## **IV. SEATING OF ALTERNATES**

## V. PUBLIC HEARINGS

- A. Recessed Public Hearings NONE
- B. New Public Hearings- NONE
- C. Future Public Hearings NONE

## VI. REGULAR MEETING BUSINESS

- A. Amendments to the Agenda NONE
- B. Audience of Citizens (Items not listed on the Agenda)

#### C. Correspondence

- a. Memorandum from the Selectmen's Office Re: Appointments
- b. CFPZA Newsletter Winter 2021
- D. Old Business Matters on which a Public Hearing was held NONE
- E. Old Business Other Matters NONE
  - <u>Z-21-012 [IND] 3 Woodruff Hill Road, aka Lot 5</u> Owner: Town of Oxford 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)
  - Z-21-013 [IND] 7 Woodruff Hill Road, aka Lot 6 Owner: Town of Oxford 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)

#### F. New Business - Schedule a Public Hearing - NONE

#### G. New Business

1. <u>Z-21-015 [VCMUD] -276-1 Oxford Road (H-102)</u> – Owner & Applicant: Oxford Town Center, LLC, 220-2F Main Street, Oxford, CT (Use Permit – Realogy/Coldwell Banker)

#### H. Zoning Enforcement

#### I. Minutes

1. 1/19/21 - Regular Meeting Minutes

2. 2/2/21 - Regular Meeting Minutes

#### J. Invoices

a. East Coast Car Care Repair - Order #39356

b. McSherry Law Office - February Invoice

## K. Other Business

- a. Any other business the Commission deems necessary for discussion.
- b. Moose Hill Estates Requests Discussion with possible action.
- c. Riverview Subdivision Request from Horbal & Judson Referred to Attorney Kevin McSherry

## L. Adjournment

Respectfully submitted,

Jessica Pennell, Coordinator Planning & Zoning Commission





# Office of the First Selectman MEMORANDUM

DATE: February 8, 2021

TO: All Town Boards, Commissions and Committees

RE: <u>Appointments / Re-Appointments</u>

Please note that it is the responsibility of each board, commission or committee to request re-appointments or new appointments when members' terms end. We kindly request that you take this time to review your members' terms and expirations. All appointments and re-appointments will need to be approved by the Board of Selectmen. If action is required, please submit a written request to the Selectmen's Office at your earliest convenience.

Please feel free to contact this office should you have any questions. Thank you!

/kmw

# CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2021

Volume XXV, Issue 1

The planning and zoning commission eventually agreed, denying the application on the basis that a crematory would negatively affect the industrial park and the town by depressing property values. Protecting property values was a general standard contained in the zoning regulations that needed to be satisfied before a special permit application could be approved.

The applicant appealed this decision to court alleging that the commission's decision was not based on substantial evidence in the record because its decision was based solely on noncompliance with general standards contained in the zoning regulations.

The appeal found its way to the Appellate Court which found the Commission's decision was supported by substantial evidence. In doing so, the court reaffirmed the rule that noncompliance with general standards contained in the zoning regulations is a sufficient basis to deny a special permit application. *McLoughlin v. Planning & Zoning Commission, 200 Conn. App. 307 (2020).* 

#### LARGE FINE AWARDED BY COURT FOR ILLEGAL JUNKYARD

An award of \$125,000 for fines plus attorney fees was ordered by a court together with an injunction preventing the further use of a residential property as a junkyard and processing center. The homeowner was using her home in connection with her business, which was to clean out foreclosed properties. She would, under contract with the foreclosing lender, empty a foreclosed home of its contents and then sell or junk these items.

Much of this material ended up at her home, where it was first stored indoors and then overflowed into the front and side yards of her property. This activity continued even after her home was destroyed by fire. Complaints from neighbors eventually resulted in a zoning enforcement action and a blight action.

The award was made solely under C.G.S. Sec. 8-12, which provides for daily fines as well as an award of attorney fees where the violation is deemed to be willful. The evidence clearly demonstrated that the property owner was aware that her use of the residential property as a junkyard was prohibited, yet she ignored repeated notice of violations and a cease and desist order. See South Windsor v. Lanata, 68 Conn. L. Rptr. 45 (2019).

#### DENIAL OF APPLICATION BASED UPON STATE REGULATIONS

An owner of a business with an existing liquor permit applied for a special permit and site plan application. The current permitted use was a billiard hall and bar. The owner now sought to convert the business to an exotic dance establishment and bar. The Commission

Written and Edited by Attorney Steven E. Byrne 790 Farmington Ave., Farmington CT 06032 Tel. (860) 677-7355 Fax. (860) 677-5262 <u>attysbyrne@gmail.com</u> <u>cfpza@live.com</u> www.cfpza.org

# CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

Winter 2021

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## 2021 ANNUAL MEETING

Due to the ongoing Covid-19 Pandemic and the restrictions imposed by the State of Connecticut in regard to public and private gatherings, the Executive Board of the Federation has determined that the 2021 Annual Meeting will be postponed indefinitely. The Federation remains hopeful that the pandemic will come to an end by Summer. Once it becomes clear when this will occur, a new date for a 2021 conference will be set.

In the meantime, the Federation plans to schedule one or more webinars on land use topics of interest. In addition, an announcement will be mailed for length of service awards and lifetime achievement awards. The recipients of the awards will hopefully be made at a meeting this year but may instead be announced at a webinar.

#### NOT ALL SPECIAL EXCEPTION APPLICATIONS ARE CREATED EQUAL

When a property owner's application for a special exception was rejected by a land use administrator, he appealed the matter to the Superior Court. The appeal was dismissed by the court, and later by the Appellate Court, on the basis that the property owner did not exhaust his administrative remedies.

The court viewed the rejection of the application by the land use administrator as a decision by an officer charged with the enforcement of the zoning regulations. It reached this conclusion by first finding that the regulations provided zoning the administrator with the authority to review applications and decide whether they were complete. Then, since this review was based upon the interpretation of the zoning regulations by the administrator, the decision that the application was incomplete was in fact a decision involving the enforcement of the zoning regulations. Thus, the decision was required to be appealed to the zoning board of appeals before an appeal to court could be taken. See Farmington-Girard LLC v. Planning & Zoning Commission, 190 Conn. App. 743 (2019).

## GENERAL STANDARDS ALONE SUPPORT DENIAL OF SPECIAL EXCEPTION SAYS COURT

The owner of a parcel of property located within an industrial zone applied for a special permit to operate a crematory. The owners of parcels within the industrial park objected, as did the town's economic development commission. These objectors claimed that approving the crematory would result in a decrease of their property values and negatively affect the character of the industrial park.

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# CONNECTICUT FEDERATION OF PLANNING AND ZONING AGENCIES QUARTERLY NEWSLETTER

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denied the application for one reason which was that under state law, a liquor permit could not be issued to a business that featured unclothed employees.

On appeal to court. the commission's decision was upheld. While local land use commissions can impose stricter requirements on the sale of alcohol, they cannot make less restrictive rules. Thus, the Commission was correct to deny the application where it was certain that state law prohibited the use as it could not approve a use of land that the state prohibited. Q-Lungian Enterprises Inc. v. Planning & Zoning Commission, 69 Conn. L. Rptr. 295 (2019).

#### VALIDITY OF PLANNED DEVELOPMENT DISTRICTS AFFIRMED BY COURT

A superior court decision affirmed that a zoning commission can amend its zoning regulations to include what are known as planned development districts. These districts typically target one or just a few properties for multi-use development and allow the commission to apply detailed standards and controls to the uses permitted therein. In this case, aggrieved neighboring property owners challenged the district as violating the uniformity requirement found in C.G.S. Sec. 8-2 as well as being an improper exercise by the commission of the variance power which is reserved for a zoning board of appeals.

court dismissed both The found that the arguments and commission was within its authority when it adopted the district, finding that such a district does not violate the uniformity requirement as it treated all property within the district the same. As for the variance argument, it was quickly dismissed as the amending of zoning regulations is a specific power given to a zoning commission and does not constitute a variance. See Tillman v. Planning & Zoning Commission, 69 Conn. L. Rptr. 409 (2020).

#### **ANNOUNCEMENTS**

#### **CFPZA** Website

The Federation's website has been up and running for nearly one year. The web address is <u>www.cfpza.org</u>. On the website you can find educational materials published by the Federation as well as news items and Federation webinars. Please take time to visit us.

#### Workshops

If your land use agency recently had an influx of new members or could use a refresher course in land use law, contact us to arrange for a workshop to be held at your next meeting. At the price of \$180.00 per session for each agency attending, it is an affordable way for your commission or board to keep informed.

Written and Edited by Attorney Steven E. Byrne 790 Farmington Ave., Farmington CT 06032 Tel. (860) 677-7355 Fax. (860) 677-5262 <u>attysbyrne@gmail.com</u> <u>cfpza@live.com</u> www.cfpza.org

TOWN OF OXFO S.B. Church Memorial To 486 Oxford Road, Oxford, Connec www.Oxford-CT.g	own Hall cticut 06478-1298 gov Z#: Date Received: Date Accepted:
Planning and Zoning Commission	Date on Agenda: 65 Day Exp.: Extension:
<ul> <li>* Please Note:</li> <li>→ Read Instructions Thoroughly Before Completing Form</li> <li>→ This form Must Be Completely Typewritten or Legibly Presented of the second seco</li></ul>	2 <sup>nd</sup> Extension:
1) <b>APPLICATION:</b> This is an application for: (Check the ones that a	pply)
<ul> <li>Subdivision</li> <li>Zone Change</li> <li>Zone Change</li> <li>Special Exception</li> <li>Site Plan</li> <li>Resubdivision</li> <li>Total Number</li> <li>Special Exception</li> <li>Special Exception</li></ul>	ticle & Section No.): ticle & Section No.):
Name of Project - Title: 3 Wood ruff H. 11 Rd.	(Lot 5)
2) PROPERTY LOCATION(s):	
a) Street Address: 3 Wood reiff U.11	Reed
Town Clerk Record Map Number:	
Assessor's Identification Numbers: Map: <u>25</u> Block: <u>22</u> Lot: <u>13-5</u>	Unit:
Zoning District: (Check One)	
$\Box$ RES A $\Box$ RES Golf $\Box$ COM $\Box$ Plan $\Box$ RES POD $\Box$ OxCenter $\blacksquare$ IND $\Box$ COI	nned COM RP BP 🛛 Other
Water and Sewer: (Check the ones that apply)	
Municipal Sanitary Sewers On Site Septic Systems  Public Water	
b) Street Address:	
Town Clerk Record Map Number:	
Assessor's Identification Numbers: Map: Block: Lot:	Unit:
Zoning District: (Check One)	
	ned COM RP BP
Water and Sewer: (Check the ones that apply)	
<ul> <li>Municipal Sanitary Sewers</li> <li>On Site Septic Systems</li> <li>Public Water</li> </ul>	

Please indicate who will be the <b>POINT OF CONTACT:</b> (All communications and correspondence will be directed to the Point of Contact)			
(Check one)			
3) APPLICANT: Oxford Enterprises, LLC Address: <u>Zo Old Country Road</u> Town: <u>Oxford</u> State: <u>CT</u> Zip Code: <u>Ob 178</u> Phone: (203) <u>893 - 5155</u> Fax: ( <u>)</u> Email: <u>darin. bouchard Oyahoo, con</u>			
4) OWNER(s): Tour of Oxford Address: 486 Oxford Read Town: Oxford State: CT Zip Code: 06478 Phone: (203) 888 - 2543 Fax: () Email:			
5) APPLICANT'S OWNERSHIP INTEREST: contract purchaser			
6) LAND SURVEYOR: Civil 1 (see below) REG. No:			
Town:         State:         Zip Code:           Phone:         Fax:         Email:			
7) CIVIL ENGINEER: Civil 1 - Brian Baken REG. No: 23205 Address: B Sherman Hill Rd Diol			
Town:DoodburyState:CTZip Code:D6798Phone:(203)Z66-0778Fax:Email:Decian @ Civil 1. com			
8) ARCHITECT: REG. No:			
Town:			
9) PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED:			
(Check One)  Private Road  Town Road  Length of Road 10) STATUS OF WETLANDS PERMIT:  Pending - Application Filed (Please Provide a Copy)			
11) ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS:			
12) SURETY OPTION (See Article 9 of Subdivision Regulations): (Check the one that applies)			
<ul> <li>Not Applicable.</li> <li>Improvements will be completed prior to endorsement and filing of record subdivision.</li> <li>Surety will be provided.</li> <li>Conditional approval is requested.</li> </ul>			
13) <b>WAIVERS:</b> <i>(Check the one that applies)</i>			
<ul> <li>Not Applicable.</li> <li>No waivers of the subdivision regulations are required.</li> <li>Waivers of one or more sections of the subdivision regulations are requested.</li> <li>(Please provide a written description of the reason for the waiver and attached to and make part of this application.)</li> </ul>			

#### 14) EARTH EXCAVATION:

(Check one)

Yes	<b>W</b> No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. \_\_\_\_\_\_ cubic yards.

## 15) FLOOD ZONE:

(Check one)

No Yes If yes, what zone.

# 16) APPLICATION/SUPPORTING DOCUMENTS:

(Indicate Attached or Not Applicable)

(Institute Institute of Nor Applicable)					
	Project Narrative Letter (Statemente	.5-	Fire Marshal's Review		
	Record Subdivision Plan		Letter from Public Water Supply		
	Site Development Plan		P.D.D.H. Approval		
	Plan and Profile		Inland Wetlands Approval		
/	Standard Construction Details		W.P.C.A. Approval		
	Connecticut Highway Department		Legal Boundary Description		
	Engineering Department Review		Zoning and Subdivision History		
	Drainage Calculations		Certificate from Assessor		
	Other:		Other:		

## 17) **REFERRALS**:

(*Check the ones that apply*)

- A portion of the property effected by the decision of the Commission is located within five hundred  $\square$ (500) feet of the boundary of an adjoining municipality.
- A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.
- Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- Subdivision/Resubdivision includes land which abuts or is partially located in the Town of
- Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by CERTIFIED MAIL/RETURN RECEIPT.

18) **APPLICATION FEES:** (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

Building	g Lots (x) $\qquad$ per lot = $\qquad$	
Cubic yards (x) \$100	) for each 1,000 cubic yards = \$	
	Public Hearing Fee Other Fees = State Fee = \$	= \$ \$
nted by D&7 10/15/00	Total Fee = \$	(Ck#)

Form PZ 004

## 19) AUTHORIZATION AND ENDORSEMENTS:

## a) **APPLICANT**:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE	

## b) **PROPERTY OWNER(s)**:

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE	
NAME PRINTED	DATE
OWNER SIGNATURE	
NAME PRINTED	DATE

## 20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

## 21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

**DENIED** / **APPROVED** (Check One)

APPROVED WITH CONDITIONS 
Q Yes or 
No (Check One)

See Letter dated \_\_\_\_\_\_ for DETAILS of ACTION taken and attach a copy hereto.

BY:

(Name & Title)

DATE

TOWN OF OXFORD S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov			
ALCONATED THE	Z#: <u>Z-X-013</u> Date Received: Date Accepted:		
Planning and Zoning Commission	Date on Agenda: 65 Day Exp.: Extension:		
<ul> <li>* Please Note:</li> <li>→ Read Instructions Thoroughly Before Completing Form</li> <li>→ This form Must Be Completely Typewritten or Legibly F</li> </ul>	2 <sup></sup> Extension:		
1) <b>APPLICATION:</b> This is an application for: (Check the ones that of	apply)		
SubdivisionResubdivisionTotal NumberZone ChangeSpecial ExceptionS/E (Include AExcavationMap/Text Amendment(Include ASite PlanOther	rticle & Section No.): rticle & Section No.):		
Name of Project - Title: 7 Woodruff H.11	Rd. (Lot 6)		
2) PROPERTY LOCATION(s):			
a) Street Address: 7 Woodruff Hill (	Rd.		
Town Clerk Record Map Number:			
Assessor's Identification Numbers: Map: <u>25</u> Block: <u>22</u> Lot: <u>13</u>	6 Unit:		
Zoning District: (Check One)			
	nned COM RPBP 🗆 Other		
Water and Sewer: (Check the ones that apply)			
Municipal Sanitary Sewers Derivate Wells On Site Septic Systems Private Wells			
b) Street Address:			
Town Clerk Record Map Number:			
Assessor's Identification Numbers: Map: Block: Lot:			
Zoning District: (Check One)			
<ul> <li>□ RES A</li> <li>□ RES Golf</li> <li>□ COM</li> <li>□ Plan</li> <li>□ RES POD</li> <li>□ Ox Center</li> <li>□ IND</li> <li>□ COI</li> </ul>	nned COM RPBP 🛛 Other		
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Adopted by P&Z 10/15/09

1

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(Check one)
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4) OWNER(s): Town at Oxford Address: <u>486</u> Oxford Read Town: <u>Oxford</u> State: <u>C</u> Zip Code: <u>06478</u> Phone: ( <u>703</u> ) <u>586-2543</u> <b>S</b> x: ( <u>)</u> Email:
5) APPLICANT'S OWNERSHIP INTEREST: Contract purchaser
6) LAND SURVEYOR: Civil 1 (see below) REG. No:
Town:         State:         Zip Code:           Phone:         Fax:         Email:
7) CIVIL ENGINEER: Civil1- Brian Baker REG. No: 23805 Address: 43 Sperman Hill Rd DIOI
Town:WoodburgState:CTZip Code:06798Phone:(203)266-0778Fax:Email:Drome6 cmil 4. com
8) ARCHITECT: REG. No:
Town:         State:         Zip Code:           Phone:         Fax:         Email:
9) PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED:
(Check One)
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(Check one)

	□ Yes If yes, how r	No nany cubic yards of	fmaterial to be removed,	filled, and/or	dispersed cubic yards.
15) FLOOD ZONE: (Check one)					
	□ Yes	No	If yes, what zone		
16) APPLICATION/SUPPORTING DOCUMENTS: (Indicate Attached or Not Applicable)					
		Project Narrative	Letter (statement)	)	Fire Marshal's Review
		Record Subdivisio	n Plan		Letter from Public Water Supply
	<ul> <li>✓</li> </ul>	Site Development	Plan		P.D.D.H. Approval
	/	Plan and Profile			Inland Wetlands Approval
		Standard Construc	tion Details		W.P.C.A. Approval
		Connecticut Highw	vay Department		Legal Boundary Description
		Engineering Depar	rtment Review		Zoning and Subdivision History

Drainage Calculations Certificate from Assessor

Other: \_\_\_\_\_ Other:

## 17) **REFERRALS**:

(*Check the ones that apply*)

- A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
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- Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- Subdivision/Resubdivision includes land which abuts or is partially located in the Town of \_\_\_\_\_\_.
- Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by CERTIFIED MAIL/RETURN RECEIPT.

18) **APPLICATION FEES:** (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

]	Building Lots (x) \$ per lot = \$	
Cubic yards (	(x) \$100 for each 1,000 cubic yards = \$	
	Public Hearing Fee =\$_Other Fees =\$_State Fee =\$_	
nted hv P&Z 10/15/09	<b>Total Fee = </b> \$	(Ck#)

Form PZ 004

# 19) AUTHORIZATION AND ENDORSEMENTS:

## a) **APPLICANT:**

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE	

NAME PRINTED	DATE	

b) **PROPERTY OWNER(s)**:

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE	
NAME PRINTED	DATE
OWNER SIGNATURE	
NAME PRINTED	DATE

20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

DENIED / DAPPROVED (Check One)

APPROVED WITH CONDITIONS Yes or No (Check One)

See Letter dated \_\_\_\_\_\_ for DETAILS of ACTION taken and attach a copy hereto.

BY:

(Name & Title)

DATE\_\_\_\_



January 21, 2021

Mr. Steve Macary Zoning Enforcement Officer Town of Oxford 486 Oxford Road Oxford, CT 06478

## **RE:** Statement of Use

Lot 5 & 6 Woodruff Hill Industrial Park (#3 and #7 Woodruff Hill Road) Application for a Site Plan Approval

Dear Mr. Macary:

Mr. Darin Bouchard of Oxford Enterprises, LLC is the contract purchaser of the above referenced lot from the Town of Oxford subject to obtaining land use approvals.

As such, applications are being submitted to the Town of Oxford Planning & Zoning Commission for a Special Permit & Site Plan permits to develop Lots 5 and 6 Woodruff Hill Industrial Park as a warehousing and volume reduction facility for recycling of asphalt shingles and construction debris to manufacture raw material for other end users.

The southern building which will be on Lot 5 will be 11,200 SF and will contain a 1,400 SF office and 11,200 SF of warehousing area for storage and maintenance of vehicles. Routine vehicle maintenance such as vehicle washing, oil changes and replacement of hydraulic fluid will take place within the building and all necessary fluids (typically motor oil and hydraulic fluid) will be stored inside the building. Waste fluids from vehicle maintenance will also be stored inside until they are removed from the site for proper disposal. Anticipated maximum volume of oil and hydraulic fluid to be stored within the building shall be 110 gallons on new fluid and 55 gallons of waste fluid. All fluids will be stored on a spill containment pallet within the building. Floor drains within the building will drain to an oil/water separator before being discharged to the sanitary sewer system.

T 203 266 0778 F 203 266 4759

Cornerstone Professional Park Suite D-101 43 Sherman Hill Road Woodbury, CT 06798 info@CIVIL1.com www.CIVIL1.com The northern building which will be on lot 6 will be 26,500 SF and will contain a loading area, 8 overhead garage door bays and will be used as a warehousing area for storage and a volume reduction facility for recycling of asphalt shingles and construction debris. There are no floor drains proposed for the building on lot 6. The lots will be served by public water and sanitary sewer.



All storage of the inbound product for processing and the outbound finished material will be inside of the buildings.

Should you have any comments or questions, please feel free to call.

Very truly yours, CIVIL 1

RIF

Brian J. Baker, P.E.

Cc: Mike Herde, Wetlands Enforcement Officer

T 203 266 0778 F 203 266 4759

Cornerstone Professional Park Suite D-101 43 Sherman Hill Road Woodbury, CT 06798 info@CIVIL1.com www.CIVIL1.com



# NAFIS & YOUNG ENGINEERS, INC CIVIL / ENVIRONMENTAL ENGINEERING & SURVEYING

February 8, 2021

Mr. David T. Sauter, Chairman Planning and Zoning Commission Town of Oxford 486 Oxford Road Oxford, CT 06478

Re: Lots 5 & 6 Woodruff Hill Road, Oxford, CT

Dear Mr. Sauter:

Nafis & Young Engineers, Inc. (NYE) is in receipt of plans and engineering report for the above-referenced projects. The proposal is for construction of two (2) industrial buildings in the industrial zone. These sites have been created as lay-down areas during construction of the Power Plant. As such, the properties have received significant fills from the previous work and were graded to be "pad ready". Both lots meet the zoning requirements of the Town of Oxford for lot area, frontage, setbacks, coverage and building height. The parking requirements are listed as "AS DETERMINED BY COMMISSION" and should be clarified by the Applicant. Stormwater has been separated and directed to drainage systems on each individual lot. Vehicle access however, to both lots is thru a single entrance on Lot 5. NYE recommends that a "right to pass and repass" easement over Lot 5 in favor of Lot 6 be established at this time to prevent future confusion should ownership of either lot changes. We offer the following:

- 1. Provide access easement over Lot 5 in favor of Lot 6 with rights to pass and repass.
- 2. Wall designs on Lot 5 and Lot 6 must be signed and sealed by a Professional Engineer licensed in the State of Connecticut prior to issuance of a building permit for the buildings on Lot 5 and Lot 6 respectfully.
- 3. The Timber Guardrail (guiderail) detail does not appear sturdy enough for truck traffic. Please revise.
- 4. Please complete parking table to include regulation requirements.

- 5. Please add silt fencing below the proposed retaining wall on Lot 5.
- 6. Please provide dumpster enclosure detail.
- 7. Two (2) inches of bituminous concrete for the proposed use is too thin. Please increase.
- 8. Please provide Temporary and Permanent pavement repair details for Woodruff Hill Road.
- 9. Are any Sanitary facilities proposed for the building on Lot 6?
- 10. Please provide documentation from water supply provider that sufficient fire flow pressure and flow is available.
- 11. The construction sequence needs revisions.
  - a. Clearing is identified prior to installation of silt fencing.
  - b. Please clarify which TST is to be used for construction, or is both TST's?
  - c. Please identify which building is to be constructed first and tailor construction sequence for each building.
- 12. NYE recommends that the Applicant provide the Town of Oxford with a Soil Erosion Control Bond in the amount of \$15,000 prior to start of construction.

If you should have any questions, please feel free to contact me at 203-314-8041.

Sincerely, James H. Galligan, P.E.

James'H. Galligañ, P.E. Nafis & Young Engineers, Inc. Town Engineer of Oxford

cc: B. Baker



February 10, 2021

Mr. David Sauter, Chairman Planning & Zoning Commission Town of Oxford 486 Oxford Road Oxford, CT. 06478

## RE: #3 Woodruff Hill Road (Lot 5) & #7 Woodruff Hill Road (Lot 6)

Dear Mr. Sauter,

We have received a review letter from James H. Galligan, P.E. of Nafis & Young Engineers dated February 8, 2021 for the above referenced project and have revised the Permitting Set based upon his recommendations. Enclosed please find two copies of revised plans with a revision date of February 10, 2021. Additionally, we offer the following responses to each of Mr. Galligan's comments:

- C1) Provide access easement over Lot 5 in favor of Lot 6 with rights to pass and repass.
  - R1) A proposed access easement over lot 5 in favor of Lot 6 has been added to the Site Plans per the recommendation. Note that the same entity will own both lots so the easement will not need to be filed at this time. The easement will be filed if one of the lots is ever to be sold to another entity.
- C2) Wall designs on Lot 5 and Lot 6 must be signed and sealed by a Professional Engineer licensed in the State of Connecticut prior to issuance of a building permit for the buildings on Lot 5 and Lot 6.
  - *R2*) We concur. The aforementioned wall designs will be completed and submitted prior to issuance of a building permit.
- C3) The Timber Guardrail (guiderail) detail does not appear sturdy enough for truck traffic . Please revise.

*R3*) *The Timber Guide Rail detail has been replaced with a W-beam Steel Guide Rail in accordance with the recommendation.* 

C4) Please complete parking table to include regulation requirements.

R4) The parking table has been revised to include the individual uses and a breakdown of spaces provided. 7 additional spaces have been added to the site plans. We are now provided 39 total spaces of the 50 required by the calculations, therefore we are requested 22% be held in future reserve. In accordance with Section 3.24.2 of the Zoning Regulations the Commission may allow up to 25% be held in future reserve. Please note that the applicant has indicated that 39 spaces is more than sufficient for the proposed use at the property.

T 203 266 0778 F 203 266 4759

Cornerstone **C5**) Professional Park Suite D-101 43 Sherman Hill Road Woodbury, CT 06798 info@CIVIL1.com www.CIVIL1.com

C5) Please add silt fencing below the proposed retaining wall on Lot 5.

*R5*) Silt Fence is included on the plans below the retaining wall for Lot 5. It is shown on the Erosion & Sediment Control Plan on Sheet C-3.1.



C6) Please provide dumpster enclosure detail.

*R6)* A dumpster enclosure detail has been included on Sheet C-5.4 of the plan set per the recommendation.

C7) Two (2) inches of bituminous concrete for the proposed use is too thin. Please increase.

*R7*) *The proposed pavement section detail on sheet C-5.2 calls for 2 -2" courses of asphalt for a total of 4". This is adequate for the proposed use.* 

C8) Please provide Temporary and Permanent pavement repair details for Woodruff Hill Road.

*R8) Temporary and Permanent Pavement Repair Details have been included on Sheet C-5.2 per the recommendation.* 

C9) Are any sanitary facilities proposed for the building on Lot 6?

*R9*) No sanitary sewer facilities are proposed for the building on Lot 6. The plan has been reviewed and approved by the Oxford Water Pollution Control Authority (WPCA).

C10) Please provide documentation from water supply provider that sufficient fire flow pressure and flow is available.

R10) The fire suppression design for the building(s) has not been designed yet. They will be designed as the building plans progress and the applicant will reach out to the water supplier (Connecticut Water Company) for coordination and confirmation when design if the fire suppression system is under way. Note that the Towantic Power Plant is fed by the same line and sits approximately 70' higher in elevation than this site. The plant has adequate supply flows and pressure so we anticipate that there will be no issue with water pressure and flow to this site.

- C11) The construction sequence needs revisions.
  - a) Clearing is identified prior to installation of silt fencing.
  - b) Please clarify which TST is to be used for construction, or both TSTs?
  - c) Please identify which building is to be constructed first and tailor construction sequence for each building.

*R11*) a) Standard construction procedure is to clear the trees but not to remove the stumps prior to silt fence installation otherwise silt fence gets damaged by the trees when they are taken down. We have added a note clarifying that no stumps are to be removed until silt fence installation has occurred.

b) Both TSTs will be used during construction. The notes have been updated to clarify as such. c) Site preparation will and drainage installation on both lots will occur concurrently to prepare the site for the buildings. It is anticipated that the southern building (Lot 5) will be constructed first with the building on Lot 6 to follow immediately afterwards. The construction sequence has been revised as such.

T 203 266 0778 F 203 266 4759

Cornerstone C12) Professional Park B Suite D-101 43 Sherman Hill Road Woodbury, CT 06798 info@CIVIL1.com www.CIVIL1.com

- C12) NYE recommends that the applicant provide the Town of Oxford with a Soil Erosion Control Bond in the amount of \$15,000 prior to the start of construction.
  - *R12*) We concur with the recommendation.



Please feel free to contact us if you have any further questions.

Sincerely,

CIVIL 1

Brian J. Baker, P.E

T 203 266 0778 F 203 266 4759

Cornerstone Professional Park Suite D-101 43 Sherman Hill Road Woodbury, CT 06798 info@CIVIL1.com www.CIVIL1.com

# **OXFORD ENTERPRISES LLC PERMITTING SET NOT FOR CONSTRUCTION**

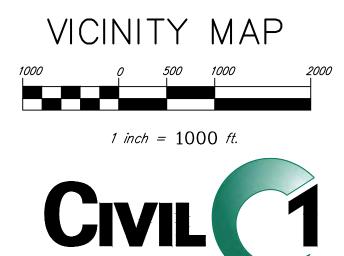


OWNER TOWN OF OXFORD 486 OXFORD ROAD OXFORD, CT 06478

APPLICANT OXFORD ENTERPRISES, LLC 20 OLD COUNTRY ROAD OXFORD, CT 06478

ENGINEER / SURVEYOR CIVIL 1 43 SHERMAN HILL ROAD, SUITE D-101 WOODBURY, CT

3 WOODRUFF HILL ROAD (LOT5) and 7 WOODRUFF HILL ROAD (LOT6) WOODRUFF HILL INDUSTRIAL PARK, OXFORD, CT TAX MAPS - MAP:25 - BLOCK: 22 LOT: 13-5 & 13-6



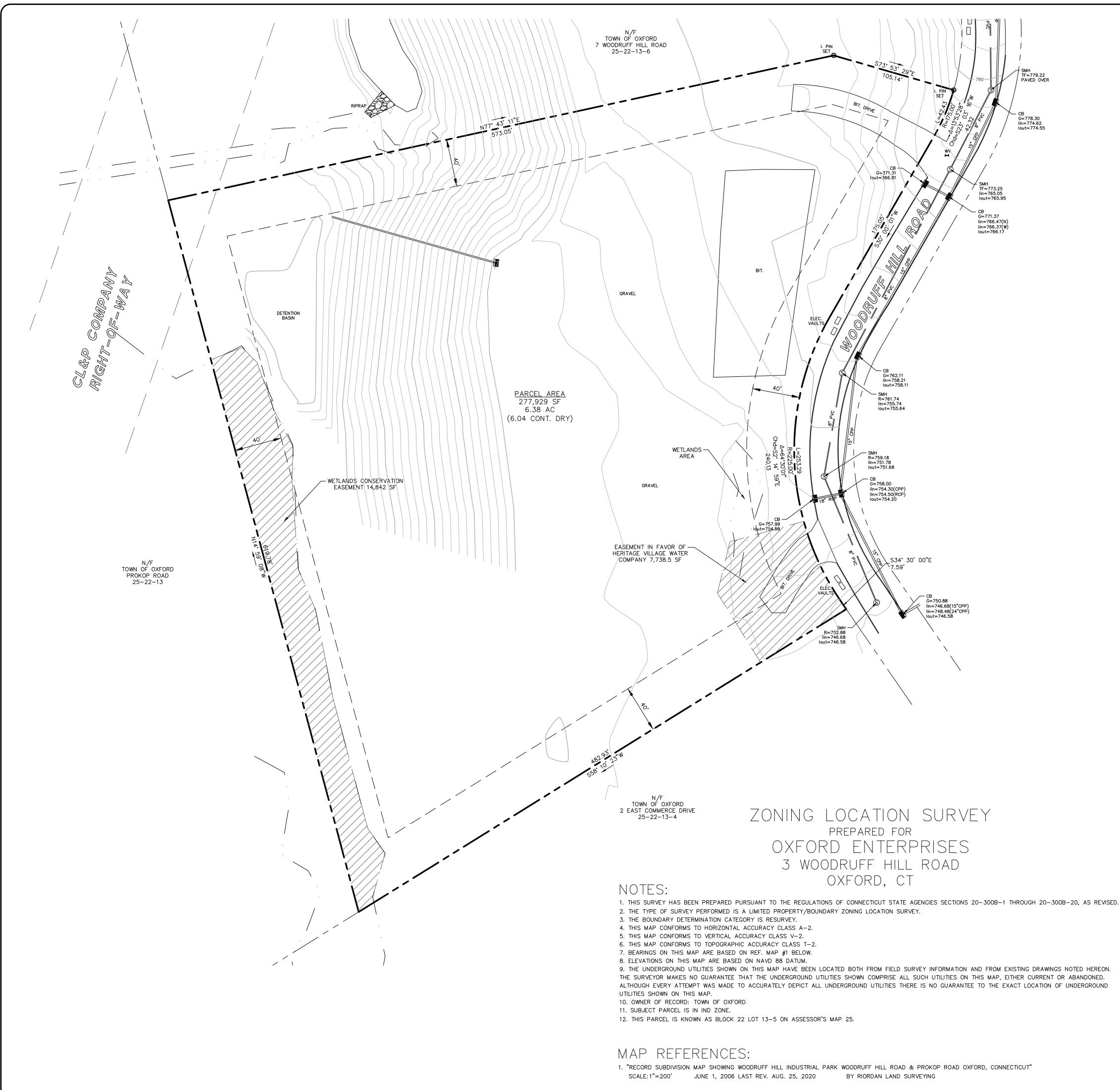


DECEMBER 4, 2020 REVISED FEBRUARY 10, 2021

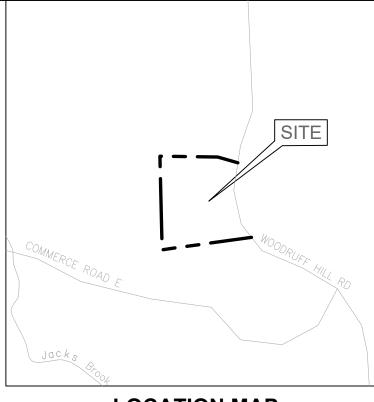
# SHEET NUMBER

# DESCRIPTION

S 1.1	ZONING LOCATION SURVEY LOT 5 (3 WOODRUFF HILL RD.)
S 1.2	ZONING LOCATION SURVEY LOT 6 (7 WOODRUFF HILL RD.)
C 1.0	EXISTING CONDITIONS MAP
C 1.1	SITE PLAN AND LANDSCAPE PLAN
C 2.1	GRADING PLAN DRAINAGE PLAN AND UTILITY PLAN
C 3.1	EROSION CONTROL PLAN
C 4.1	DRIVEWAY PLAN & PROFILES
C 4.2	DRIVEWAY PLAN & PROFILES
C 4.3	STORM DRAINAGE PROFILES
C 5.1	DETAILS
C 5.2	DETAILS
C 5.3	DETAILS
C 5.4	DETAILS
C 6.1	EROSION CONTROL NARRATIVE & PROJECT NOTES

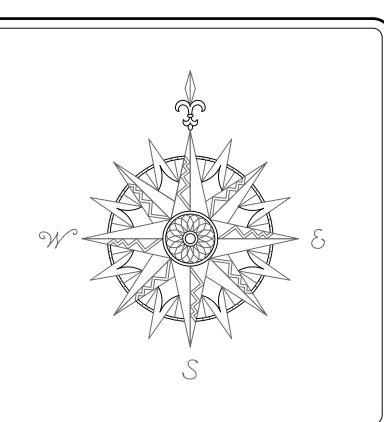


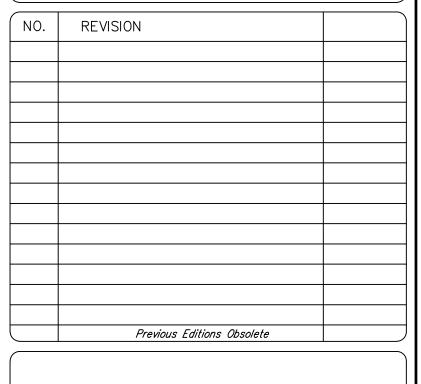
9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED. ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND

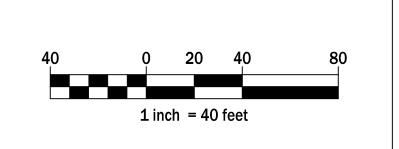


# LOCATION MAP NTS

OXFORD ZONING TABLE (INDUSTRIAL DISTRICT)			
STANDARDS	REQUIRED	EXISTING	
MINIMUM LOT AREA	2.5 AC	6.04 AC	
MINIMUM FRONTAGE	225'	478.36'	
MINIMUM SQUARE	200'	> 200'	
MAXIMUM COVERAGE	65 %	_	
MINIMUM FLOOR AREA	50,000 SF	_	
MAX. STORIES:	2 1/2	—	
MAX. BLDG. HGT. :	35'	_	
BUILDING SETBACKS:			
FRONT YARD:	40'	_	
SIDE/REAR YARD:	40'	_	
FRONT YARD PARKING:	10'	_	
FRONT YARD OTHER:	25'	_	



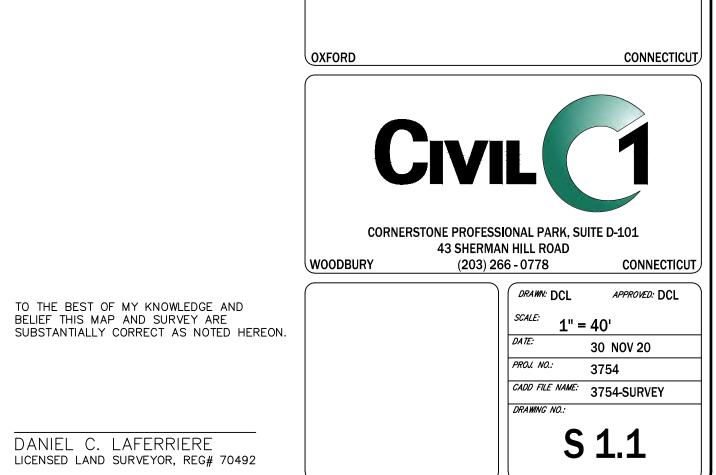




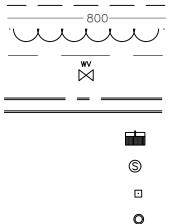
# **OXFORD ENTERPRISES, LLC** 20 OLD COUNTRY ROAD OXFORD CT.

# ZONING LOCATION SURVEY

# **3 WOODRUFF HILL ROAD**

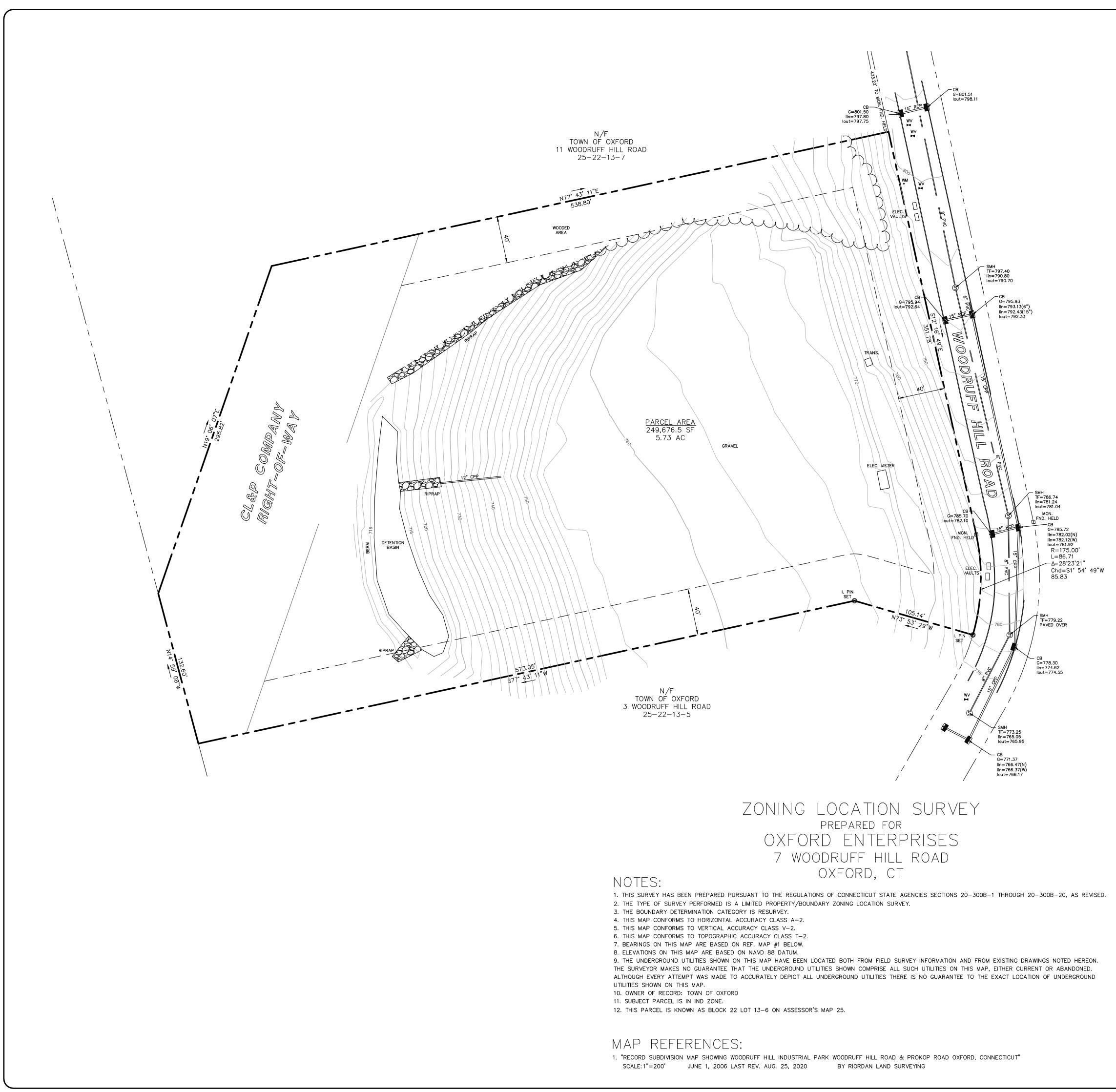


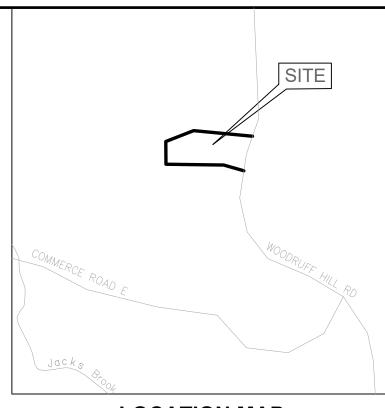
# LEGEND



# PROPERTY LINE BUILDING SETBACK LINE EXISTING CONTOUR TREE LINE EASEMENT LINE WATER VALVE EXISTING SANITARY SEWER MAIN EXISTING STORM SEWER CATCH BASIN SANITARY SEWER MANHOLE MONUMENT IRON PIN

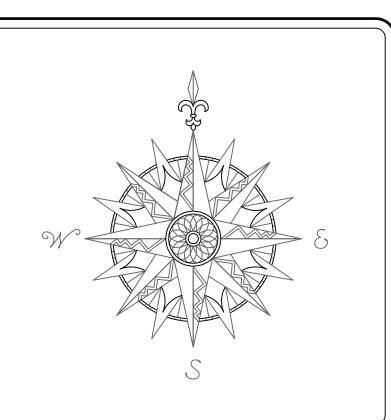
DANIEL C. LAFERRIERE LICENSED LAND SURVEYOR, REG# 70492

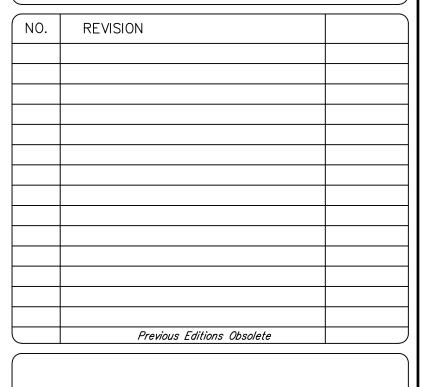


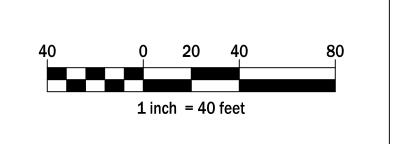


# LOCATION MAP

OXFORD ZONING TABLE (INDUSTRIAL DISTRICT)			
STANDARDS	REQUIRED	EXISTING	
MINIMUM LOT AREA	2.5 AC	5.73 AC	
MINIMUM FRONTAGE	225'	438.49'	
MINIMUM SQUARE	200'	> 200'	
MAXIMUM COVERAGE	65 %	_	
MINIMUM FLOOR AREA	50,000 SF	_	
MAX. STORIES:	2 1/2	_	
MAX. BLDG. HGT. :	35'	_	
BUILDING SETBACKS:			
FRONT YARD:	40'	_	
SIDE/REAR YARD:	40'	_	
FRONT YARD PARKING:	10'	_	
FRONT YARD OTHER:	25'	_	



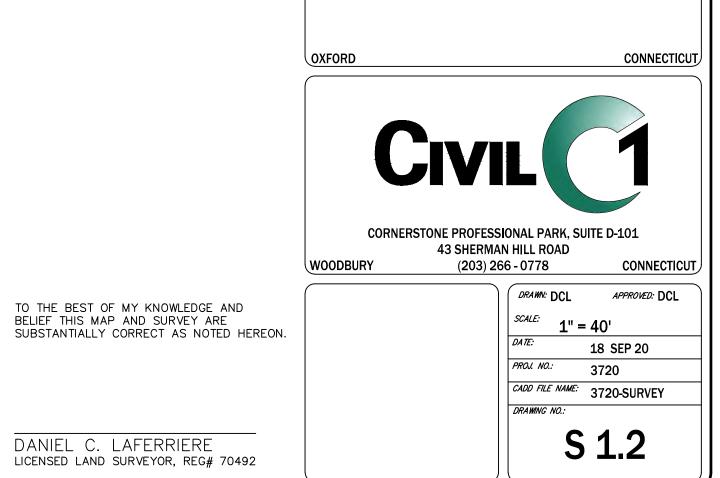




# **OXFORD ENTERPRISES, LLC** 20 OLD COUNTRY ROAD OXFORD CT.

# ZONING LOCATION SURVEY

# 7 WOODRUFF HILL ROAD



# LEGEND

PROPERTY LINE

EXISTING CONTOUR

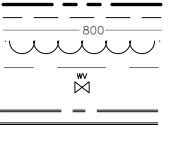
WATER VALVE

EXISTING SANITARY SEWER MAIN

EXISTING STORM SEWER

TREE LINE EASEMENT LINE

BUILDING SETBACK LINE

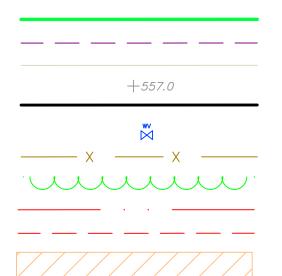


CATCH BASIN SANITARY SEWER MANHOLE MONUMENT IRON PIN

O

DANIEL C. LAFERRIERE LICENSED LAND SURVEYOR, REG# 70492

# LEGEND



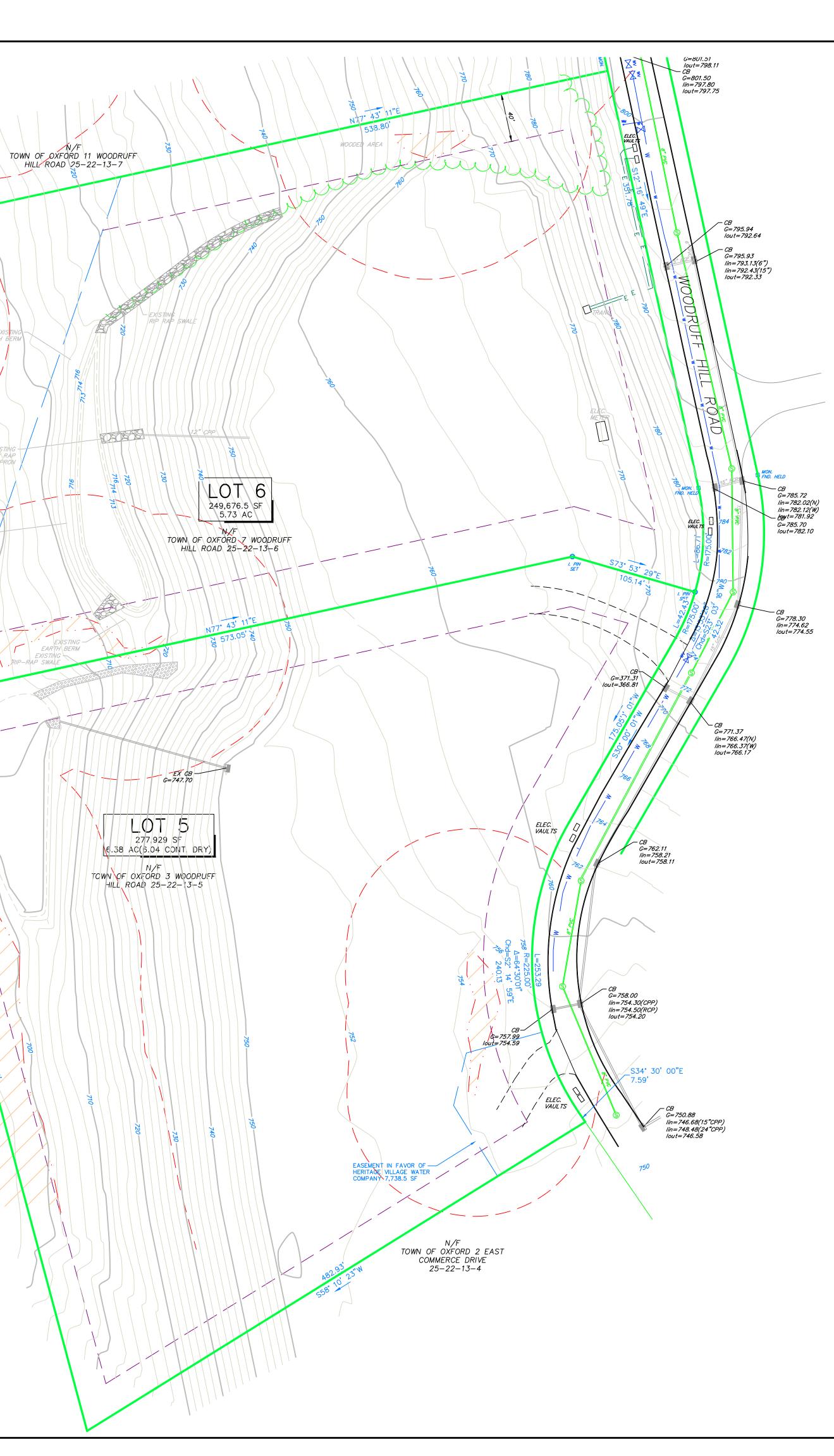
PROPERTY LINE BUILDING SETBACK LINE EXISTING CONTOUR EXISTING SPOT GRADE PROPOSED LOT LINE WATER VALVE EXISTING FENCE TREE LINE WETLAND LINE

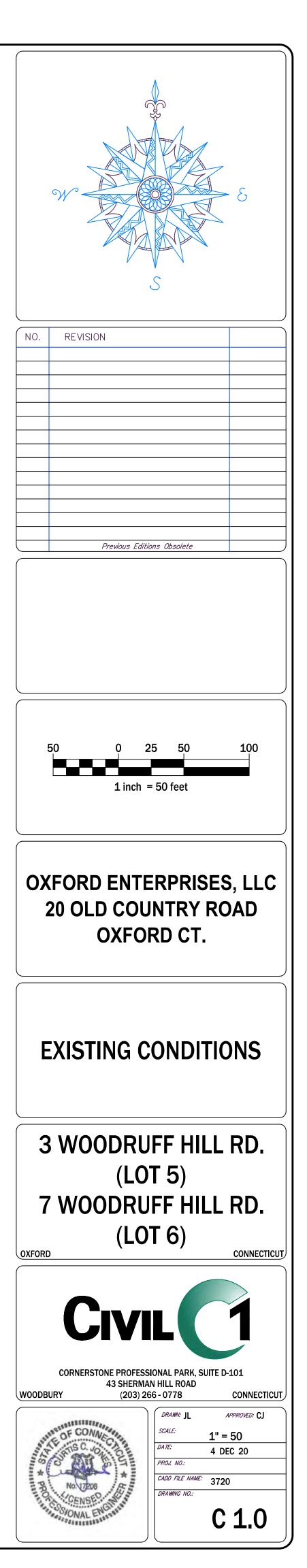
100' WETLAND REGULATED AREA

EXISTING EARTH BERM

N/F TOWN OF OXFORD 11 WOODRUFF HILL ROAD 25-22-13

WETLANDS AREA





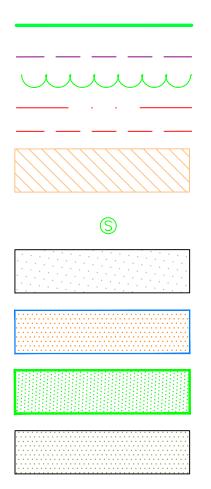
P	LAN	T SCHEDULE				
KE.	Y QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVE	RGREEN S	HRUB(S)	•	•	•	
JP	30	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER	spaced @ 30" o.c.
PL	15	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	CONTAINER	-
						-
DEC	NDUOUS S	HRUB(S)	·	•	•	
СН	15	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	24-30"	CONTAINER	-
VA	15	VACCIMIUM ANGUSTIFOLIUM	LOW BUSH BLUEBERRY	24-30"	CONTAINER	-
DI	15	DIERVILLA IONICERRA	BUSH HONEYSUCKLE	24-30"	CONTAINER	-
						_

REQUIRED/ PERMITTED GARDENS.

ZONING DATA - INDUSTRIAL DISTRICT LOT 6			
ITEM	REQUIRED	PROVIDED	
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	249,676.5 SF	
ROAD FRONTAGE (FT.)	225'	438.49'	
MIN. FRONT YARD (FT.)	40'	72.47'	
MIN. SIDE YARD (FT.)	25'	40.0'	
MIN REAR YARD (FT.)	25'	308.2'	
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET	
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	10.6%	
TOTAL LOT COVERAGE (%)	65% MAX.	21.9%	
PARKING REQUIREMENT	AS DETERMINED BY COMMISSION	6	
ZONING DATA – I	NDUSTRIAL DISTRICT	LOT 5	
ITEM	REQUIRED	PROVIDED	
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	277,929 SF	
ROAD FRONTAGE (FT.)	225'	478.31'	
MIN. FRONT YARD (FT.)	40'	40.0'	
MIN. SIDE YARD (FT.)	25'	101.8'	
MIN REAR YARD (FT.)	25'	308.3'	
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET	
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	4.0%	
TOTAL LOT COVERAGE (%)	65% MAX.	18.3%	

AS DETERMINED BY COMMISSION





PARKING REQUIREMENT

PROPERTY LINE BUILDING SETBACK LINE TREE LINE WETLAND LINE 100' WETLAND REGULATED AREA WETLANDS AREA

SANITARY SEWER MANHOLE

PROPOSED PAVEMENT

PROPOSED BUILDING

PROPOSED LAWN AREA

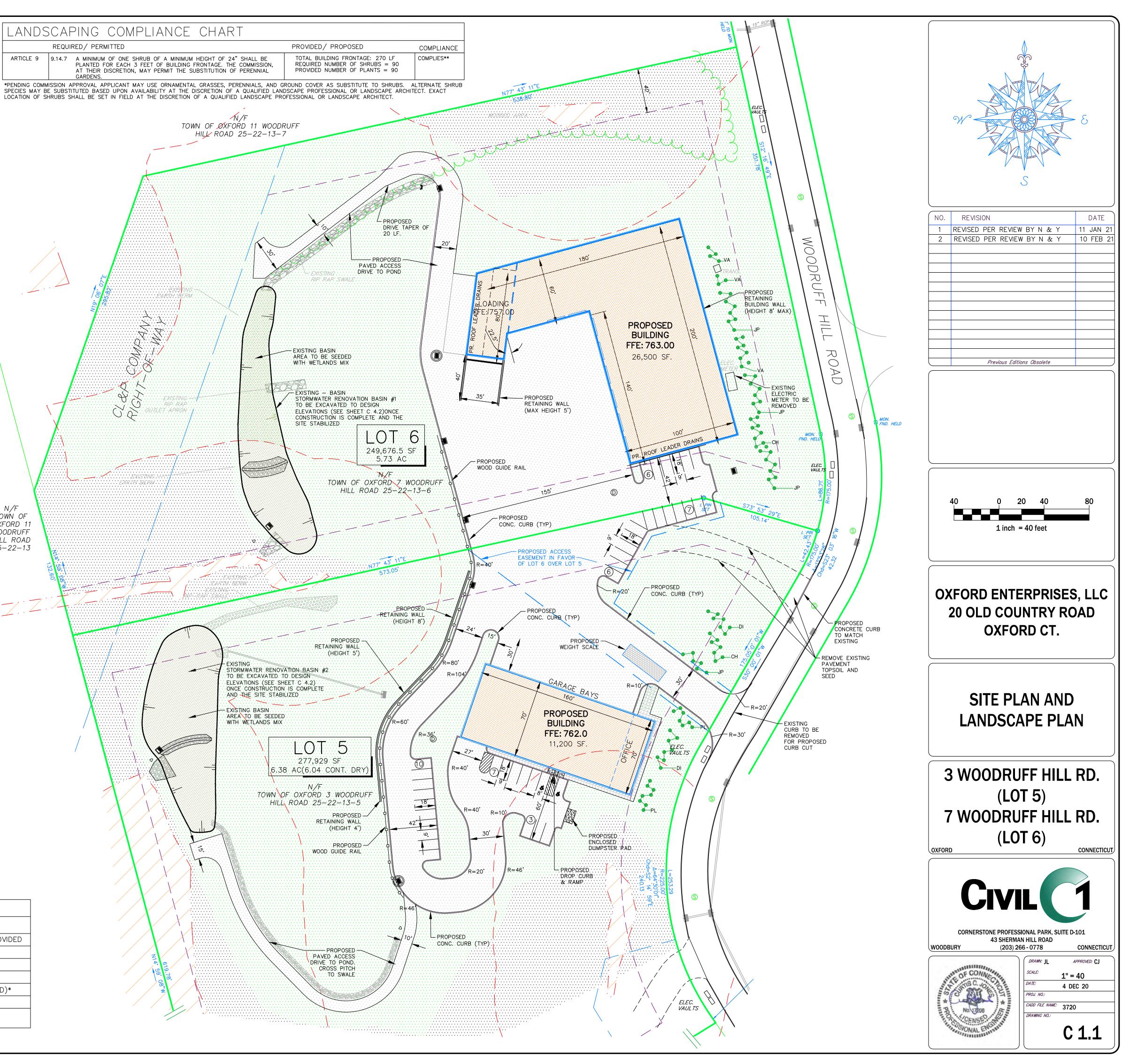
EXISTING STORMWATER RENOVATION

PARKING SUMMARY				
	BUILDINGS – 37,700 SF TOTAL			
BUILDING USE	SQUARE FOOTAGE	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED	
OFFICE	1,400 SF	1/250  SF = 5.6	6	
MANUFACTURING	8,000 SF	1/500  SF = 16	16	
WAREHOUSING/STORAGE	28,300 SF	1/1,000 SF = 28.3	17	
TOTAL	37,700 SF	50	39 (78% OF REQURIED)*	
HANDICAP SPACES – FOR 26–50 SPACES – 2 REQUIRED. 2 PROVIDED				
*22% SPACES TO BE RESERVED FOR FUTURE PARKING PER SECTION 3.24.2 OF ZONING REGULATIONS (UP TO 25% ALLOWED)				

N/F TOWN OF OXFORD 11 WOODRUFF HILL ROAD 25-22-13

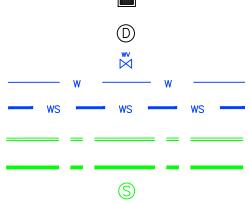
Z:Z.

26



# LEGEND





# PROPERTY LINE

BUILDING SETBACK LINE EXISTING CONTOUR EXISTING SPOT GRADE PROPOSED CONTOUR PROPOSED SPOT GRADE EXISTING STORM SEWER

PROPOSED STORM SEWER

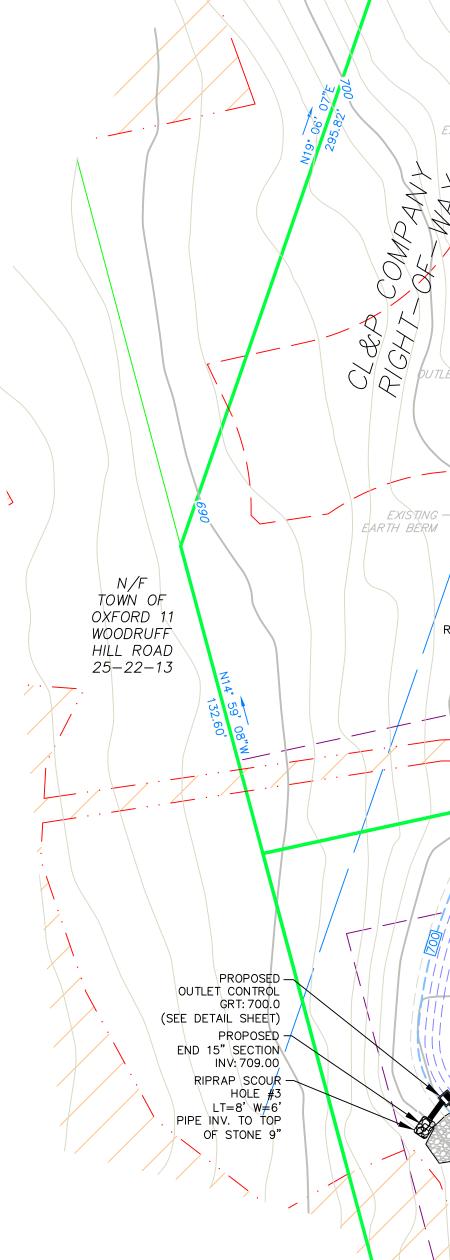
PROPOSED DRAIN MANHOLE

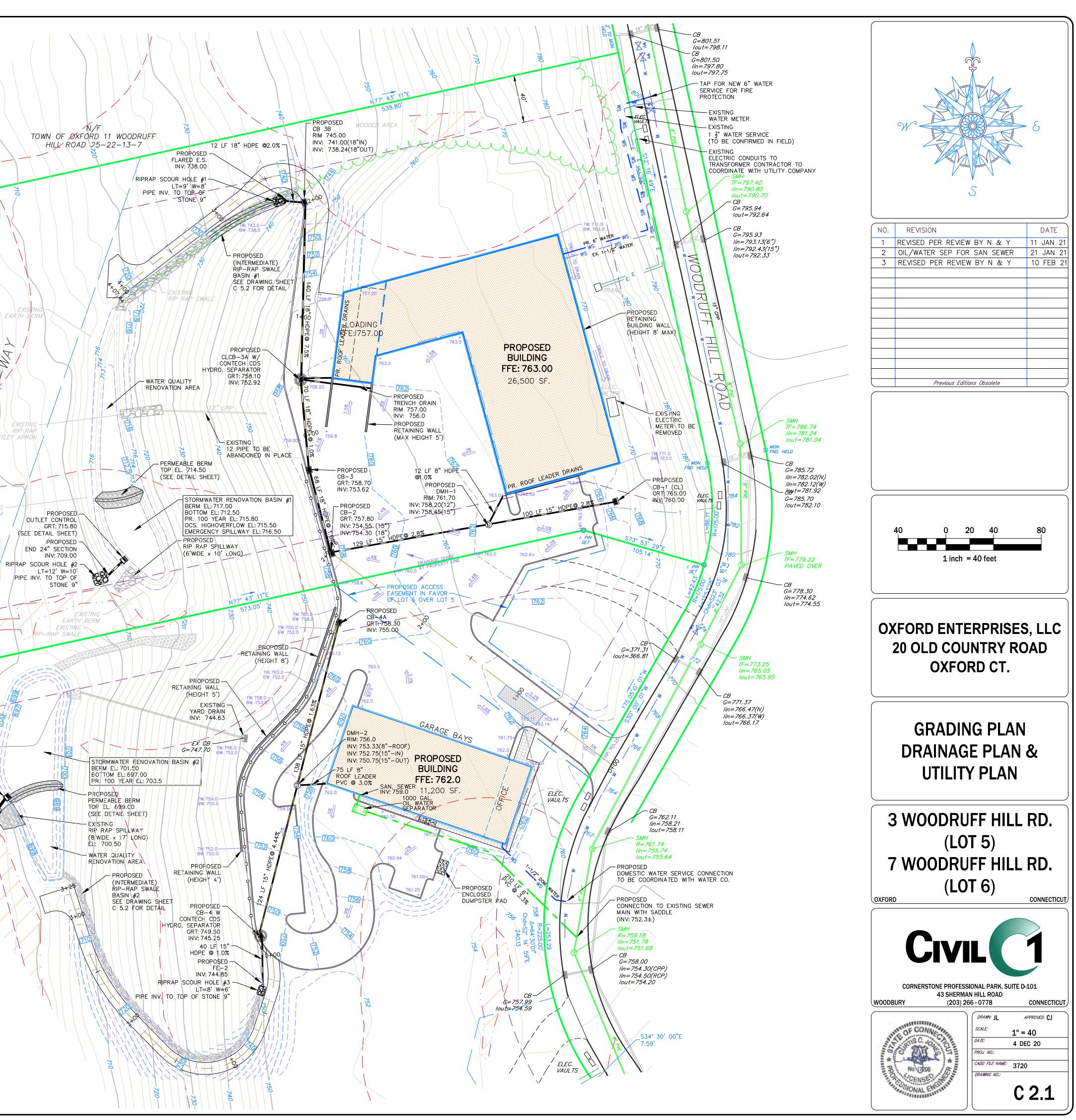
WATER VALVE

EXISTING WATER MAIN PROPOSED WATER SERVICE

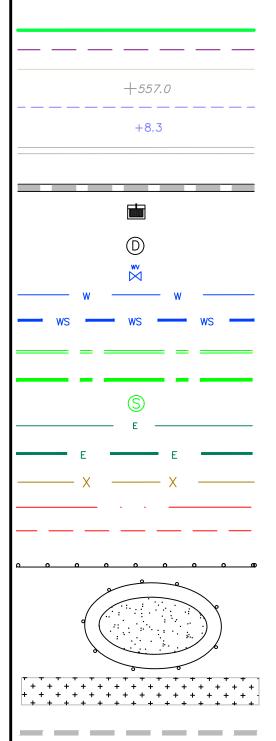
EXISTING SANITARY SEWER MAIN

PROPOSED SANITARY SEWER LINE SANITARY SEWER MANHOLE

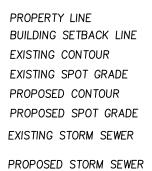




# LEGEND



(TST



PROPOSED CATCH BASIN

# PROPOSED DRAIN MANHOLE WATER VALVE EXISTING WATER MAIN PROPOSED WATER SERVICE EXISTING SANITARY SEWER MAIN PROPOSED SANITARY SEWER LINE SANITARY SEWER MANHOLE EXISTING ELECTRIC PROPOSED ELECTRIC SERVICE EXISTING FENCE WETLAND LINE 100' WETLAND REGULATED AREA

SILT FENCE

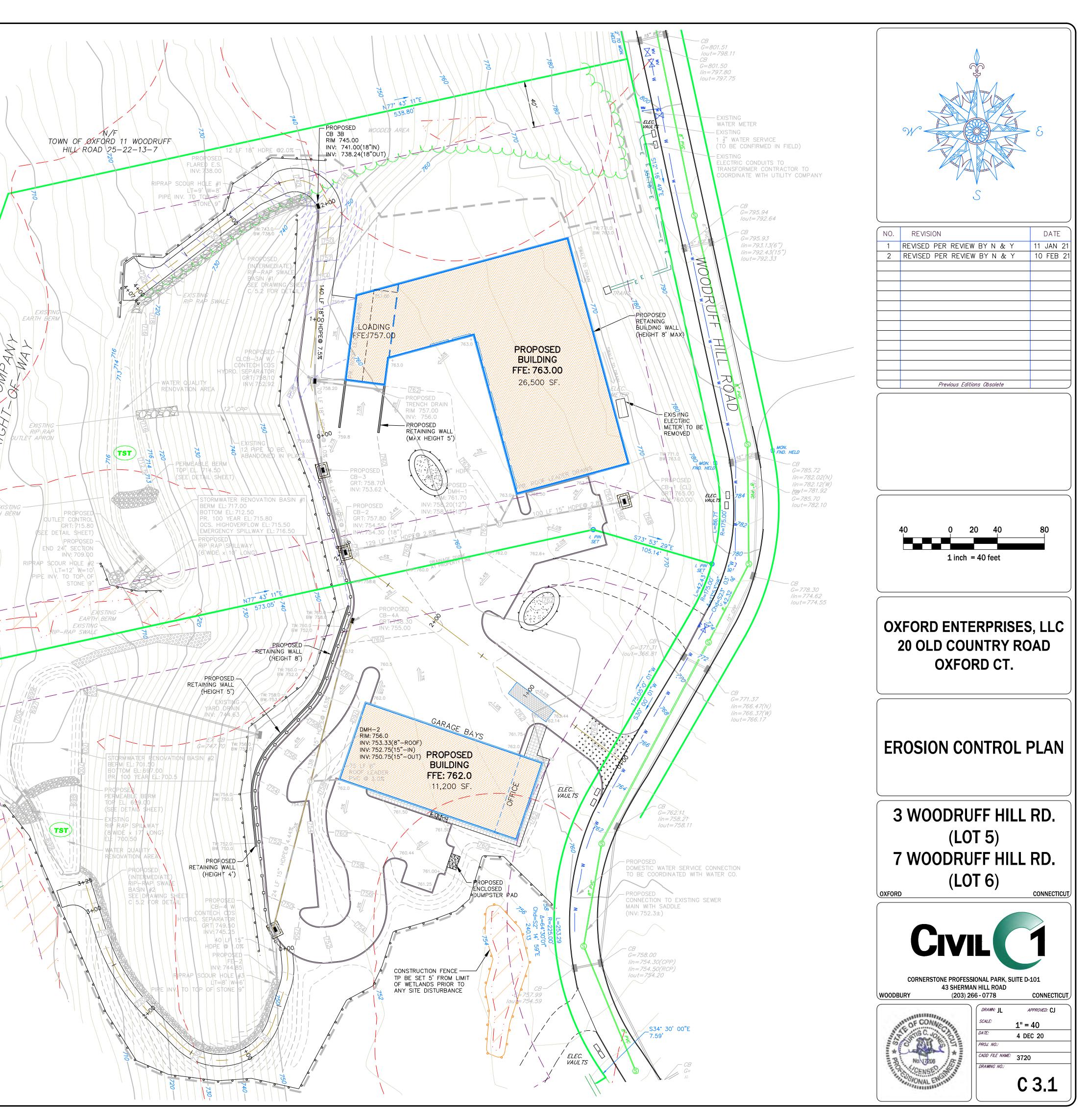
TEMPORARY SOIL STOCKPILE AREA

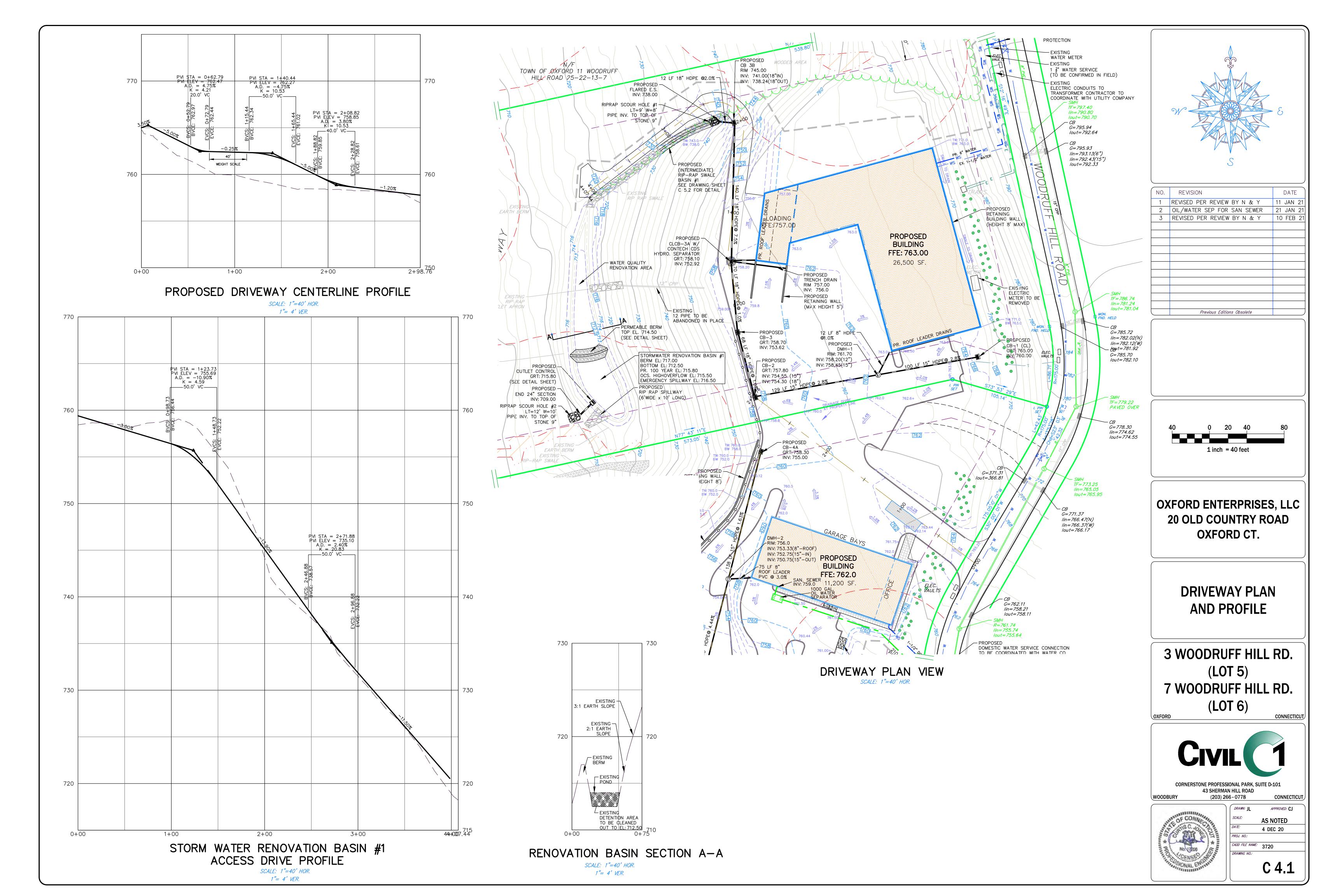
TEMPORARY CONSTRUCTION ENTRNACE

LIMITS OF CONSTRUCTION

TEMPORARY SEDIMENT TRAP

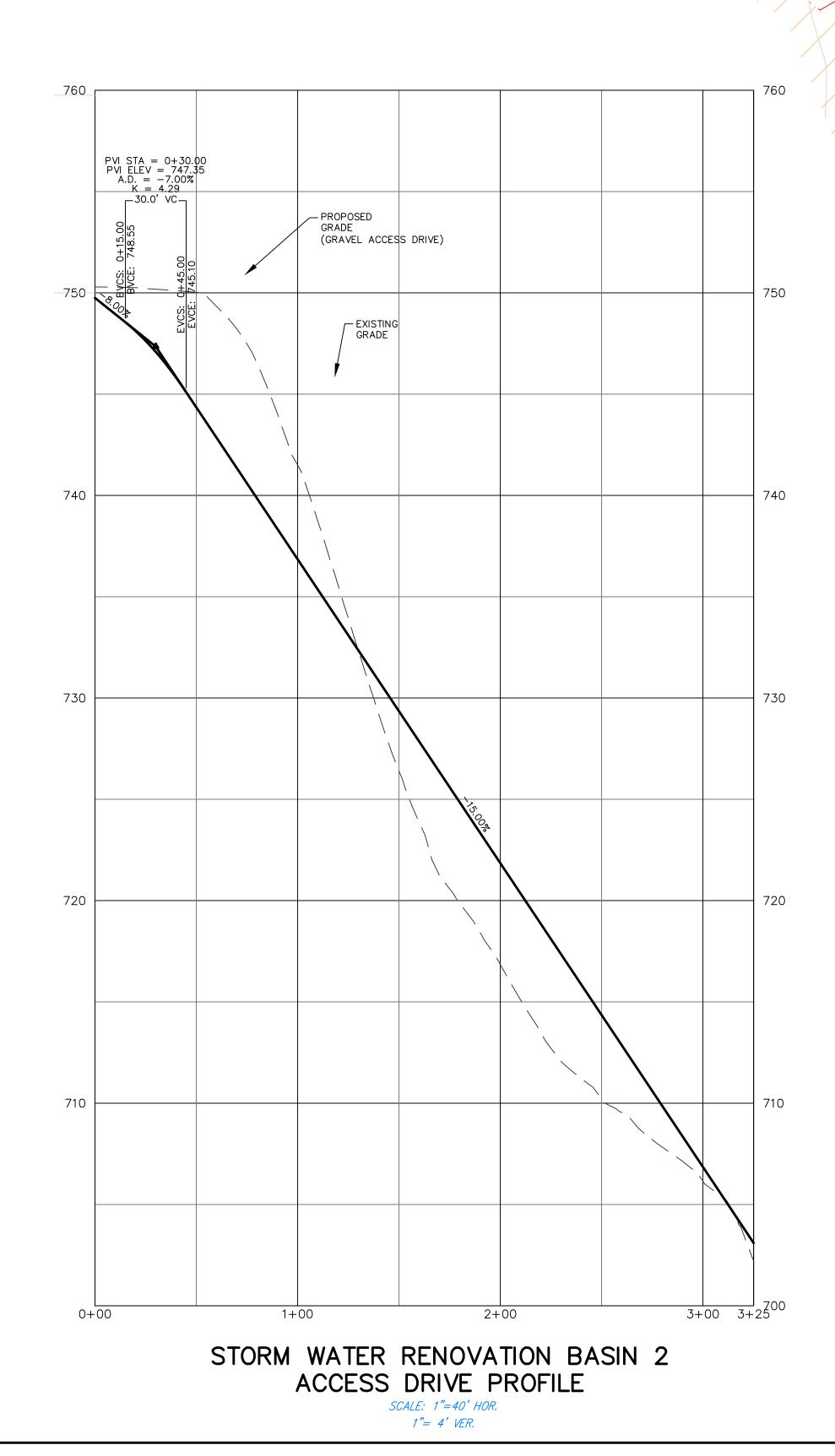
# 919 19 EXISTING EARTH BERM N/F TOWN OF OXFORD 11 WOODRUFF HILL ROAD 25–22–13 OUTLET CONTRO GRT: 700 (SEE DETAIL SHEE PROPOSE END 15" SECTIO INV: 709.00 RIPRAP SCOUR HQLE #3 PIPE NV. TO TOP OF STONE 9"

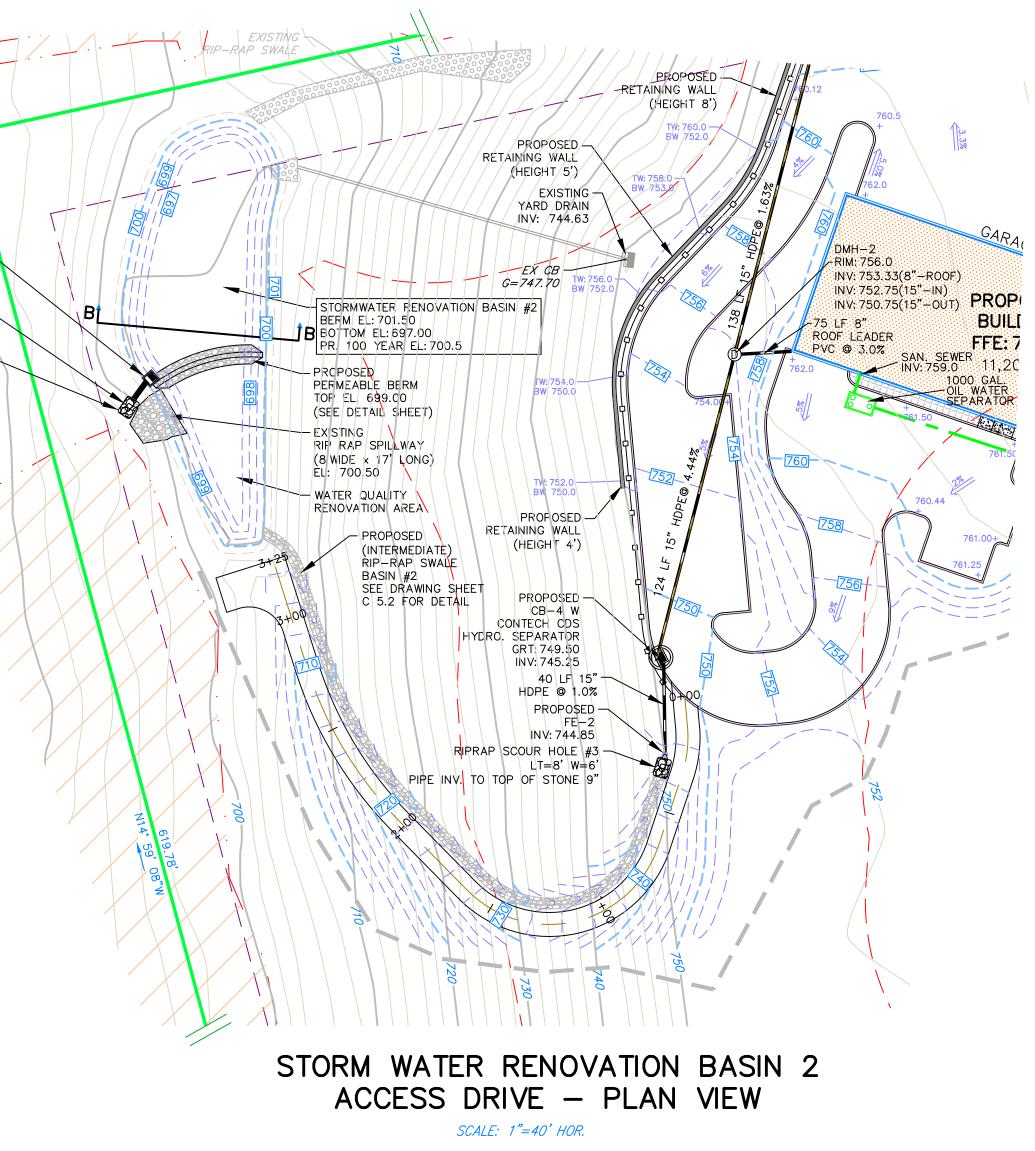


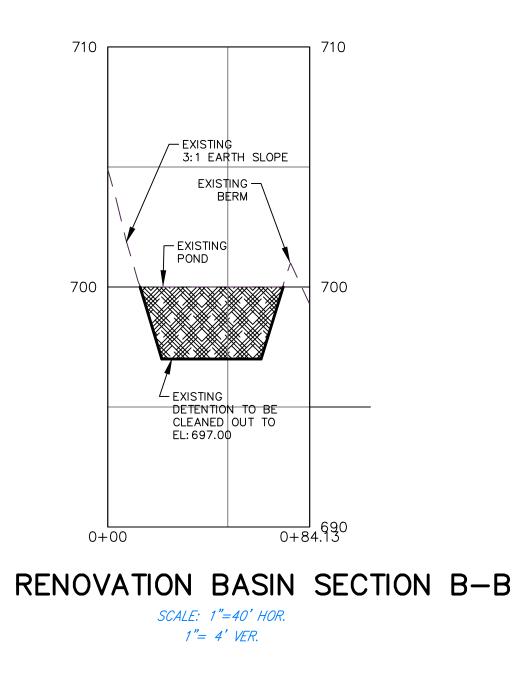


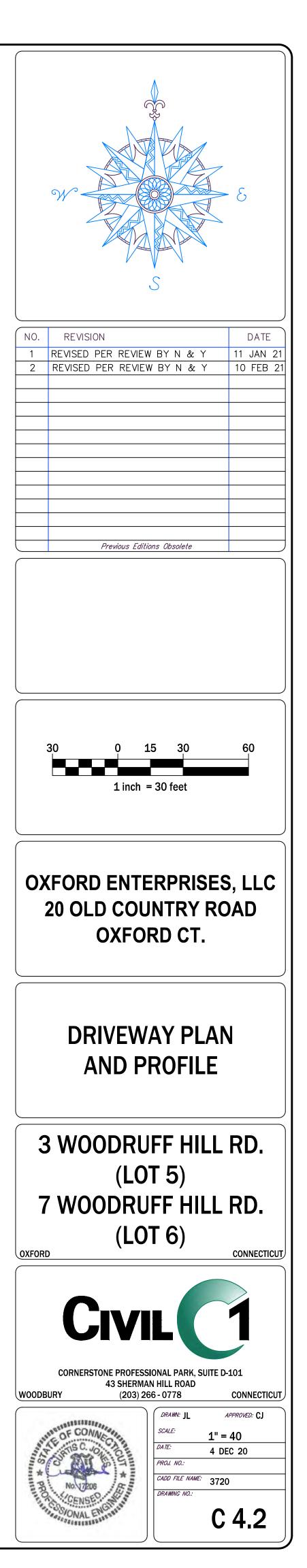
PROPOSED – OUTLET CONTROL GRT: 700.0 (SEE DETAIL SHEET) PROPOSED – END 15" SECTION INV: 709.00 RIPRAP SCOUR – HOLE #3 LT=8' W=6' PIPE INV. TO TOP

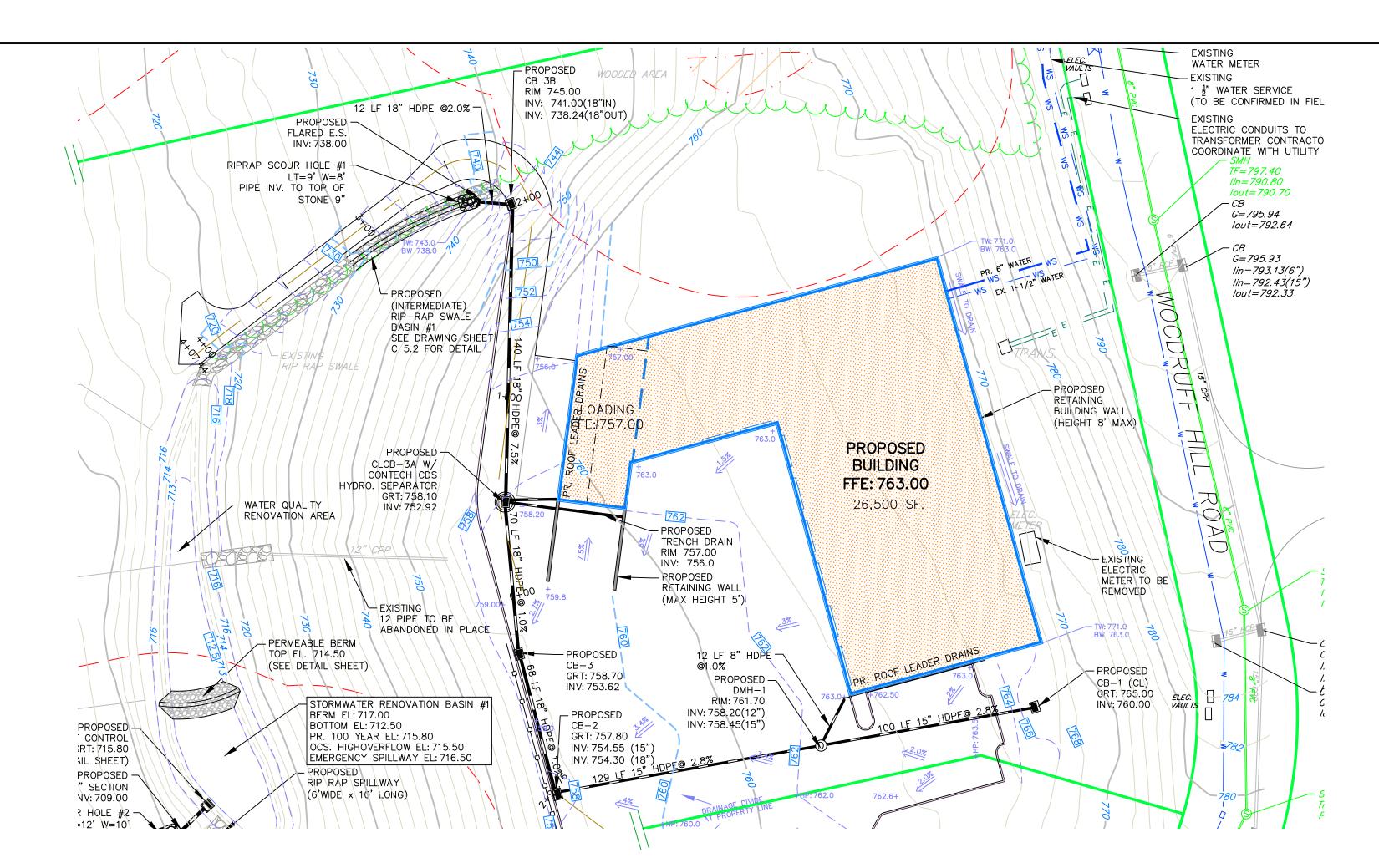
OF STONE 9"

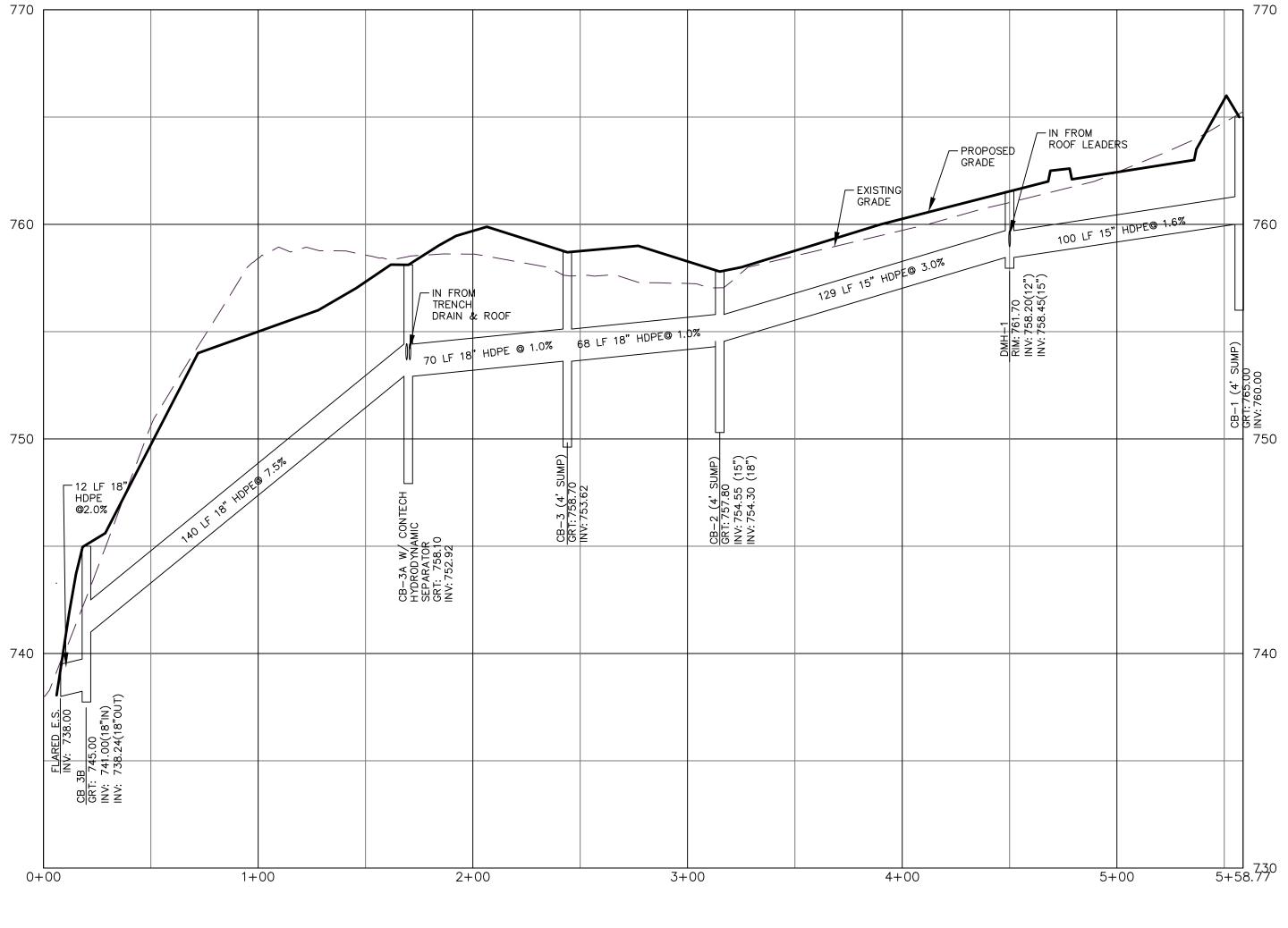






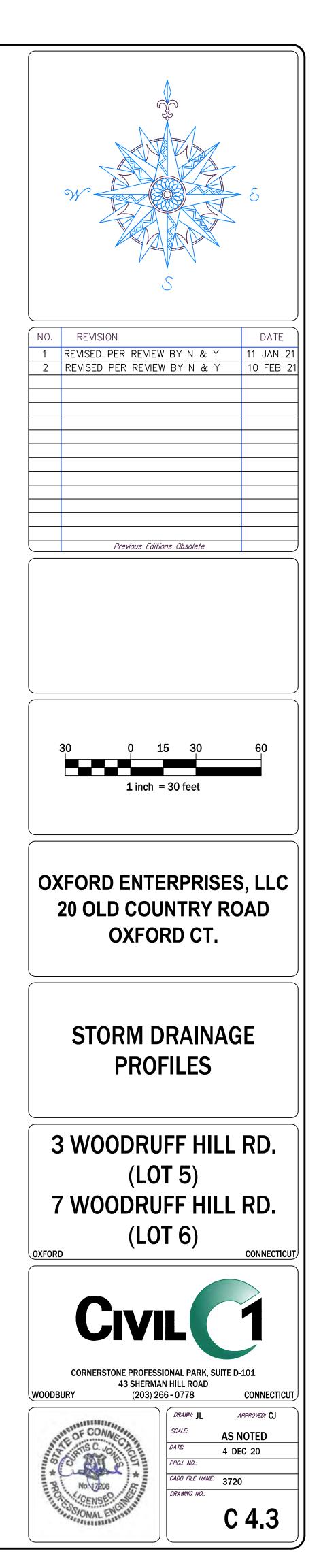


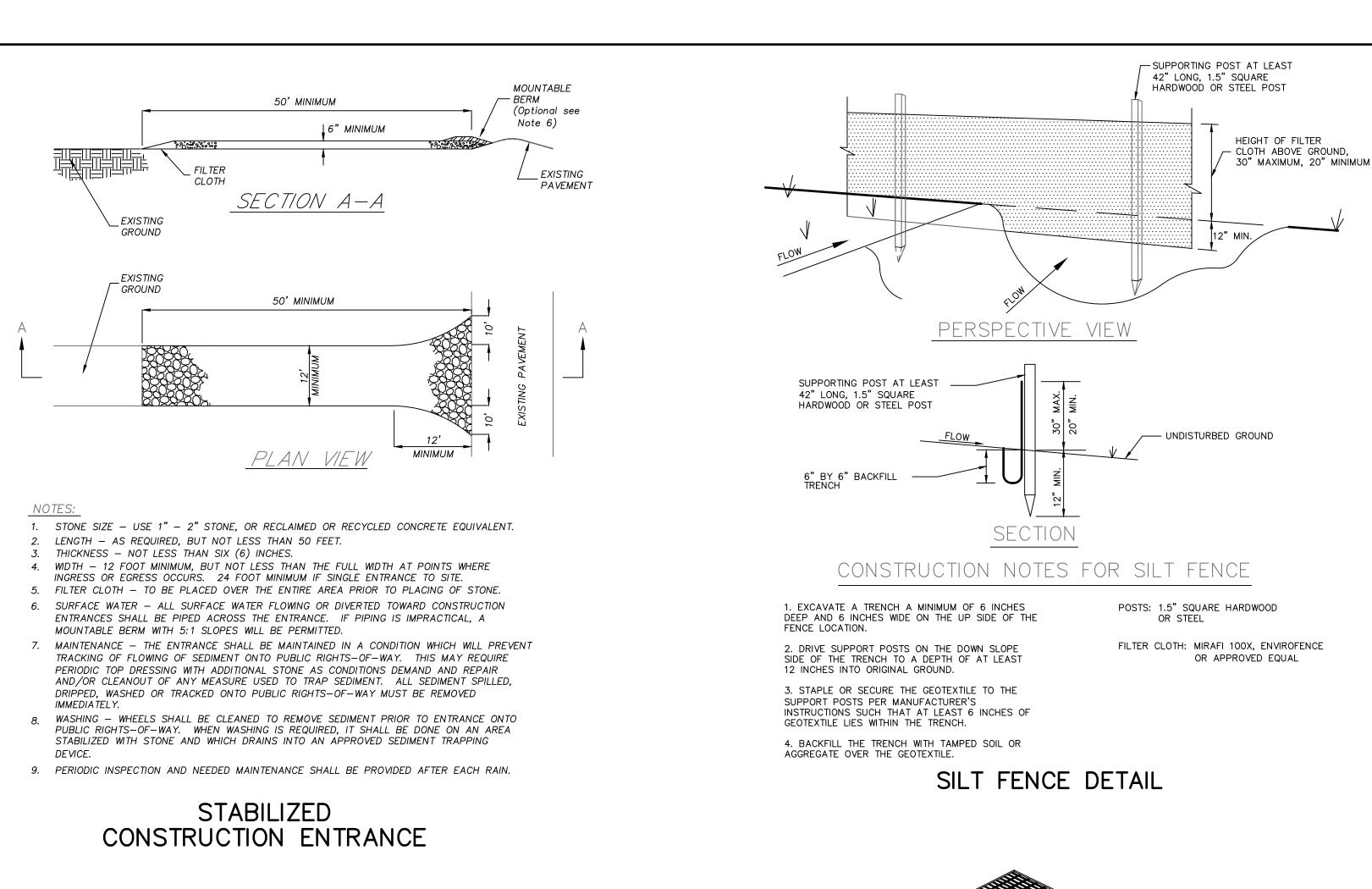


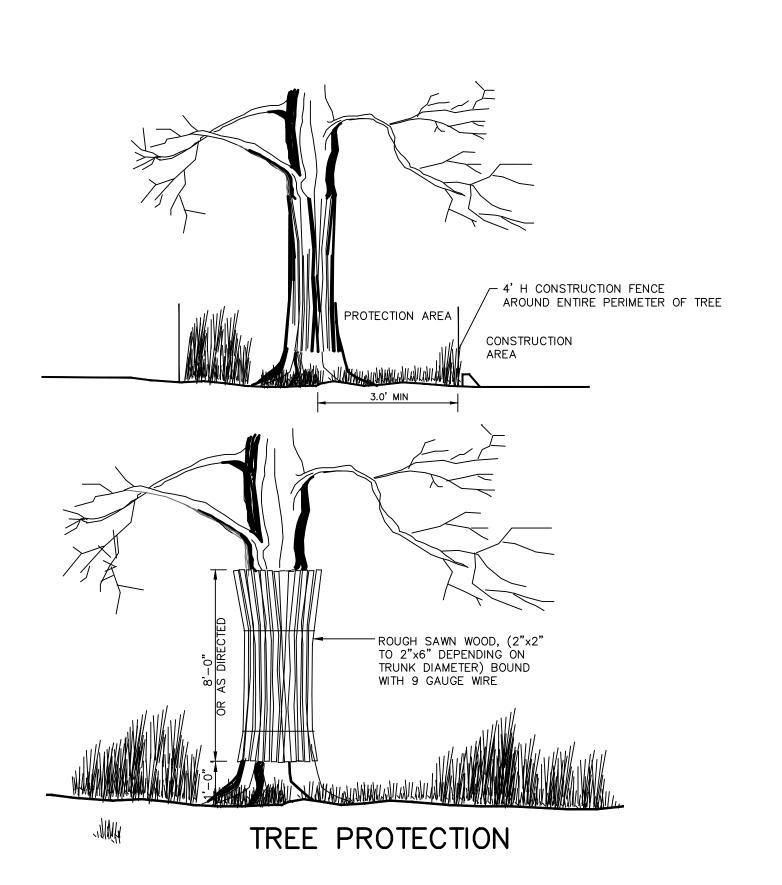


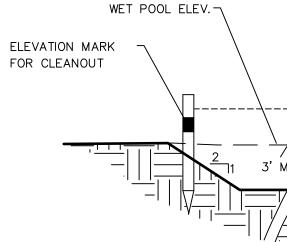
# DRAINAGE PROFILE CB-1 TO FLARED E.S. SCALE: 1"=40' HOR.

1''= 3' VER.







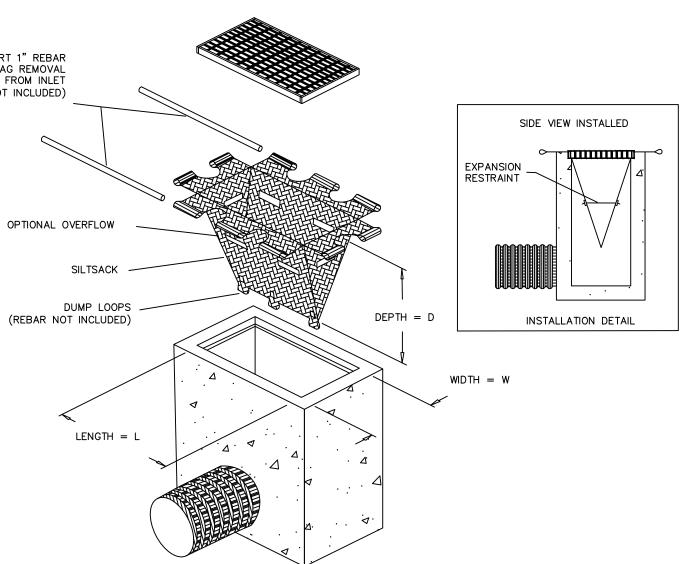


N. T. S.

INSERT 1" REBAR FOR BAG REMOVAL

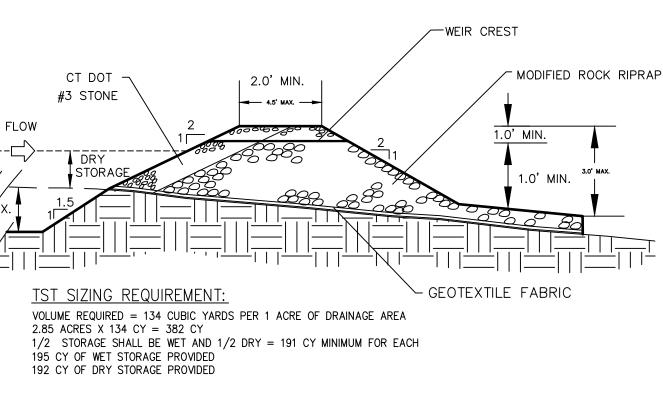
(REBAR NOT INCLUDED)

FROM INLET



# SILT SACK DETAIL

N. T. S.



TEMPORARY SEDIMENT TRAP STONE FILTRATION BERM N. T. S

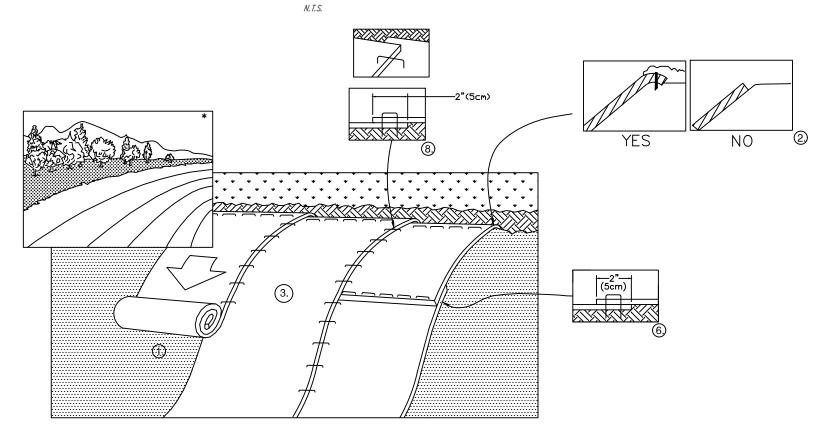
# .----.

STOCKPILE MANAGEMENT PER 2002 CT GUIDELINES FOR E & S CONTROL:

1. LOCATE STOCKPILE SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED.

2. DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE. 3. INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM PROPOSED TOE OF THE SLOPE. 4. THE SIDE SLOPES OF STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. 5. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. 6. AFTER STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED.

# TEMPORARY TOPSOIL STOCKPILE



INSTALLATION PROCEDURE

NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. 2. START UNROLLING THE FUTERRA F4 NETLESS 1-2' ABOVE THE SLOPE CREST.

3. ANCHOR TOP OF BLANKET ON 1' CENTERS

4. APPLY PINS OR STAPLES ALONG BLANKET LENGTH, ONE EVERY 2.5 LINEAR FEET. PLACE PIN OR STAPLE EVERY EVERY 5' DOWN CENTER OF BLANKET, CREATING AN X PATTERN WITH THE ANCHORING SYSTEM. 5. RAKE LOOSE SOIL OVER TOP EDGE ALONG BLANKET WIDTH. MOUND TO A MIN. HEIGHT OF 4".

6. OVERLAP SHINGLE STYLE A MAX. OF 2". ANCHOR ON 1' CENTER ACROSS THE ROLL WIDTH.

7. UNROLL THE NEXT BLANKET DOWN THE SLOPE. 8. OVERLAP ROLLS A MAX. OF 2". USE ONE PIN OR STAPLE EVERY 5'.

FUTERRA F4 NETLESS EROSION CONTROL BLANKETS MATERIAL: THERMALLY REFINED WOOD AND DEGRADABLE MAN-MADE FIBERS

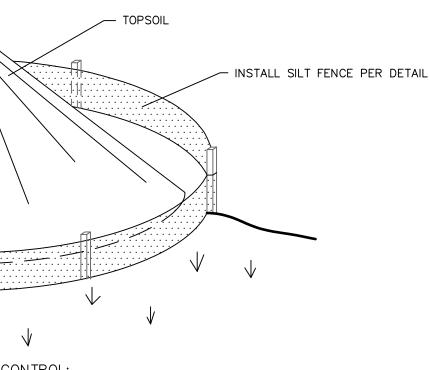
# CRITICAL POINTS OVERLAPS AND SEAMS PROJECTED WATER LINE CHANNEL BOTTOM/SIDE SLOPE VERTICES

# NOTE

SURFACE.

THE BLANKETS.

3. SLOPE CREST TRENCHING MAY BE SPECIFIED ON SOME PROJECTS. TOP EDGE WIDTH OF THE FUTERRA F4 NETLESS SHOULD THEN BE STAPLED OR STAKED IN THE TRENCH BOTTOM. BACKFILL AND COMPACT SOIL.IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS. 4. FUTERRA F4 NETLESS CAN BE APPLIED HORIZONTALLY ON SHALLOW SLOPES.\*



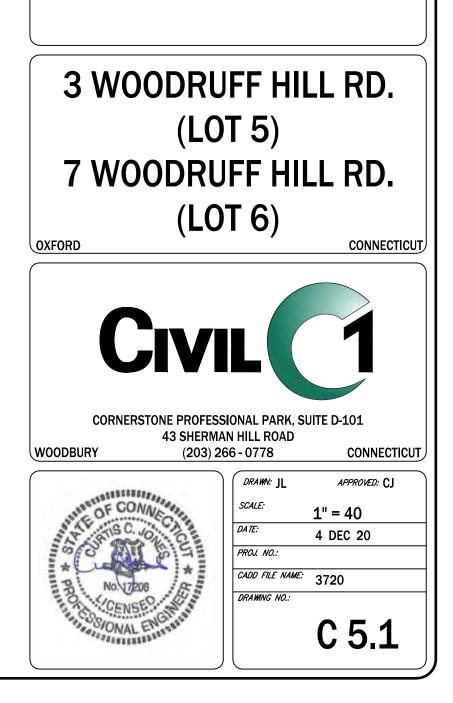
1. HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL 2. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR

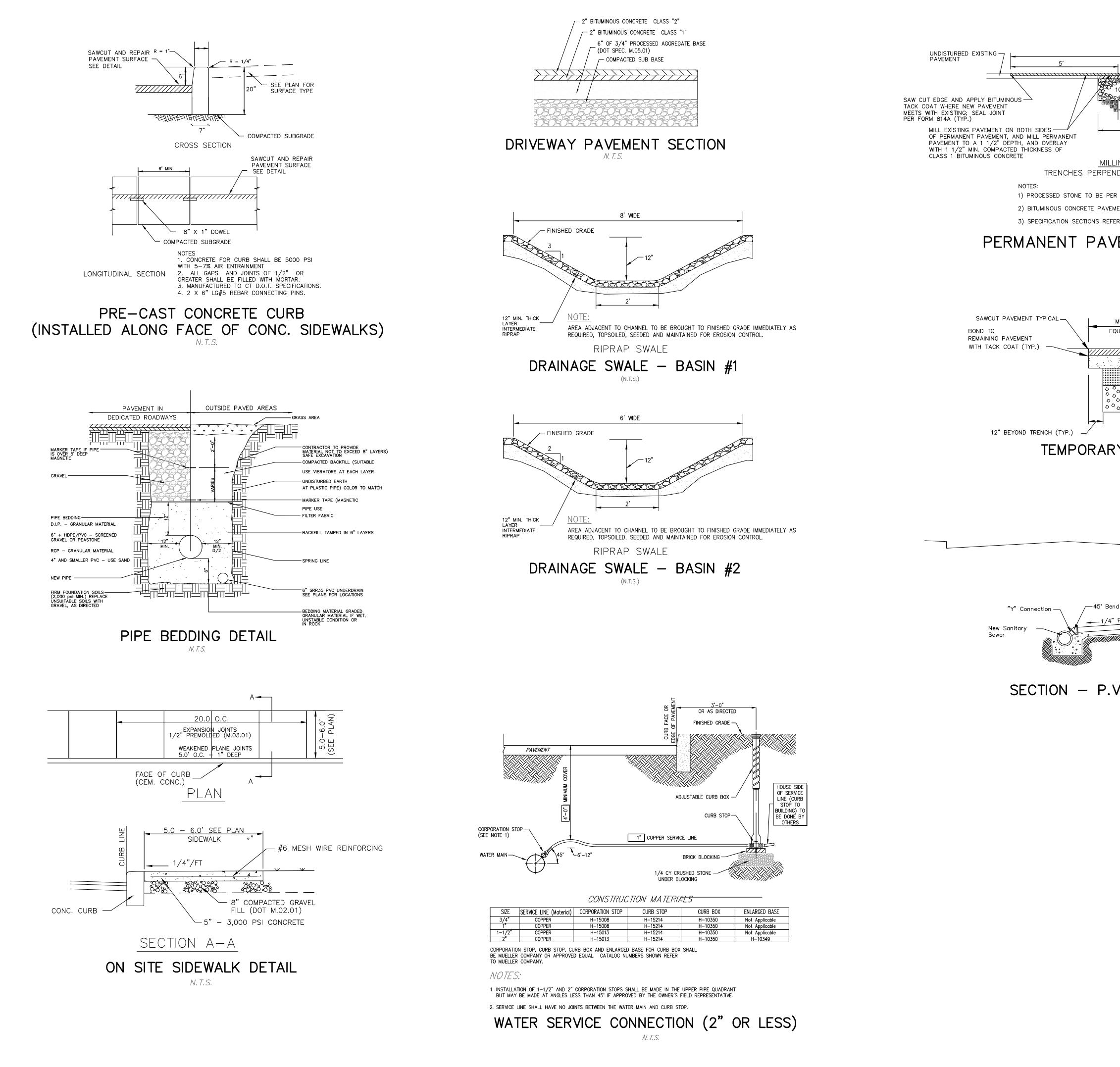


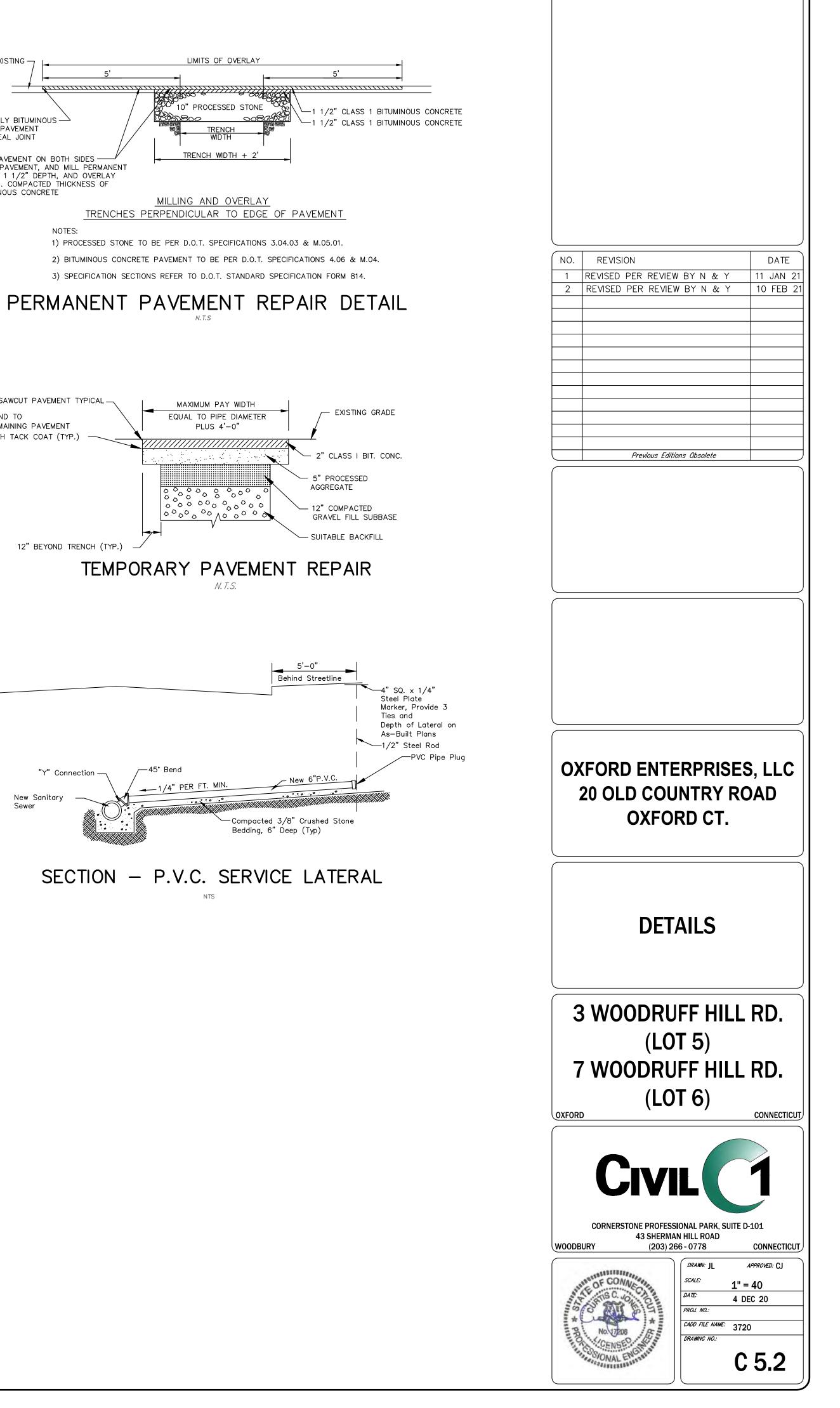
NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
	Previous Editions Obsolete	

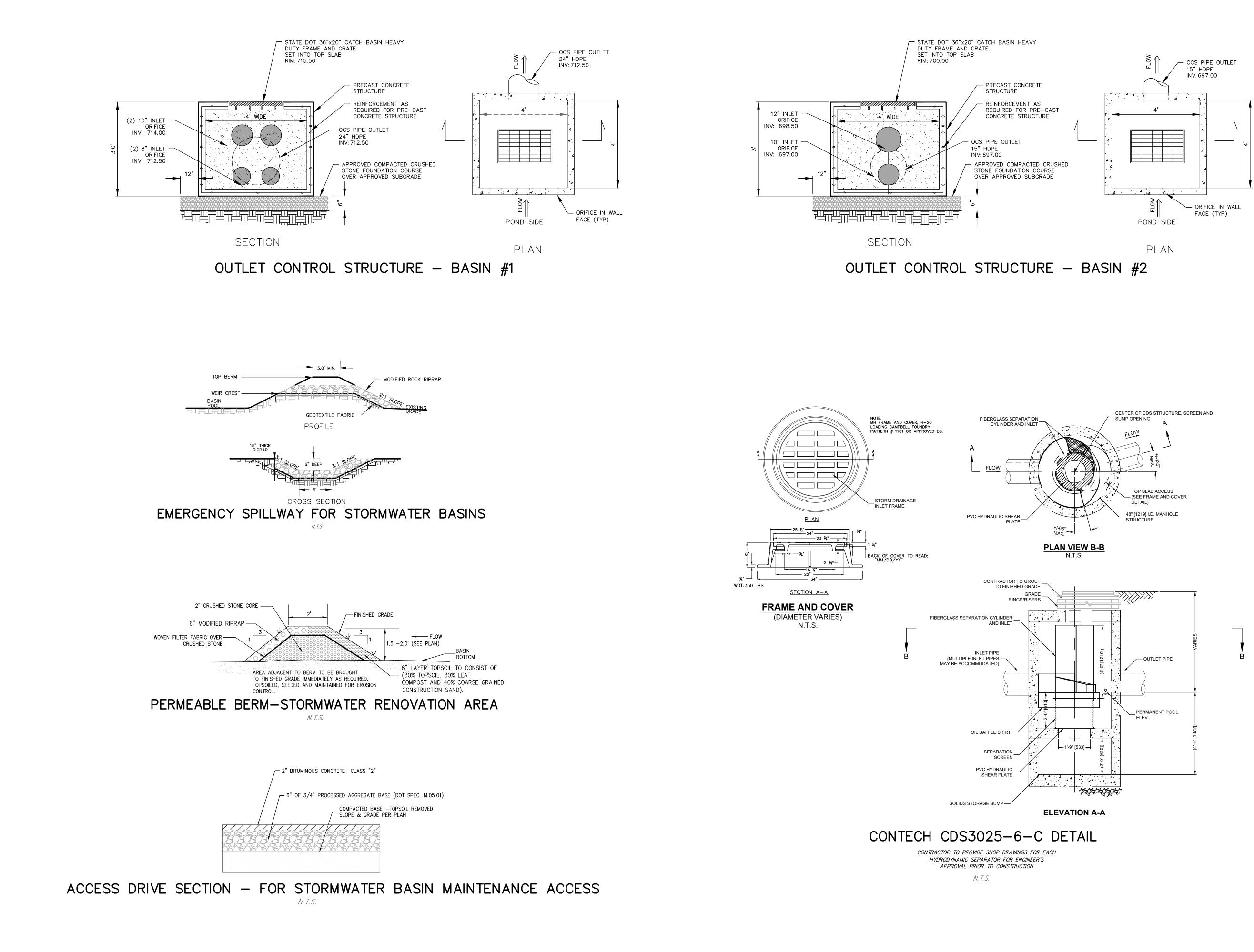
# **OXFORD ENTERPRISES, LLC 20 OLD COUNTRY ROAD OXFORD CT.**

# DETAILS







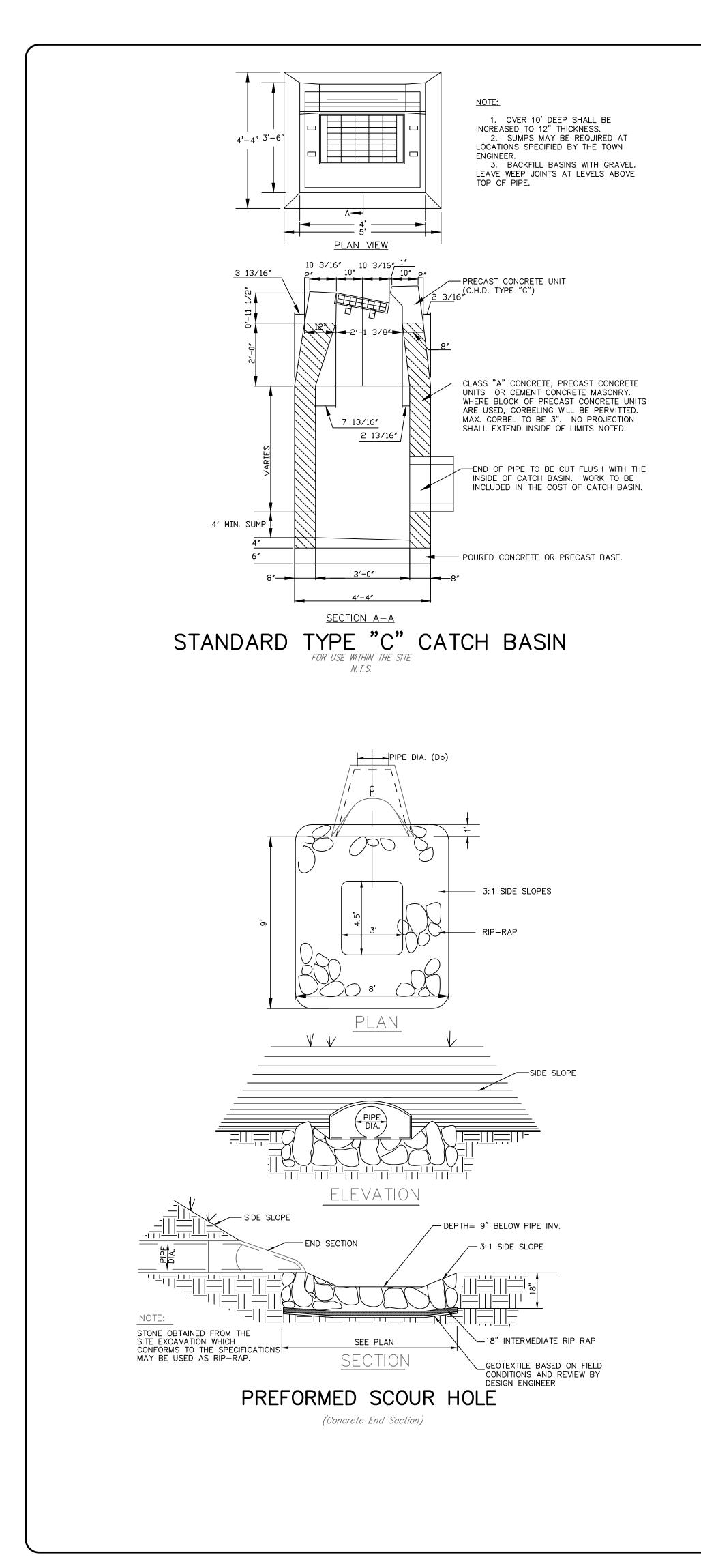


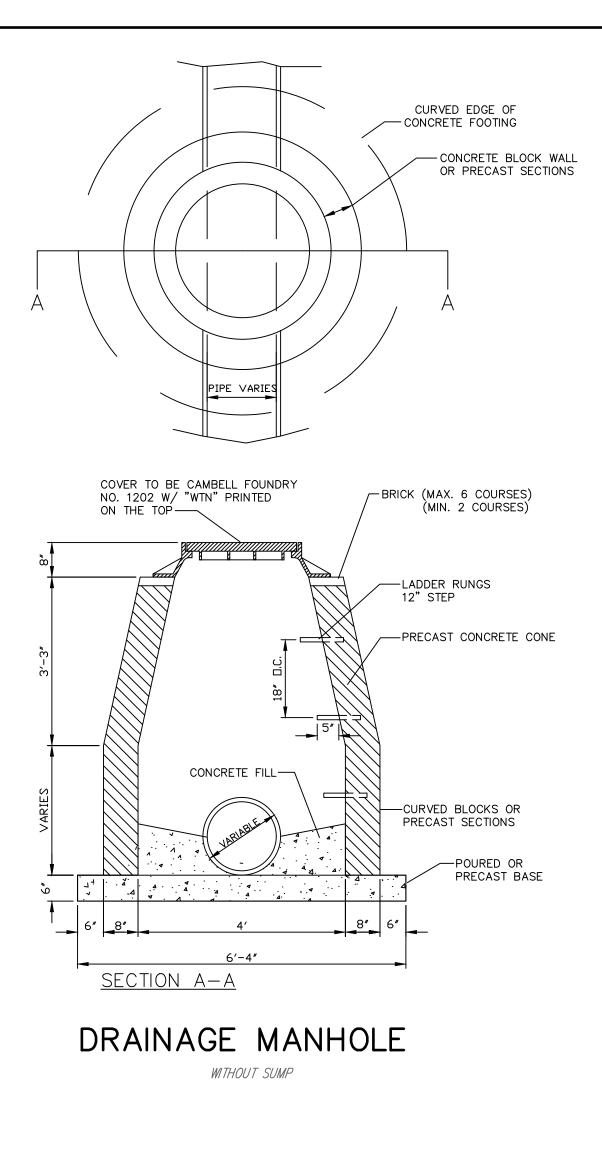
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NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
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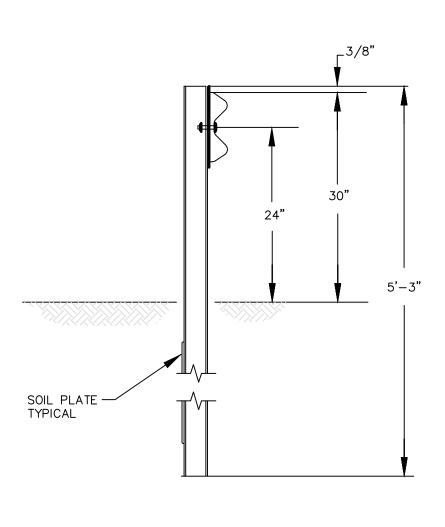
# **OXFORD ENTERPRISES, LLC** 20 OLD COUNTRY ROAD OXFORD CT.

# **STORMWATER BASIN** AND DETAILS



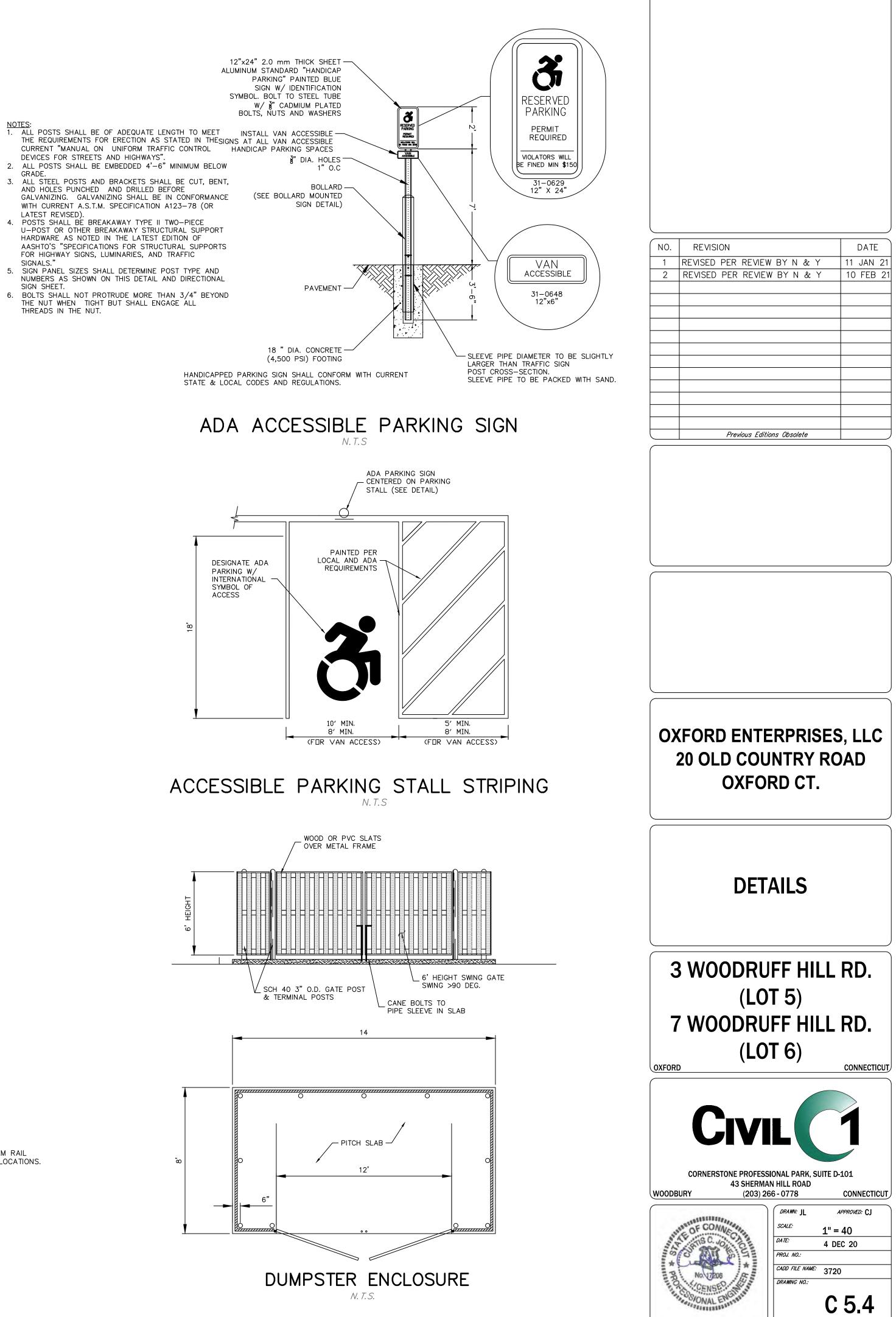




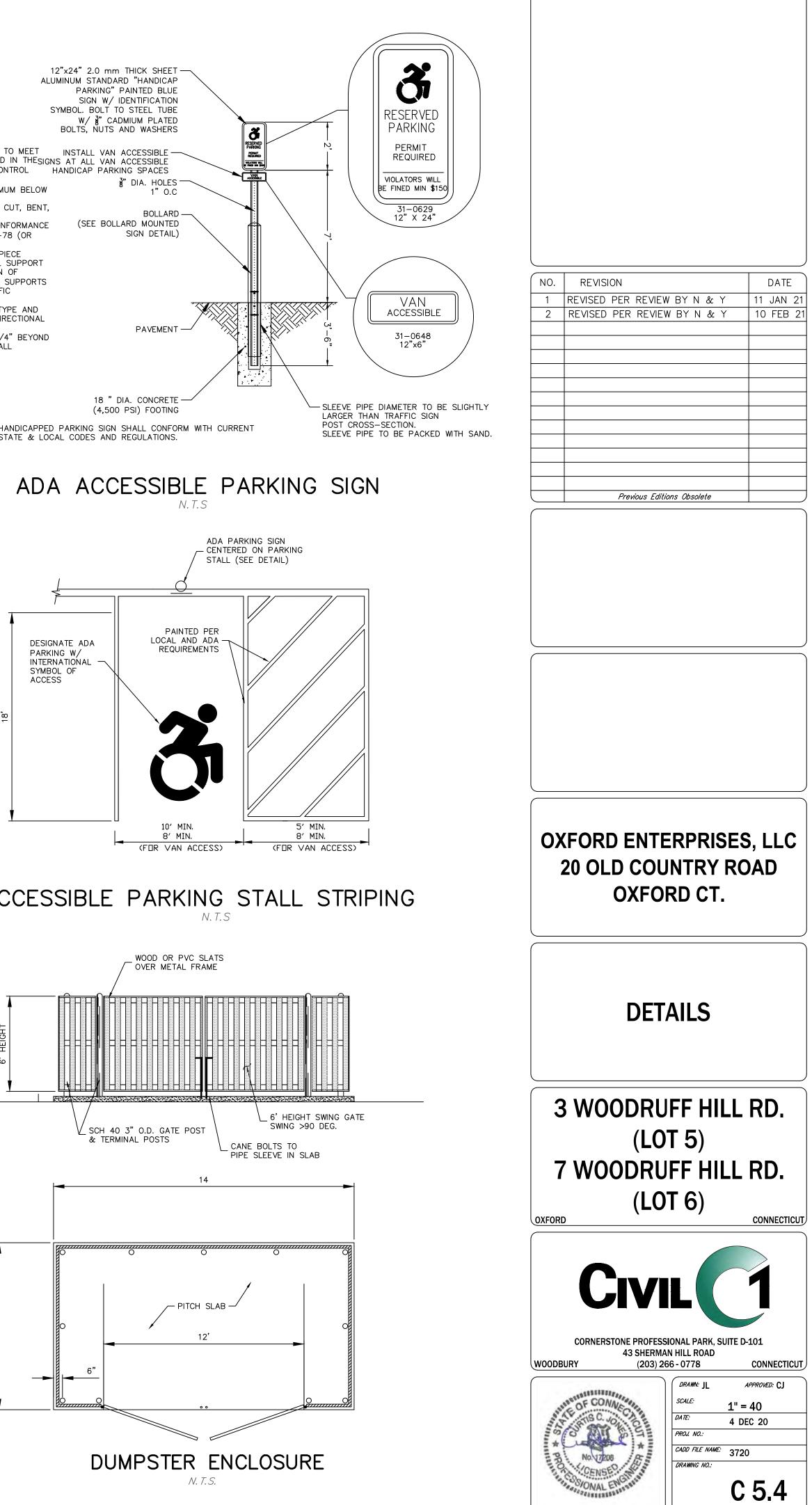


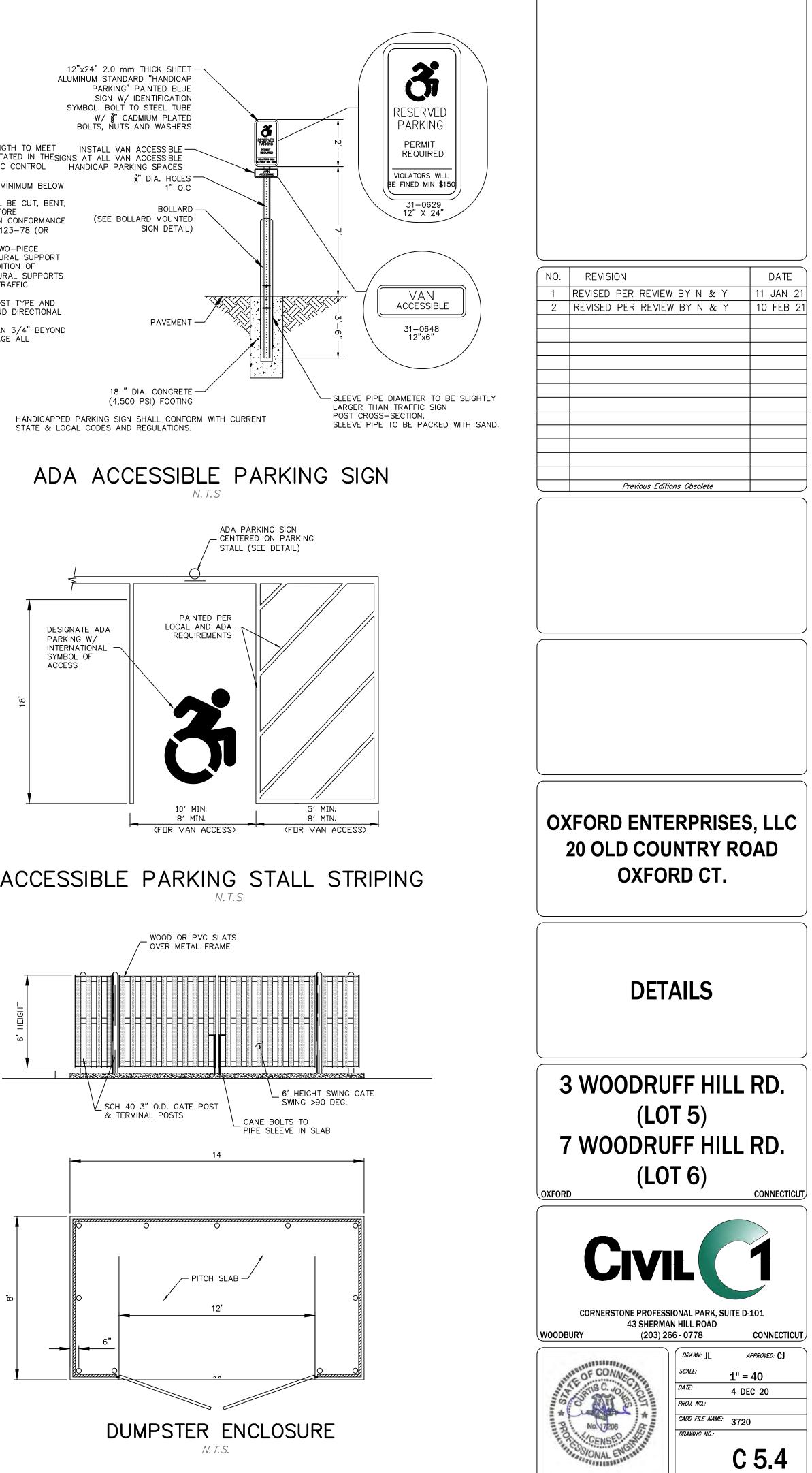
# W-BEAM STEEL GUIDE RAIL N. T. S.

AASHTO DESIGNATION G2 POST TYPE: POST SPACING: S3 x 5.7 STEEL 12 FT 12 GAGE W-BEAM BEAM TYPE: MAXIMUM DYNAMIC DEFLECTION: APPROXIMATELY 6FT-6IN. REMARKS: BARRIER AS SHOWN IS TL-2. TL-3 DESIGN IS 26 IN. TO CENTER OF RAIL WITH W-BEAM RAIL SPLICES LOCATED MIDWAY BETWEEN POSTS. A STEEL BACK - UP PLATE IS USED AT ALL POSTS LOCATIONS.



SIGN SHEET. 6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.





# GENERAL NOTES

The following general principles shall be maintained as effective means of minimizina erosion and sedimentation during the regrading process.

Stripping away of vegetation, regrading or other development shall be done in such a way as to minimize erosion.

Grading plans shall preserve important natural features, keep cut and fill operations to a minimum, and insure conformity with topography so as to create the least erosion potential and adequately handle the volume and velocity of surface water runoff.

Whenever feasible, natural vegetation shall be retained, protected and supplemented wherever indicated on the site development plan.

The undisturbed area and the duration of exposure shall be kept to a practical minimum. Disturbed soils shall be stabilized as quickly as possible.

Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development when expected to be exposed in excess of 7 days.

The permanent (final) vegetation and mechanical erosion control measures shall be installed as soon as practical during construction. Sediment in the runoff water shall be trapped until the disturbed areas is stabilized by

the use of debris basins, sediment basins, silt traps or similar measures. The lot shall be graded to drain and dispose of surface water without ponding.

Land disturbance will be kept to a minimum. Restabilization will be scheduled as soon

as practical. Not more than 5 acres will be disturbed at any one time. Haybale filters will be installed at all outlets and along the toe of all critical cut and fill slopes.

All control measures will be maintained in effective condition throughout the construction

The responsibility for implementing the erosion and sediment control plan will rest with the developer of record. He acknowledges that he is responsible for informing all concerned of the requirements of the plan, for notifying the planning administration of any transfer of responsibility.

Additional control measures will be installed during construction if necessary or required. Concentration of surface runoff shall be only permitted by piping and/or through drainage swales or natural watercourses.

Excavation and Fills --

Slopes created by cuts or fills shall not be steeper than 2:1 and shall be restabilized by temporary or permanent measures, as required during the development process. Erosion control blankets will be used on slopes in the vicinity of wetlands regulated areas and on additional slopes as needed.

Adequate provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surfaces of fills.

Cut and fills shall not endanger adjoining property.

All fills shall be compacted to provide stability of material and to prevent undesirable settlement. The fill shall be spread in a series of layers each not exceeding twelve (12) inches in thickness and shall be compacted by a mechanical roller or other approved method after each layer is spread.

Fill material shall be free of frozen material, sod, brush, roots, stumps and other organic material.

Fills shall not encroach on natural watercourses, constructed channels or regulated flood plain areas, unless permitted by license or permit from authority having jurisdiction.

Fills placed adjacent to natural watercourses, constructed channels or flood plains shall have suitable protection against erosion during periods of flooding.

Grading shall not be done in such a way as to divert water onto the property of another landowner without their express written consent.

During grading operations, necessary measures for dust control shall be exercised.

All erosion and sediment control measures will be constructed in accordance with the standards and specifications of the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (2002) - State of Connecticut DEP Bulletin 34.

# WETLAND REGULATED ACTIVITIES - LOT 5

THERE IS NO PROPOSED ACTIVITY WITHIN THE WETLANDS.

EARTHWORK IN 100 FOOT WETLANDS REGULATED AREA:

1) FOR CONSTRUCTION OF BUILDING AND ADJACENT GRADING: 10,220 SF

2) FOR IMPROVEMENTS, ACCESS AND CLEANING OF EXISTING STORMWATER BASIN: 15,265 SF

TOTAL OF 25,485 SF OF ACTIVITY = 0.59 ACRES IN THE 100 FOOT WETLANDS REGULATED AREA

405 CY CUT IN 100 FT WETLANDS REGULATED AREA

2,225 CY FILL IN 100 FT WETLANDS REGULATED AREA 1,820 CY OF NET CUT IN 100 FT WETLANDS REGULATED AREA

WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF SITE WORK

# WETLAND REGULATED ACTIVITIES - LOT 6

THERE IS NO PROPOSED ACTIVITY WITHIN THE WETLANDS.

EARTHWORK IN 100 FOOT WETLANDS REGULATED AREA:

1) FOR CONSTRUCTION OF BUILDING AND ADJACENT GRADING: 11,210 SF 2) FOR IMPROVEMENTS AND CLEANING OF EXISTING STORMWATER BASIN: 4,650 SF

TOTAL OF 15,860 SF OF ACTIVITY = 0.36 ACRES IN THE 100 FOOT WETLANDS REGULATED AREA

1,200 CY CUT IN 100 FT WETLANDS REGULATED AREA

60 CY FILL IN 100 FT WETLANDS REGULATED AREA

1,140 CY OF NET CUT IN 100 FT WETLANDS REGULATED AREA

WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF SITE WORK

# TOTAL EARTHWORK QUANTITIES - LOT 5

TOTAL EARTHWORK ESTIMATE FOR CONSTRUCTION ACTIVITIES: 101,392 SF OF ACTIVITY = 2.3 ACRES 3,050 CY CUT 6,250 CY FILL 3,200 CY NET FILL

# TOTAL EARTHWORK QUANTITIES - LOT 6

TOTAL EARTHWORK ESTIMATE FOR CONSTRUCTION ACTIVITIES: 113,765 SF OF ACTIVITY = 2.6 ACRES 4,220 CY CUT 1,020 CY FILL 3.200 CY NET CUT

# RESPONSIBILITY FOR THE PLAN

The responsibility for implementing and maintaining the Erosion and Sedimentation Control Plan rests with the OWNER, where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER shall be held responsible for informing all concerned regarding responsibility of the plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage, erosion and sedimentation control measures will therefore rest with the OWNER.

Whenever sedimentation is caused by stripping vegetation and/or grading, it shall be the responsibility of the person, corporation or other entity having responsibility to remove sedimentation from all lower properties, drainage systems and watercourses and to repair any damage at their expense as quickly as possible.

Maintenance of all drainage facilities and watercourses within any land development shall be the responsibility of the OWNER until they are accepted by the Town. All control measures will be maintained in effective condition throughout the construction period. Surface inlets shall be kept open and free of sediment and debris. The system shall be checked after every major storm and sediment shall be disposed of at an approved location consistent with the plan.

It shall be the responsibility of any person, corporation or other entity engaging in any act on or near any stream, watercourse or swale or upon the flood plain or right-of-way thereof to maintain as nearly as possible in its present state that same stream, watercourse, swale, flood plain or right—of—way for the duration of the activity and to return it to its original or equal condition after such activity is completed.

Maintenance of drainage facilities or watercourses originating and completely on private property shall be the responsibility of the OWNER to their point of open discharge at the property line or at a communal watercourse within the property.

No person, corporation or other entity shall block, impede the flow of, alter, construct any structure or deposit any material or thing or commit any act which affects normal or flood flow in any communal stream or watercourse without having obtained prior approval from the Town.

An adequate right-of-way and/or easement shall be provided for all drainage facilities and watercourses which are proposed either for acceptance by the Town or provided by other property owners for the convenience of the OWNER.

IN CASE OF AN EMERGENCY (e.g. severe flooding, rains, or other environmental problems): THE PARTY RESPONSIBLE AND THE TOWN'S WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED.

# SEEDING AND PLANTING REQUIREMENTS Seedbed Preparation

Fine grade and rake surface to remove stones larger than 2" in diameter. Install needed erosion control devices such as surface water diversions. Grade stabilization structures, sediment basins or drainage channels to maintain grassed areas. Apply limestone at a rate of 2 tons/Ac. or 90 Ibs/1000 SF unless otherwise required according to soil test results. Apply fertilizers with 10-10-10 at a rate of 300 lbs./Ac. or 7.5 lbs/1000 SF. At least 50% of the nitrogen shall be from organic sources. Work lime and fertilizer into soil uniformity to a depth of 4" with a whisk. springtooth harrow or other suitable equipment following the contour lines.

# Seed Application

Apply grass mixtures at rates specified by hand, cyclone seeder or hydroseeder. Increase seed mixture by 10% if hydroseeder is used. Lightly drag or roll the seeded surface to cover seed. Seeding for selected fine grasses should be done between April 1 and June 1 or between August 15 and October 15. If seeding cannot be done during these times, repeat mulching procedure below until seeding can take place or seed with a quick germinating seed mixture to stabilize slopes. A quick germinating seed mixture (Domestic Rye) can be applied between June 15 through August 15 as approved by the Engineer.

Immediately following seeding, mulch the seeded surface with straw, hay or wood fiber at a rate of 1.5 to 2 tons/Ac. except as otherwise specified elsewhere. Mulches should be free of weeds and coarse matter. Spread mulch by hand or mulch blower. Punch mulch into soil surface with track machine or disk harrow set straight up. Mulch material should be "tucked" approximately 2-3" into the soil surface. Chemical mulch binders or netting, in combination with the straw, hay or wood fibers, will be used where difficult slopes do not allow harrowing by machines.

Grass Seed Mixtures

Temporary Covers Permanent Covers Creeping Red Fescue Perennial ryegrass 20 lbs/Ac. Annual ryegrass 20 lbs/Ac. Canada Bluegrass

NOTE: ALL PLANTINGS ON SITE SHALL BE NATIVE, NON-INVASIVE SPECIES.



# CONSTRUCTION SEQUENCE

STEPS TO BE TAKEN TO PREVENT SILTING OF THE WETLANDS DURING CONSTRUCTION OF LOT 10 WOODRUFF HILL INDUSTRIAL PARK OXFORD, CONNECTICUT

THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

Field stakeout the limits of all construction activities.

Clear any existing vegetation within the construction area. All trees/shrubs less than 6" in diameter shall be chipped and stored on the site. Stumps shall remain in place and no arubbing shall occur until silt fence is installed.

Haybales and/or siltation fence and other erosion control features will be placed as shown on the enclosed plan prior to the removal of any stumps.

Remove any stumps from the area and install the anti-tracking pads.

At the end of each working day any accumulated silt shall be swept from the existing town roads.

Install initial erosion control measures including perimeter silt fence.

Use both of the existing Temporary Sediment Traps (TST) at the western side of the property during earth excavation.

This TSTs will be converted to permanent storm water renovation basin after the site is stabilized by installing an outlet structure and filter berm per the enclosed details.

Strip and stockpile any remaining topsoil and subsoil material outside of the wetlands regulated area.

Mass excavation of excess material will occur during this time. Rough grade site to subarade elevation.

Once the cuts and fills are complete and the site is brought to sub grade, all slopes loamed, seeded and mulched. Any 2:1 slopes greater than 15' in height will have erosion control blankets installed per the enclosed plans and details.

The storm drainage piping will now be installed. Haybales shall be placed around the catch basins to stop silt from entering the drainage system. Havbales shall also be placed in a semi-circular pattern around the discharge end of the drainage pipe to collect any silt that may temporarily enter the drainage system during construction. The haybales around the catch basins shall be kept in place until the parking area is paved and the haybales around the discharge end of the pipes shall be maintained until the area has sufficient ground cover to control erosion.

Excavate and pour foundation for building for Lot 5 (the southern building). Begin construction of building.

Install underground utilities, water main extension, water service laterals and sanitary sewer service lateral.

Place processed gravel on driveway and parking area for Lot 5.

Pave driveway and parking areas for Lot 5 with binder course. The final course will be installed after the building on Lot 6 is complete.

Excavate and pour foundation for building for Lot 6 (the northern building). Begin construction of building.

Install underground utilities, and water service lateral.

Place processed gravel on driveway and parking area for Lot 6.

Pave driveway and parking areas for Lot 6 with binder course. Place final course of pavement on the entire driveway and parking areas for Lots 5 and 6.

Provide temporary seeding measures on all exposed soils which were damaged due to construction activities and are not to be permanently restored or are outside of construction traffic zones for a period in excess of 7 days. Seed all disturbed areas.

Once the site is stabilized removed the temporary outlet structure from the TST, install the permeable water quality berm, clean all silt from drainage structures and the bottom of the storm water quality cell. Topsoil and seed the bottom and interior slopes of storm water quality cell

All erosion control measures are to remain in place until the site is permanently

The exact start time of construction is unknown, however the estimated construction time of the project is 270 days.

# SANITARY SEWER SPECIFICATIONS

1) ALL SANITARY SEWER IMPROVEMENTS MUST BE IN COMPLETE COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE SUPERVISION, MANAGEMENT, CONTROL, OPERATION, AND USE OF THE SEWERAGE SYSTEM FOR THE TOWN OF OXFORD, CONNECTICUT DATED JUNE 5, 2006 OR LATEST REVISION.

2) ALL GRAVITY SEWER PIPES WILL BE SIZED ACCORDING TO THE THESE PLANS. AND SHALL BE CONSTRUCTED OF PVC PIPING MEETING THE REQUIREMENTS OF SECTION 3.6.A OF THE RULES AND REGULATIONS FOR THE SUPERVISION, MANAGEMENT, CONTROL, OPERATION, AND USE OF THE SEWERAGE SYSTEM FOR THE TOWN OF OXFORD, CT

3) SANITARY SEWER MANHOLES SHALL BE PLACED AS SHOWN ON THESE PLANS, AND MUST MEET THE REQUIREMENTS OF SECTION 3.17 OF THE TOWN OF OXFORD SEWERAGE REGULATIONS.

4) SANITARY SEWER PIPING AND PUBLIC WATER PIPING MUST HAVE A MINIMUM SÉPARATION DISTANCE OF 10 FEET WHEREVER POSSIBLE.

5) IF THE TOWN OF OXFORD WPCA DEEMS NECESSARY, LEAKAGE TESTING OF THE GRAVITY SEWERS WILL BE PERFORMED IN COMPLIANCE WITH SECTION 3.20 OF THE TOWN OF OXFORD SEWERAGE REGULATIONS.

As a condition of an inland wetlands permit, all commercial/industrial establishments in close proximity to a wetland or watercourse, shall establish a litter control program, to include litter cleanup encompassing the entire site, both paved and vegetated areas, and such clean-up shall be performed on a weekly basis and further any storm water control structures such as catch basins, sumps, vortechnic units, oil & water separators, retention/detention ponds, level spreaders, etc. shall be cleaned and inspected on an annual basis. A signoff sheet will be established and kept current which shall include the date and time of the litter pickup and the signature of the person performing the cleanup. This signoff sheet will be available to Inland Wetlands staff, Commissioners, and their agents.

# EMERGENCY SPILL PLAN

A spill is defined in the Connecticut General Statute 22a- 452c. For practical purposes, any oil or petroleum products, chemical or waste that is released in any manner constitutes a spill. In the event of an emergency spill, the following steps shall be taken: Contact the State of Connecticut Department of Environmental Protection Oil & Chemical Spill Response Division at (860) 424- 3338 immediately. Contact the First Selectman's office in Oxford at 888- 2543. The spill shall be contained immediately.

# MAINTENANCE PLAN FOR TEMPORARY SEDIMENT TRAP

All maintenance of the temporary sediment trap shall be performed in accordance with the 2002 CT Guidelines for Soil Erosion and Sediment Control:

Inspect the temporary sediment trap at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater. Check the outlet to ensure that it is structurally sound and has not been damaged by erosion or construction equipment. The height of the stone outlet should be maintained at least 1 foot below the crest of the embankment. Also check for sediment accumulation and filtration performance.

When sediments have accumulated to one half the minimum required volume of the wet storage, de-water the trap as needed, remove sediments and restore the trap to its original dimensions. dispose of the sediment removed from the basin in a suitable area and in such a manner that it will not erode and cause sedimentation problems.

# MAINTENANCE PLAN FOR STORM DRAINAGE SYSTEM

Semi-Annual: be mowed more frequently. be allowed to remain.

Annual:

Annual:

Catch basins, the oil/water separator and storm drainage piping will be inspected on an annual basis. Any floatables, trash, debris or sediment build up shall be removed by a licensed contractor. The hydrodynamic separator shall be maintained in accordance with the manufacturer's recommendation.

RESPONSIBILITY:

have occurred.

# LITTER CONTROL NOTES

STORM WATER RENOVATION BASINS:

1. Cut or mow grass lined slopes. Grass areas adjacent to the proposed driveway may 2. Inspect for and remove invasive vegetation.

3. Clean and remove debris from inlet and outlet structures. 4. Remove trees from the berm of renovation areas, only shrubs and grasses should

1. Inspect outlet of the stormwater renovation basin. Remove sediment once it has built up to a depth of 2" or greater near the outlet. Inspect inlet of storm water renovation basin. Once any forebay area has sediment build up within 6" of the top of the forebay should be cleaned out (i.e. 6-8" of sediment build up). CATCH BASINS, HYDRODYNAMIC OIL/WATER SEPARATOR AND STORM PIPING:

The on-site catch basins, the oil/water separator and the storm water quality basin and all aspects of the storm drainage system must be maintained in good working condition in accordance with the intent of these site plans.

The land owner will be responsible for the long term maintenance of the storm drainage system as listed above. Maintenance reports indicating that the system has been maintained in accordance with the intent of the plan shall be submitted to the Town Land Use Offices on a semi-annual basis after the maintenance & inspections

NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
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# **OXFORD ENTERPRISES, LLC 20 OLD COUNTRY ROAD OXFORD CT.**

# **EROSION CONTROL** NARRATIVE AND PROJECT NOTES



PLANNING & ZONING COMMISSION TOWN OF OXPORD 486 Oxford Road Oxford, CT 06478 (203) 888-2543

11: 2-21-	015
Date Rec'd:	
Date on Agenda:	
65-Day Expiration:	

Z.B.A. W.P.C.A.

Floodplain Copy of Deed

Driveway

Plot Plan \*

Other

1000

**Brosion Control Plan** 

Town Fee State Fee Total Fee

ZOWING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

	20LDWELL FI			
Street Address: 276-1 ( Subdivision Name: OTC Map: 34 Block: 9 Lot:	Date	Approved:		Purpose
Owner/Applicant Owner Name: Oxford Ru Owner Address: 220-2F M Owner Telephone: 203 8288 Applicant Name: <u>Sam</u> Applicant Address: <u>Applicant Telephone</u> : <u>Sam</u>	-EIEI	Ford		Garage Cottage Business Swimming Pool IG AG Sign Shed Barn Change of Use Excavating/Filling Trailer Other FIGAL
Miscellaneous Information	Q-QYethor B-Q-Yethor B-GH (G-B	LE Chancel		Use
Special Exception: Article Site Plan Approval: Article Estimated Cost of Construction: Variance Granted:	Section	Yes		Single-Pamily Residence Multi-Pamily Residence Commercial Industrial Residential/POD Other
Signatures/Authorization Application for Zoning Permit ap Oxford Planning & Zoning Commiss enter the property for the purp	sion and its technica	l staff are au	thorized to	Required Approvals and Dates

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

ZRan	2/5/21
Property Owner or Agent	Date

*Draw plot plan of proposed construction and attach.	Plan must show property boundaries and dimensions; location of proposed buildings on property with
respect to boundaries; location of existing buildings	on property; outside dimensions of all buildings proposed or now existing; location of water
	ave a complete sketch. Construction and use must be exactly as described in this application. If
later changes from this plan are desired prior approv.	al of an amended application is necessary.

Denied	Approved	By: Title:	Sling	ly	 Date: 2	521	ZPA-1
Reason	for Denial		****	ZED	 	naannaa tagan daga naadh e e a	(Adopted 5/15/97)

White - Paz Files / Yellow - Building Department / Pink - Applicant

TOWN OF OXFORD         S.B. Church Memorial Town Hall         S.B. Church Memorial Town Hall         Association of the second colspan="2">Application #: Z=21=C         Date:	
486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov Application #: Z-D_1-C Date: STATEMENT OF USE Article 11, Section 2 Property Address: 216-1 Oxford Adzone: VCMVD Map: 34 Block: 9 Lot: 26 Bdd: D H -102 Name and Address of Owner: Oxford Towne Centor LLC, 220-2F Main S Name and Address of Applicant: Realogy/CoHWell Banker, 276-07 Oxfor Name of Proposed Business: O/UWell Banker, Pealty Oxfor Number of Employees: 15 List Hazardous and/or Chemicals Material on site: Note: Dote: Dot:: Dot:: Dot:: Dot:: Dot	
www.Oxford-CT.gov         ning and Zoning Commission         Application #: Z-21-C         Date:         STATEMENT OF USE         Application #: Z-21-C         Date:         J. J. J. C. Date:         STATEMENT OF USE         Article 11, Section 2         Property Address:         Property Address:         2 H-102         Name and Address of Owner:         Oxford         Total square Footage:         1280         Hours of Operation:         8130-51.30         Number of Employees:         15         List Hazardous and/or Chemicals         Material on site:         Name         Provide Approval from:         PDH         Fire Marshal         Other	
Application #:	• ••• .
Application #:	
Application #:	3
Date:	
Article 11, Section 2         Property Address: 216-1 0xford Rdzone: VCMVD_Map: 34 Block: 9 Lot: 26         Bldg. ID H-IOZ         Name and Address of Owner:         Oxford Towne Center LLC, 220-2F Maily S         Name and Address of Applicant:         Realogy/Control Restrict Structure         Name and Address of Applicant:         Realogy/Control Restrict Structure         Name of Proposed Business:         0         10         Name of Proposed Business:         0         1280         Hours of Operation:         8:30-5:30         Number of Employees:         15         List Hazardous and/or Chemicals Material on site:         Noter         Provide Approval from:         PDDH         Fire Marshal         Other	
Article 11, Section 2         Property Address: 216-1 0xford Rdzone: VCMVD_Map: 34 Block: 9 Lot: 26         Bldg. ID H-IOZ         Name and Address of Owner:         Oxford Towne Center LLC, 220-2F Maily S         Name and Address of Applicant:         Realogy/Control Restrict Structure         Name and Address of Applicant:         Realogy/Control Restrict Structure         Name of Proposed Business:         0         10         Name of Proposed Business:         0         1280         Hours of Operation:         8:30-5:30         Number of Employees:         15         List Hazardous and/or Chemicals Material on site:         Noter         Provide Approval from:         PDDH         Fire Marshal         Other	
Bldg. ID       H-102       Oxford       Towne Center UC, 220-2F       Maily S         Name and Address of Applicant:       Realogy/CollWell Banker, 276-07 Oxf         Name of Proposed Business:       O/dWell Banker, Pealty       Oxfor         Name of Proposed Business:       O/dWell Banker, Pealty       Oxfor         Total Square Footage:       1280       0         Hours of Operation:       8:30       5:30         Number of Employees:       15         List Hazardous and/or Chemicals       Material on site:       None         Provide Approval from:       PDDH       Fire Marshal       Other	
Name and Address of Applicant:       Realogy/CoHWell Basker 276-070000000000000000000000000000000000	
Name and Address of Applicant:       Realogy/CoHWell Basker 276-070000000000000000000000000000000000	7.On
Name of Proposed Business:       Order Basker Realty       Order         Total Square Footage:       1280       Order         Hours of Operation:       8:30-5:30       Order         Number of Employees:       15       Order         List Hazardous and/or Chemicals       Material on site:       None         Provide Approval from:       PDDH       Fire Marshal       Other	16478
Total Square Footage:       1280         Hours of Operation:       8:30 - 5:30         Number of Employees:       15         List Hazardous and/or Chemicals Material on site:       None         Provide Approval from:       PDDH         Fire Marshal       Other	ORD
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Number of Employees:       15         List Hazardous and/or Chemicals       Material on site:       None         Provide Approval from:       PDDH       Fire Marshal         Other	647
List Hazardous and/or Chemicals Material on site: <u>None</u> Provide Approval from: PDDH Fire MarshalOther	
Provide Approval from: PDDH Fire Marshal Other	.;
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T (any neces) security that I (we) are making this application on behalf of and with full authority of the owner(s) of the	
property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned	
hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of	
construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State	

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

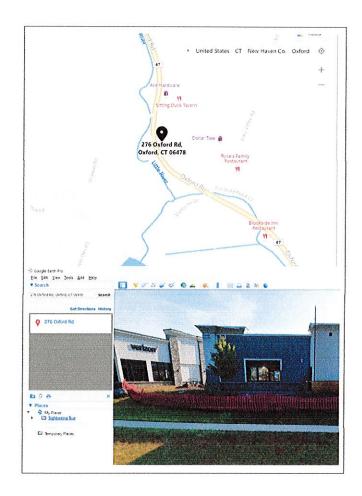
		2/3/2021
Applicant's Signature		Date
	ì	
Dan Brady		

Coldwell Banker Regional Vice President

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	(PAR	<b>T</b> 1)
	<b>REQUIRED CONST</b>	RUCTION APPROVALS
1) Applicant :	XFORD TOWL CET	in UC
Property Address	: 276-1 OxFori	DED H-102 COLDWELL FITCH
Permit Use:		
Subdivision Lot	#:	_ Zone:
		IN NUMERICAL ORDER epartment. If changes are made to the plans after an abmitted to all prior departments for re-approval.
2) To be filled out Street Address:	by Tax Assessor: 276-1 Ovford Ro	Map: <u>34</u> Block: 9 Lot: 26
Signature of Assess	sor: Jare Soursa	Date: 1/11/2021
	t by Tax Collector: Ta	
Signature of Tax C	ollector: Ally Sch	Lenne Date: 1/11/2021
4) To be filled out	t by P.D.D.H. or W.P.C.A.	
	Signature:	Date: 2-5-24
5) To be filled out	t by Inland / Wetlands	OF EXISTING
	Signature : 14.50	DATE Date: 1 11 7-1
	I/W Permit Number:	
6) To be filled out	t by Driveway Inspector:	
Plan Date:	Signature : veway Permit Number:	Date :
	t by Zoning Enforcement Offic タ サ	
Plan Date :	Signature : Sty	Date: $2/5/2/$ Aquifer Protection Area: Y or N
		vay exceeds 500 ft) (If applicable):
Plan Date :	Signature :	Date :
	t by Fire Marshal for Building	
		Date :
9) To be f	illed out by Building Official:	
<i>)</i>		
Plan Date :	Signature :	Date :

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Revised 4/16/09 P:\adminupdates\ADMINISTRATIONLAND USE\Permit Procedure 2.doc





# COLDWELL BANKER REALTY

OFFICE LOCATION

276 Oxford Road Oxford CT 06478



Washington Ave tadt, NJ 07072 mas Acosta

1 800 203 0301 f 201 528 6890 m 917 807 5812 e infogvos-nc.com www.vgsonline.com facosta@vgs-in0.com

**JANUARY 26 2021** 





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APPROVED DRAWINGS must be returned signed & doted by Client (or Authorized Ag	
Signature	Date







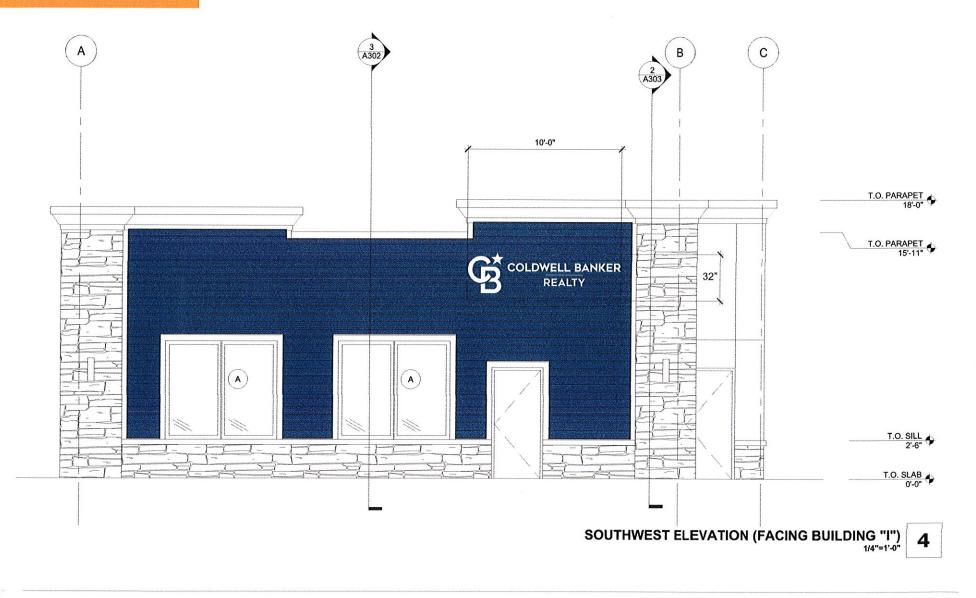
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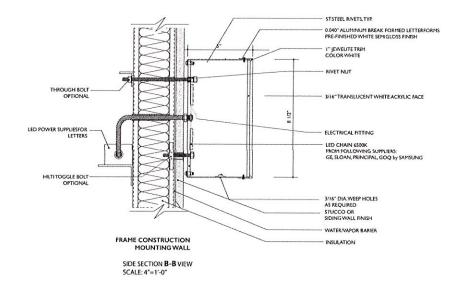
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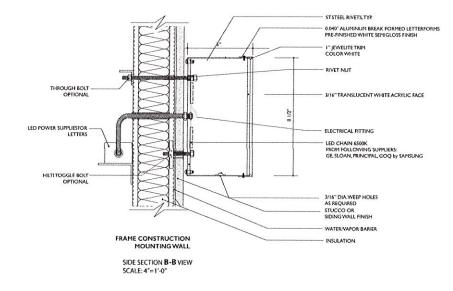
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COLDWELL BANKER REALTY DATE: JANUARY 26 2021 REV #: 1

APPROVED DRAWNINGS must be returned to Visual Graphic Systems Inc. signed & dated by Client (or Authorized Agent) before fabrication will begin		
Signature	Date	



# East Coast Car Care



52A Donovan Rd Oxford, CT 06478 203-888-4056 Hours of Operation - Mon.-Fri. 8 a.m. to 5 p.m., Sat. 8 a.m - 1 p.m. Thank you for your business.

Page:		9/2021 12:20:23 PM Repair Order #39356			1/29/2021 12
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# MCSHERRY LAW OFFICE 38 Fairview Avenue Naugatuck, CT 06770

203-723-6609	mcsherrylaw <u>office@yahoo.com</u>
	ivoice
Town of Oxford S. B. Church Memorial Town Hall Land Use-486 Oxford Road, Oxford, CT 06478-	298
\$190.00 per hr Land Use Invoice	
1/4/2021 Phone Call with Dave Sauter Zoning, S prior to meeting of 1/5/2021	ubdivision, Issues .25hrs
1/5/2021 Review of Riverview Subdivision resea Cady v ZBA Burlington, Preparation and Attenda Planning & Zoning	
1/14/2021 Review of Complaint of 110 Hawley I	Road 1.0
1/15/2021 Phone conference with Chair of the P& re complaint, Riverview Subdivision	Z Commission issues .5 hr
1/18/2021 Research/ Correspondence 110 Hawle	y Road 2.0 hrs
1/21/2021 Perkins Road Lot Access Research/Pro	ep 0.5 hrs
1/22/2021 Meeting with ZEO Atty Tuccio/Lot ov	vner Perkins Rd 1.0 hrs
1/25/2021 Appearance Case Review 4 Cases Tim Werden, TCB	berlake (2), 1.0hrs

	1.0 hrs
1/28/2021 Timberlake Cases Conference Attorney Christopher Smith	
resubmittal Permit Inland Wetlands, Planning and zoning	. <u>75 hrs</u>
	9.5hrs

9.5hrs x \$190.00 =

Total \$ \$1,805.00

Make Check Payable to McSherry Law