



**TOWN OF OXFORD
PLANNING & ZONING COMMISSION**
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning & Zoning Commission
Regular Meeting Agenda
Tuesday, March 2, 2021
7:30 PM - Online/Virtual Meeting

The Planning & Zoning Commission will meet remotely on **Tuesday, March 2, 2021, at 7:30 PM.**

Members of the public and applicants that would like to join us online can access the meeting using the following information:

Join Zoom Meeting:

<https://us02web.zoom.us/j/3942397953?pwd=bIZlS1NHYlBJcmROTjFFdlpjWnJzZz09>

Meeting ID: 394 239 7953

Passcode: 6yrtBB

One tap mobile:

+ 1 646 558 8656

Dial by your location:

+1 646 558 8656

Meeting ID: 394 239 7953

Passcode: 116891

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. SEATING OF ALTERNATES

V. PUBLIC HEARINGS

A. Recessed Public Hearings – NONE

B. New Public Hearings- NONE

C. Future Public Hearings – NONE

VI. REGULAR MEETING BUSINESS

A. Amendments to the Agenda – NONE

B. Audience of Citizens – (Items not listed on the Agenda)

C. Correspondence

D. Old Business – Matters on which a Public Hearing was held – NONE

E. Old Business – Other Matters

1. **Z-21-012 [IND] – 3 Woodruff Hill Road, aka Lot 5 - Owner:** Town of Oxford –
486 Oxford Road, Oxford, CT - **Applicant:** Oxford Enterprises, LLC, 20 Old Country Road, Oxford,
CT (Site Plan Application)
2. **Z-21-013 [IND] – 7 Woodruff Hill Road, aka Lot 6 - Owner:** Town of Oxford –
486 Oxford Road, Oxford, CT - **Applicant:** Oxford Enterprises, LLC, 20 Old Country Road, Oxford,
CT (Site Plan Application)

F. New Business – Schedule a Public Hearing – NONE

G. New Business

1. **Z-16-028 [RGCD] – Oxford Greens Phase 4 East – Owner & Applicant:** Timberlake Investment
Partners, IV, LLC (*Request for Extension of Expiration Date*)
2. **Z-02-267 [RESA] – Mountain Road Estates, LLC – Great Hill Road (Meadowbrook Estates) – 55+
Residential Community (*Final Bond Release Request*)**
3. **Z-19-328B [COMM] – 308 Oxford Road – Owner:** Little River Associates, Walter Archer –
Applicant: New England Young at Heart, Elaine Marcucio (*Use Permit*)

H. Zoning Enforcement

I. Minutes

1. 2/2/21 - Regular Meeting Minutes
2. 2/16/21 – Regular Meeting Minutes

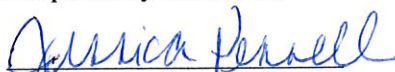
J. Invoices

K. Other Business

- a. Any other business the Commission deems necessary for discussion.
- b. Moose Hill Estates Requests – Awaiting Review/Response from Legal Counsel
- c. Riverview Subdivision – Request from Horbal & Judson – Referred to Attorney Kevin McSherry

L. Adjournment

Respectfully submitted,


Jessica Pennell, Coordinator
Planning & Zoning Commission

21 MAR - 1 AM 9:41
TOWN OF OXFORD, CT
Margaret A. West
TOWN CLERK

March 1, 2021

Town Land Use Office
Oxford Town Hall
486 Oxford Road
Oxford, CT 06478

Re: Land Use Applications
Lots 5 & 6 Woodruff Hill Industrial Park
Tax Map 25 Block 22 Lot 13-5 and Lot 13-6
#3 & #7 Woodruff Hill Road
Oxford, CT

To whom it may concern –

Due to a clerical error the applications and Site Plans that have previously been submitted under the name “Oxford Enterprises, LLC” actually need to be revised to the name “Oxford Industries, LLC”. Attached please find a revised set of Site Plans with a revision date of 2-25-21 with the corrected applicant’s name to be included in the files for both the Conservation Commission / Inland Wetlands Agency and the Planning & Zoning Commission.

If the Conservation Commission / Inland Wetlands Agency or the Planning & Zoning Commission has any questions regarding the above-mentioned project they may contact Brian Baker, P.E. of Civil1 at 203-266-0778 x 103.

If you need to contact me directly, I can be contacted at 203-893-5155.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'D. Bouchard', with a long horizontal flourish extending to the right.

Darin Bouchard - Applicant
Oxford Industries, LLC
20 Old Country Road
Oxford, CT 06478



TOWN OF OXFORD
 S.B. Church Memorial Town Hall
 486 Oxford Road, Oxford, Connecticut 06478-1298
 www.Oxford-CT.gov

Planning and Zoning Commission

Z#:	_____
Date Received:	_____
Date Accepted:	_____
Date on Agenda:	_____
65 Day Exp.:	_____
Extension:	_____
2 nd Extension:	_____

*** Please Note:**

- Read Instructions Thoroughly Before Completing Form
- This form Must Be Completely Typewritten or Legibly Printed in Ink

1) **APPLICATION:** This is an application for: *(Check the ones that apply)*

- | | | |
|---|---|--|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Resubdivision | Total Number of Lots: _____ |
| <input type="checkbox"/> Zone Change | <input type="checkbox"/> Special Exception | S/E (Include Article & Section No.): _____ |
| <input type="checkbox"/> Excavation | <input type="checkbox"/> Map/Text Amendment | (Include Article & Section No.): _____ |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Other | _____ |

Name of Project - Title: 3 Woodruff Hill Rd. (Lot 5)

2) **PROPERTY LOCATION(s):**

a) Street Address: 3 Woodruff Hill Road

Town Clerk Record Map Number: _____

Assessor's Identification Numbers:

Map: 25 Block: 22 Lot: 13-5 Unit: _____

Zoning District: *(Check One)*

- | | | | |
|----------------------------------|------------------------------------|---|---|
| <input type="checkbox"/> RES A | <input type="checkbox"/> RES Golf | <input type="checkbox"/> COM | <input type="checkbox"/> Planned COM |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input checked="" type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

Water and Sewer: *(Check the ones that apply)*

- | | |
|---|--|
| <input checked="" type="checkbox"/> Municipal Sanitary Sewers | <input type="checkbox"/> Private Wells |
| <input type="checkbox"/> On Site Septic Systems | <input checked="" type="checkbox"/> Public Water |

b) Street Address: _____

Town Clerk Record Map Number: _____

Assessor's Identification Numbers:

Map: _____ Block: _____ Lot: _____ Unit: _____

Zoning District: *(Check One)*

- | | | | |
|----------------------------------|------------------------------------|------------------------------|---|
| <input type="checkbox"/> RES A | <input type="checkbox"/> RES Golf | <input type="checkbox"/> COM | <input type="checkbox"/> Planned COM |
| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

Water and Sewer: *(Check the ones that apply)*

- | | |
|--|--|
| <input type="checkbox"/> Municipal Sanitary Sewers | <input type="checkbox"/> Private Wells |
| <input type="checkbox"/> On Site Septic Systems | <input type="checkbox"/> Public Water |

Please indicate who will be the **POINT OF CONTACT:**

(All communications and correspondence will be directed to the Point of Contact)

(Check one)

- APPLICANT OWNER LAND SURVEYOR ENGINEER ARCHITECT

3) **APPLICANT:** Oxford Enterprises, LLC
Address: 20 Old Country Road
Town: Oxford State: CT Zip Code: 06478
Phone: (203) 893-5155 Fax: () Email: darin.bouchard@yahoo.com

4) **OWNER(s):** Town of Oxford
Address: 486 Oxford Road
Town: Oxford State: CT Zip Code: 06478
Phone: (203) 888-2543 Fax: () Email:

5) **APPLICANT'S OWNERSHIP INTEREST:** contract purchaser

6) **LAND SURVEYOR:** Civil 1 (see below) **REG. No:**
Address:
Town: State: Zip Code:
Phone: () Fax: () Email:

7) **CIVIL ENGINEER:** Civil 1 - Brian Baker **REG. No:** 23805
Address: 43 Sherman Hill Rd D101
Town: Woodbury State: CT Zip Code: 06798
Phone: (203) 266-0779 Fax: () Email: brian@civil1.com

8) **ARCHITECT:** **REG. No:**
Address:
Town: State: Zip Code:
Phone: () Fax: () Email:

9) **PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED:**
(Subject to BOS Approval)
(Check One) Private Road Town Road Length of Road

10) **STATUS OF WETLANDS PERMIT:** Pending - Application Filed
(Please Provide a Copy)

11) **ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS:** φ

12) **SURETY OPTION (See Article 9 of Subdivision Regulations):**
(Check the one that applies)
 Not Applicable.
 Improvements will be completed prior to endorsement and filing of record subdivision.
 Surety will be provided.
 Conditional approval is requested.

13) **WAIVERS:**
(Check the one that applies)
 Not Applicable.
 No waivers of the subdivision regulations are required.
 Waivers of one or more sections of the subdivision regulations are requested.
(Please provide a written description of the reason for the waiver and attached to and make part of this application.)

14) **EARTH EXCAVATION:**

(Check one)

- Yes
- No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. _____ cubic yards.

15) **FLOOD ZONE:**

(Check one)

- Yes
 - No
- If yes, what zone. _____

16) **APPLICATION/SUPPORTING DOCUMENTS:**

(Indicate Attached or Not Applicable)

<input checked="" type="checkbox"/> Project Narrative Letter <i>(Statement of use)</i>	_____ Fire Marshal's Review
_____ Record Subdivision Plan	_____ Letter from Public Water Supply
<input checked="" type="checkbox"/> Site Development Plan	_____ P.D.D.H. Approval
<input checked="" type="checkbox"/> Plan and Profile	_____ Inland Wetlands Approval
<input checked="" type="checkbox"/> Standard Construction Details	_____ W.P.C.A. Approval
_____ Connecticut Highway Department	_____ Legal Boundary Description
_____ Engineering Department Review	_____ Zoning and Subdivision History
<input checked="" type="checkbox"/> Drainage Calculations	_____ Certificate from Assessor
_____ Other: _____	_____ Other: _____

17) **REFERRALS:**

(Check the ones that apply)

- A portion of the property effected by the decision of the Commission is located within five hundred (500) feet of the boundary of an adjoining municipality.
- A portion of the sewer or water drainage from the project site will flow through and significantly impact the sewage system within the adjoining municipality.
- Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.
- Subdivision/Resubdivision includes land which abuts or is partially located in the Town of _____.
- Referral to Regional Planning Agencies is required.

If any of the above applies, the applicant is required to give written notice of his/her application to the adjoining municipality and submit a copy to P&Z. Notification must be by **CERTIFIED MAIL/RETURN RECEIPT.**

18) **APPLICATION FEES:** (Additional fees may apply – See Schedule of Fees)

Application Fee is as follows:

_____ Building Lots (x) \$ _____ per lot = \$ _____

_____ Cubic yards (x) \$100 for each 1,000 cubic yards = \$ _____

Public Hearing Fee = \$ _____

Other Fees = \$ _____

State Fee = \$ _____

Total Fee = \$ _____ (Ck#) _____

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

APPLICANT SIGNATURE _____

NAME PRINTED _____ DATE _____

b) PROPERTY OWNER(s):

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE _____

NAME PRINTED _____ DATE _____

OWNER SIGNATURE _____

NAME PRINTED _____ DATE _____

20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

DENIED / APPROVED
(Check One)

APPROVED WITH CONDITIONS Yes or No
(Check One)

See Letter dated _____ for DETAILS of ACTION taken and attach a copy hereto.

BY: _____ DATE _____
(Name & Title)



TOWN OF OXFORD
 S.B. Church Memorial Town Hall
 486 Oxford Road, Oxford, Connecticut 06478-1298
 www.Oxford-CT.gov

Planning and Zoning Commission

Z#:	_____
Date Received:	_____
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Name of Project - Title: 7 Woodruff Hill Rd. (Lot 6)

2) **PROPERTY LOCATION(s):**

a) Street Address: 7 Woodruff Hill Rd.

Town Clerk Record Map Number: _____

Assessor's Identification Numbers:

Map: 25 Block: 22 Lot: 13-6 Unit: _____

Zoning District: *(Check One)*

- | | | | |
|----------------------------------|------------------------------------|---|---|
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| <input type="checkbox"/> RES POD | <input type="checkbox"/> Ox Center | <input checked="" type="checkbox"/> IND | <input type="checkbox"/> CORP BP <input type="checkbox"/> Other |

Water and Sewer: *(Check the ones that apply)*

- | | |
|---|--|
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(Please provide a written description of the reason for the waiver and attached to and make part of this application.)

14) EARTH EXCAVATION:

(Check one)

- Yes No

If yes, how many cubic yards of material to be removed, filled, and/or dispersed. _____ cubic yards.

15) FLOOD ZONE:

(Check one)

- Yes No

If yes, what zone. _____

16) APPLICATION/SUPPORTING DOCUMENTS:

(Indicate Attached or Not Applicable)

- Project Narrative Letter (Statement of use)
Record Subdivision Plan
Site Development Plan
Plan and Profile
Standard Construction Details
Connecticut Highway Department
Engineering Department Review
Drainage Calculations
Fire Marshal's Review
Letter from Public Water Supply
P.D.D.H. Approval
Inland Wetlands Approval
W.P.C.A. Approval
Legal Boundary Description
Zoning and Subdivision History
Certificate from Assessor
Other: _____

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(Check the ones that apply)

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Total Fee = \$ _____ (Ck#) _____

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APPLICANT SIGNATURE _____

NAME PRINTED _____ DATE _____

b) PROPERTY OWNER(s):

The undersigned, being all of the owners of the premises referred above, hereby consent to the filing of this application together with meeting of all requirements of the applicant by the Commission for same.

OWNER SIGNATURE _____

NAME PRINTED _____ DATE _____

OWNER SIGNATURE _____

NAME PRINTED _____ DATE _____

20) INFORMATIONAL:

Communications with and recommendations from contracted P&Z staff are the sole responsibility of the applicant.

21) ACTION TAKEN:

(This SECTION is to be filled out by Planning & Zoning Staff ONLY)

DENIED / APPROVED
(Check One)

APPROVED WITH CONDITIONS Yes or No
(Check One)

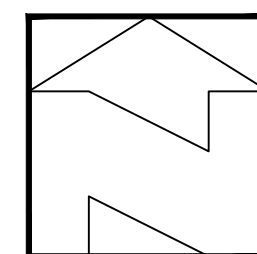
See Letter dated _____ for DETAILS of ACTION taken and attach a copy hereto.

BY: _____ DATE _____
(Name & Title)

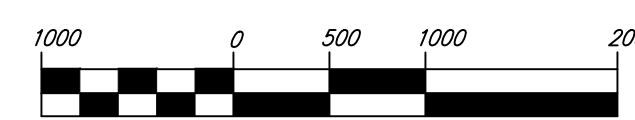
OXFORD INDUSTRIES LLC

PERMITTING SET

3 WOODRUFF HILL ROAD (LOT5) and 7 WOODRUFF HILL ROAD (LOT6)
WOODRUFF HILL INDUSTRIAL PARK, OXFORD, CT
TAX MAPS - MAP:25 - BLOCK: 22 LOT: 13-5 & 13-6



VICINITY MAP



1 inch = 1000 ft.



CORNERSTONE PROFESSIONAL PARK, SUITE D-101
 43 SHERMAN HILL ROAD
 WOODBURY CONNECTICUT (203) 266-0778



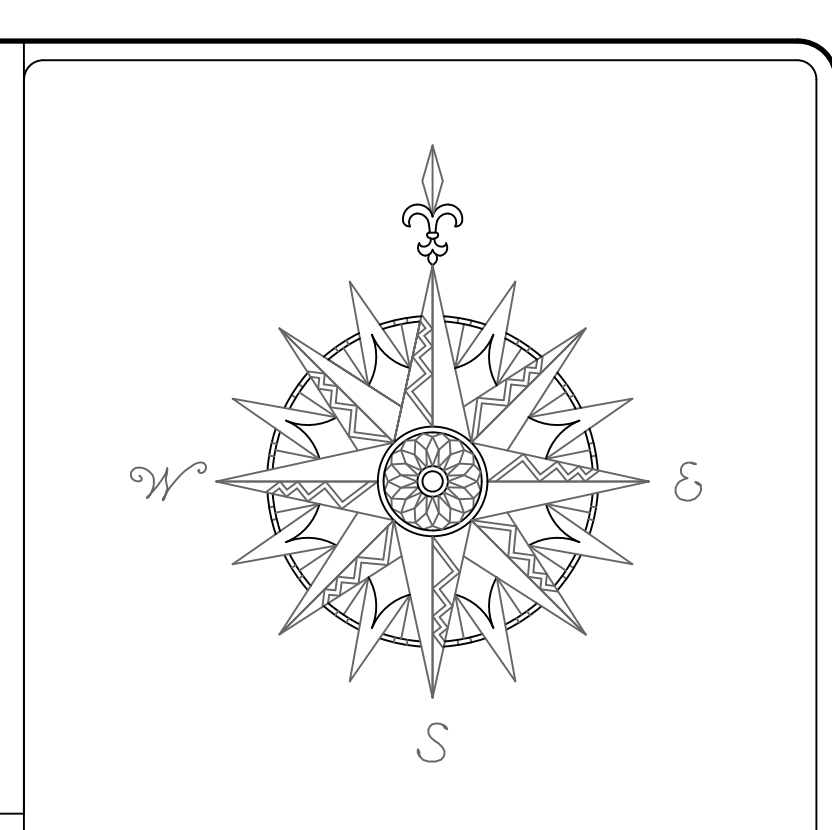
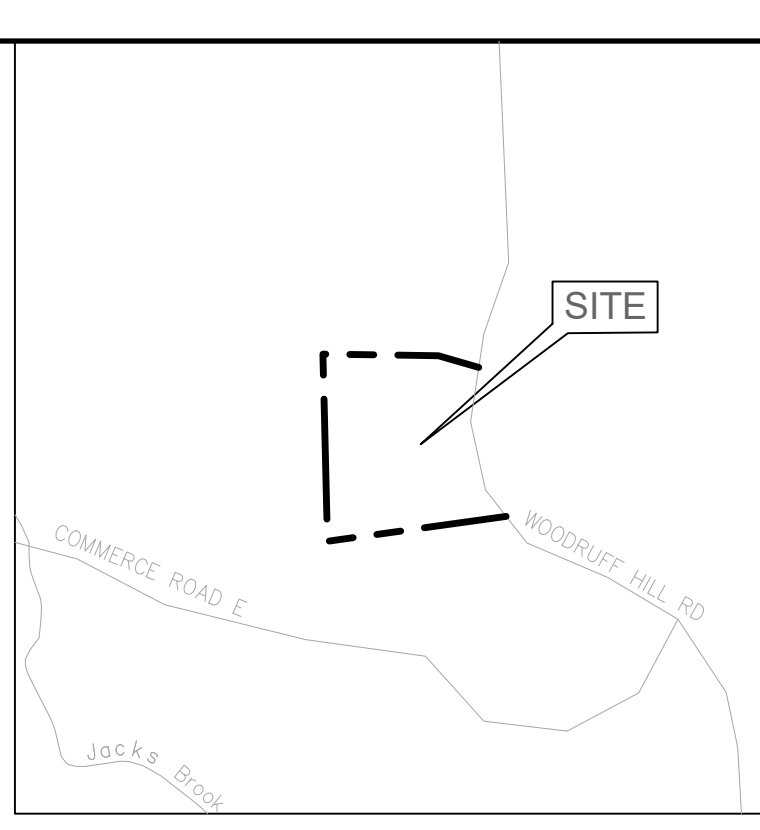
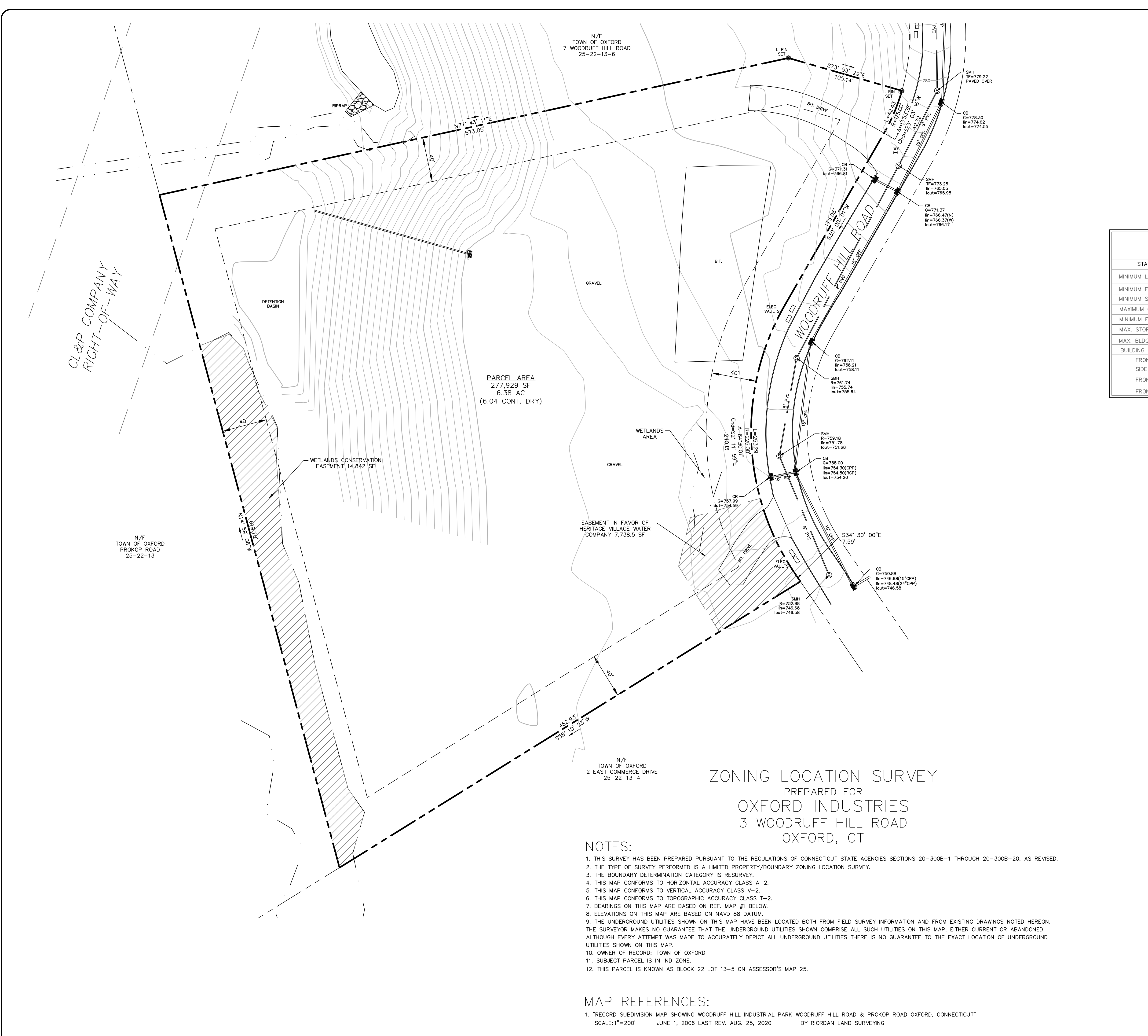
DECEMBER 4, 2020
 REVISED FEBRUARY 25, 2021

SHEET NUMBER	DESCRIPTION
S 1.1	ZONING LOCATION SURVEY LOT 5 (3 WOODRUFF HILL RD.)
S 1.2	ZONING LOCATION SURVEY LOT 6 (7 WOODRUFF HILL RD.)
C 1.0	EXISTING CONDITIONS MAP
C 1.1	SITE PLAN AND LANDSCAPE PLAN
C 2.1	GRADING PLAN DRAINAGE PLAN AND UTILITY PLAN
C 3.1	EROSION CONTROL PLAN
C 4.1	DRIVEWAY PLAN & PROFILES
C 4.2	DRIVEWAY PLAN & PROFILES
C 4.3	STORM DRAINAGE PROFILES
C 5.1	DETAILS
C 5.2	DETAILS
C 5.3	DETAILS
C 5.4	DETAILS
C 6.1	EROSION CONTROL NARRATIVE & PROJECT NOTES

OWNER
 TOWN OF OXFORD
 486 OXFORD ROAD
 OXFORD, CT 06478

APPLICANT
 OXFORD INDUSTRIES, LLC
 20 OLD COUNTRY ROAD
 OXFORD, CT 06478

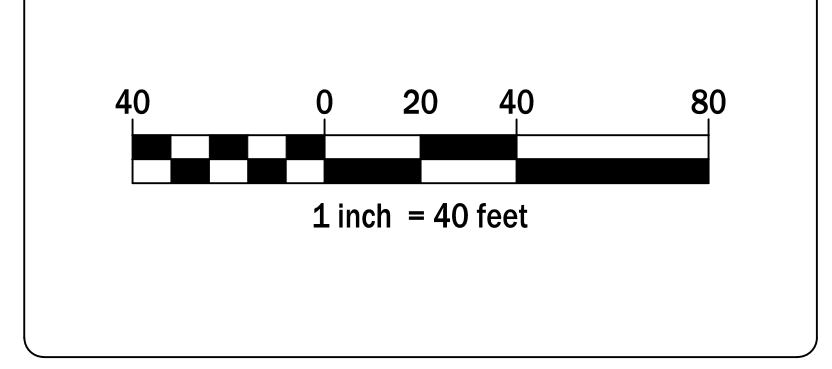
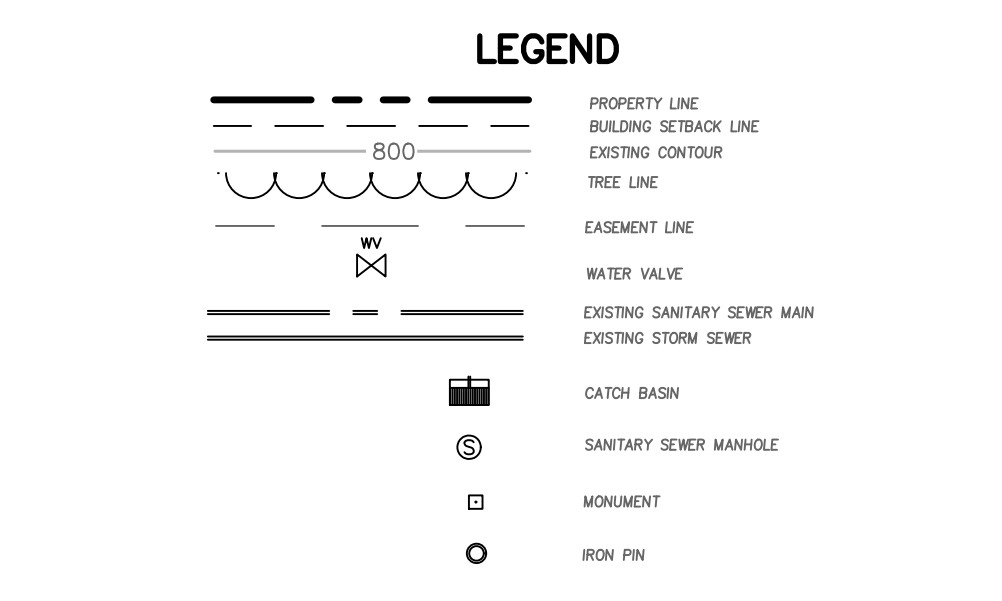
ENGINEER / SURVEYOR
 CIVIL 1
 43 SHERMAN HILL ROAD, SUITE D-101
 WOODBURY, CT



**OXFORD ZONING TABLE
(INDUSTRIAL DISTRICT)**

STANDARDS	REQUIRED	EXISTING
MINIMUM LOT AREA	2.5 AC	6.04 AC
MINIMUM FRONTAGE	225'	478.36'
MINIMUM SQUARE	200'	> 200'
MAXIMUM COVERAGE	65 %	-
MINIMUM FLOOR AREA	50,000 SF	-
MAX. STORIES:	2 1/2	-
MAX. BLDG. HGT. :	35'	-
BUILDING SETBACKS:		
FRONT YARD:	40'	-
SIDE/REAR YARD:	40'	-
FRONT YARD PARKING:	10'	-
FRONT YARD OTHER:	25'	-

NO.	REVISION	DATE
1	APPLICANT NAME CORRECTED	25 FEB 21
<i>Previous Editions Obsolete</i>		



**OXFORD INDUSTRIES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.**

ZONING LOCATION SURVEY

3 WOODRUFF HILL ROAD

OXFORD CONNECTICUT

CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY (203) 266-0778 CONNECTICUT

- ZONING LOCATION SURVEY**
PREPARED FOR
OXFORD INDUSTRIES
3 WOODRUFF HILL ROAD
OXFORD, CT
- NOTES:**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
 - THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
 - THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
 - THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 - THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
 - THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
 - BEARINGS ON THIS MAP ARE BASED ON REF. MAP #1 BELOW.
 - ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
 - THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED. ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
 - OWNER OF RECORD: TOWN OF OXFORD
 - SUBJECT PARCEL IS IN IND ZONE.
 - THIS PARCEL IS KNOWN AS BLOCK 22 LOT 13-5 ON ASSESSOR'S MAP 25.

MAP REFERENCES:

- "RECORD SUBDIVISION MAP SHOWING WOODRUFF HILL INDUSTRIAL PARK WOODRUFF HILL ROAD & PROKOP ROAD OXFORD, CONNECTICUT" SCALE: 1"=200' JUNE 1, 2006 LAST REV. AUG. 25, 2020 BY RIORDAN LAND SURVEYING

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DANIEL C. LAFERRIERE
LICENSED LAND SURVEYOR, REG# 70492

DRAWN: DCL APPROVED: DCL

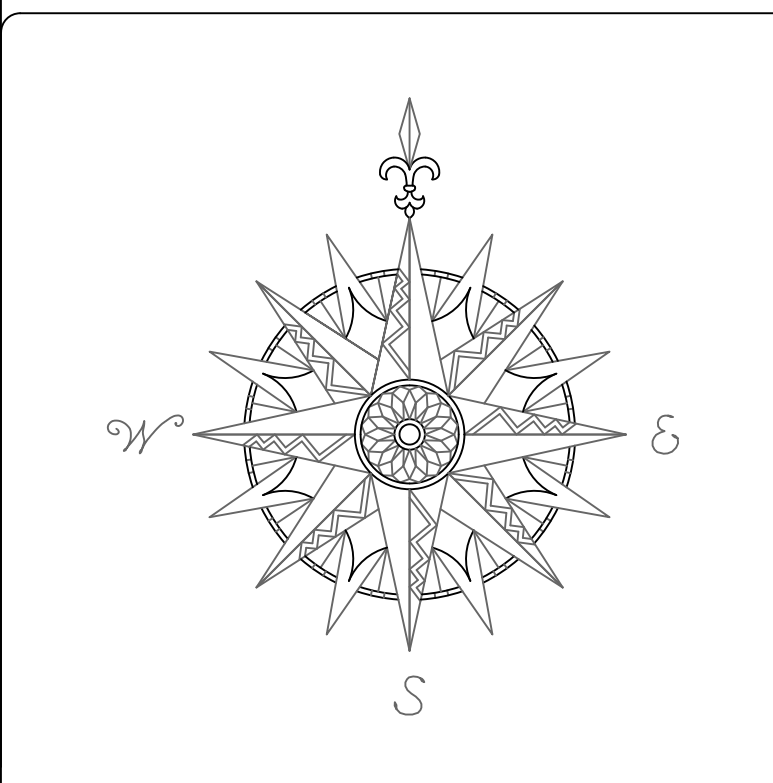
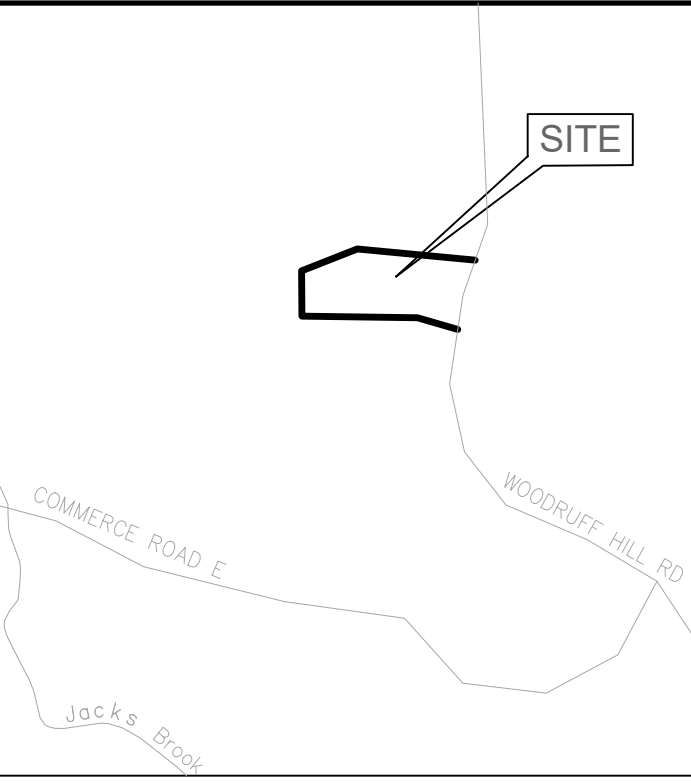
SCALE: 1" = 40'

DATE: 30 NOV 20

PROJ. NO.: 3754

CADD FILE NAME: 3754-SURVEY

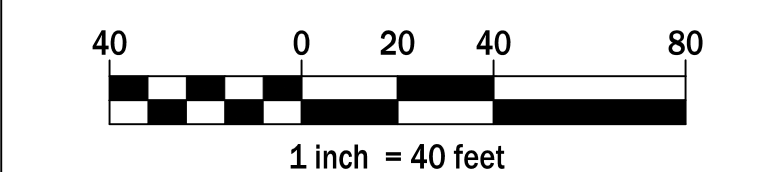
DRAWING NO.: **S 1.1**



**OXFORD ZONING TABLE
(INDUSTRIAL DISTRICT)**

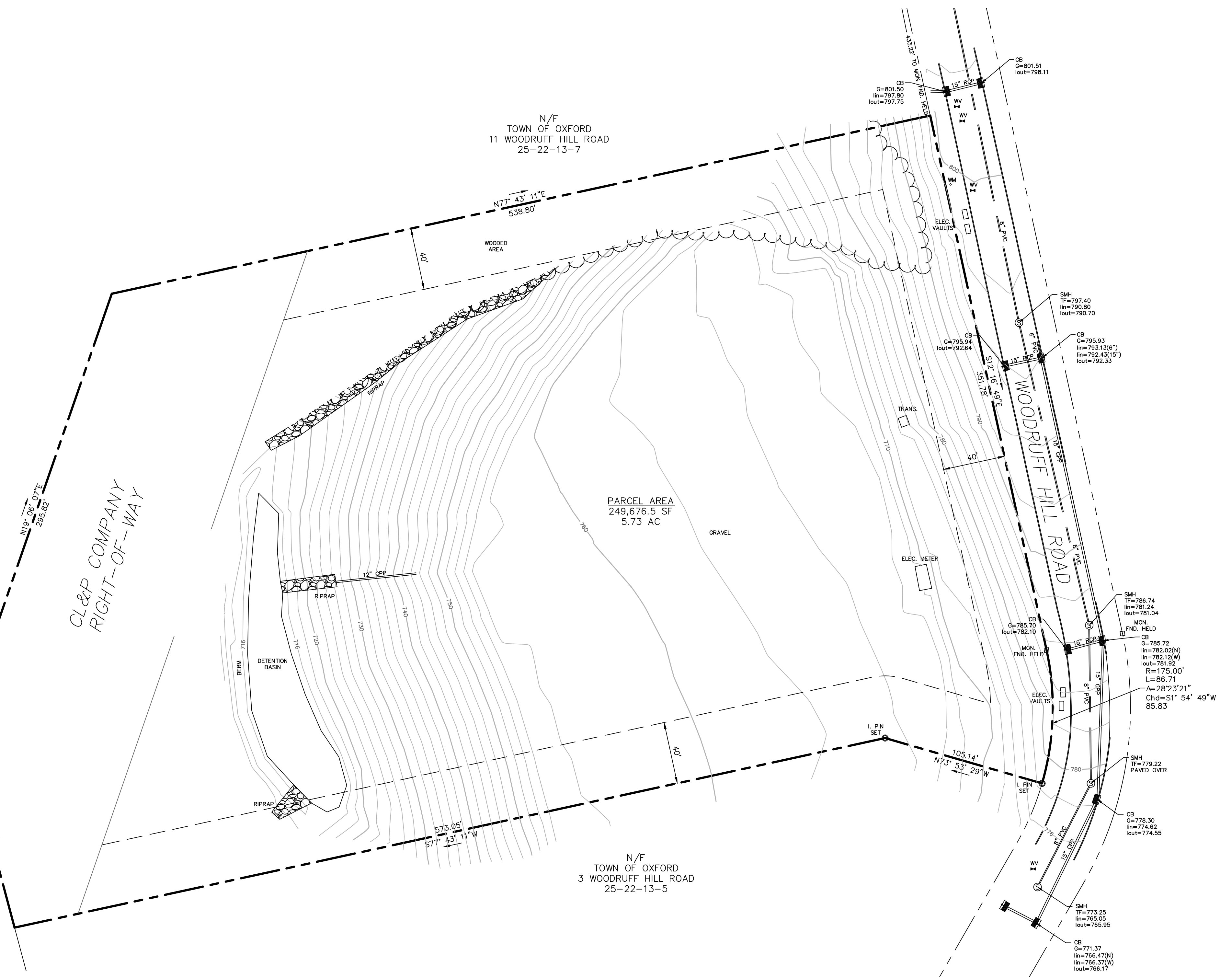
STANDARDS	REQUIRED	EXISTING
MINIMUM LOT AREA	2.5 AC	5.73 AC
MINIMUM FRONTAGE	225'	438.49'
MINIMUM SQUARE	200'	> 200'
MAXIMUM COVERAGE	65 %	-
MINIMUM FLOOR AREA	50,000 SF	-
MAX. STORIES	2 1/2	-
MAX. BLDG. HGT. :	35'	-
BUILDING SETBACKS:		
FRONT YARD:	40'	-
SIDE/REAR YARD:	40'	-
FRONT YARD PARKING:	10'	-
FRONT YARD OTHER:	25'	-

NO.	REVISION	DATE
1	APPLICANT NAME CORRECTED	25 FEB 21
Previous Editions Obsolete		



LEGEND

	PROPERTY LINE
	BUILDING SETBACK LINE
	EXISTING CONTOUR
	TREE LINE
	EASEMENT LINE
	WATER VALVE
	EXISTING SANITARY SEWER MAIN
	EXISTING STORM SEWER
	CATCH BASIN
	SANITARY SEWER MANHOLE
	MONUMENT
	IRON PIN



CL&P COMPANY
RIGHT-OF-WAY

ZONING LOCATION SURVEY
PREPARED FOR
OXFORD INDUSTRIES
7 WOODRUFF HILL ROAD
OXFORD, CT

- NOTES:**
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
 2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
 3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
 4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
 6. THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
 7. BEARINGS ON THIS MAP ARE BASED ON REF. MAP #1 BELOW.
 8. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
 9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED. ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
 10. OWNER OF RECORD: TOWN OF OXFORD
 11. SUBJECT PARCEL IS IN IND ZONE.
 12. THIS PARCEL IS KNOWN AS BLOCK 22 LOT 13-6 ON ASSESSOR'S MAP 25.

MAP REFERENCES:

1. *RECORD SUBDIVISION MAP SHOWING WOODRUFF HILL INDUSTRIAL PARK WOODRUFF HILL ROAD & PROKOP ROAD OXFORD, CONNECTICUT*
SCALE: 1"=200' JUNE 1, 2006 LAST REV. AUG. 25, 2020 BY RIORDAN LAND SURVEYING

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DANIEL C. LAFERRIERE
LICENSED LAND SURVEYOR, REG# 70492

OXFORD INDUSTRIES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.

ZONING LOCATION SURVEY

7 WOODRUFF HILL ROAD

OXFORD CONNECTICUT



CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY CONNECTICUT (203) 266-0778

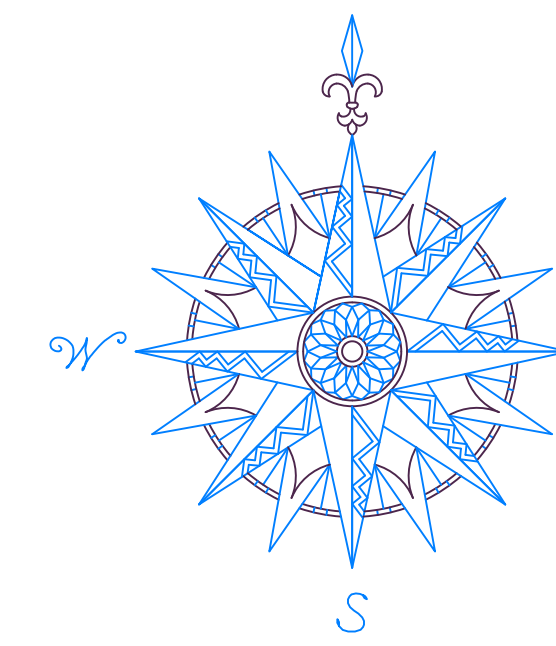
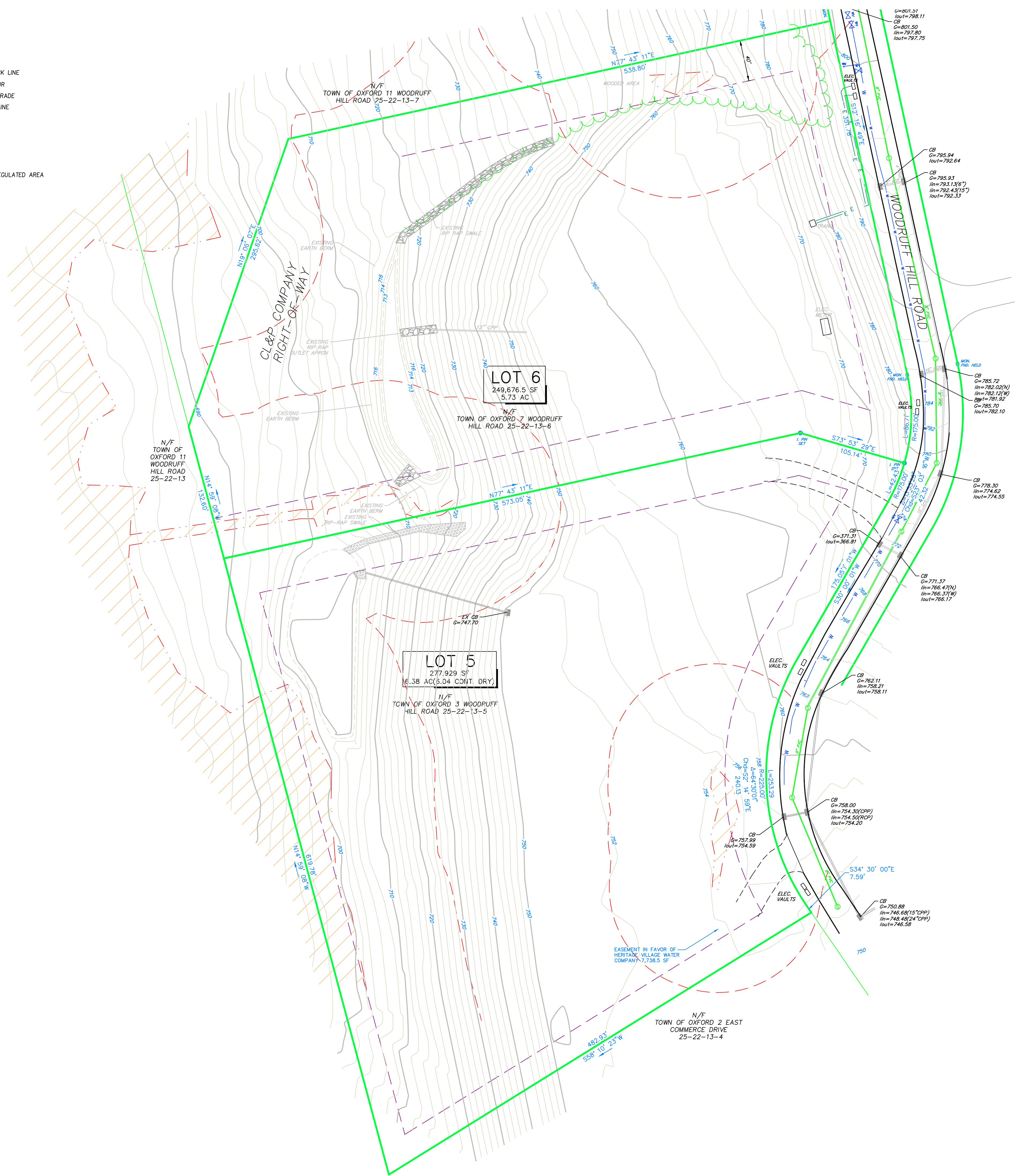
DRAWN: DCL APPROVED: DCL

SCALE: **1" = 40'**
DATE: 18 SEP 20
PROJ. NO.: 3720
CAD FILE NAME: 3720-SURVEY
DRAWING NO.:

S 1.2

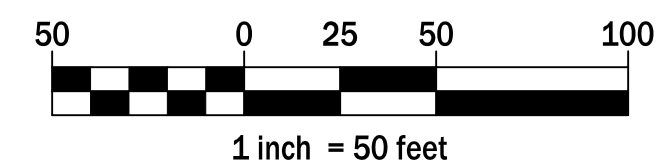
LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- +557.0 EXISTING SPOT GRADE
- PROPOSED LOT LINE
- WATER VALVE
- X—X EXISTING FENCE
- TREE LINE
- WETLAND LINE
- - - 100' WETLAND REGULATED AREA
- WETLANDS AREA



NO.	REVISION

Previous Editions Obsolete



OXFORD INDUSTRIES, LLC
 20 OLD COUNTRY ROAD
 OXFORD CT.

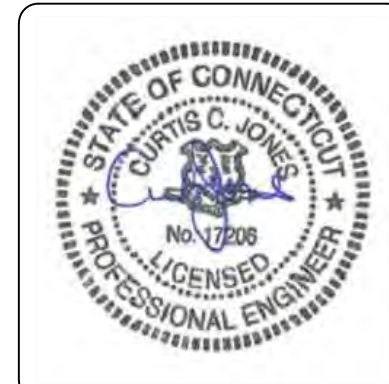
EXISTING CONDITIONS

3 WOODRUFF HILL RD.
 (LOT 5)
 7 WOODRUFF HILL RD.
 (LOT 6)

OXFORD CONNECTICUT

Civil C1

CORNERSTONE PROFESSIONAL PARK, SUITE D-101
 43 SHERMAN HILL ROAD
 WOODBURY CONNECTICUT (203) 266-0778



DRAWN BY: JL	APPROVED BY: CJ
SCALE: 1" = 50'	DATE: 4 DEC 20
PROJ. NO.:	CARD FILE NAME: 3720
DRAWING NO.:	C 1.0

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN SHRUB(S)						
JP	30	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER	spaced @ 30" o.c.
PL	15	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	CONTAINER	-
DECIDUOUS SHRUB(S)						
CH	15	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	24-30"	CONTAINER	-
VA	15	VACCINIUM ANGUSTIFOLIUM	LOW BUSH BLUEBERRY	24-30"	CONTAINER	-
DI	15	DIERVILLA IONICERRA	BUSH HONEYSUCKLE	24-30"	CONTAINER	-

LANDSCAPING COMPLIANCE CHART

REQUIRED / PERMITTED	PROVIDED / PROPOSED	COMPLIANCE
ARTICLE 9 9.14.7 A MINIMUM OF ONE SHRUB OF A MINIMUM HEIGHT OF 24" SHALL BE PLANTED FOR EACH 3 FEET OF BUILDING FRONTAGE. THE COMMISSION, AT THEIR DISCRETION, MAY PERMIT THE SUBSTITUTION OF PERENNIAL GARDENS.	TOTAL BUILDING FRONTAGE: 270 LF REQUIRED NUMBER OF SHRUBS = 90 PROVIDED NUMBER OF PLANTS = 90	COMPLIES**

*PENDING COMMISSION APPROVAL APPLICANT MAY USE ORNAMENTAL GRASSES, PERENNIALS, AND GROUND COVER AS SUBSTITUTE TO SHRUBS. ALTERNATE SHRUB SPECIES MAY BE SUBSTITUTED BASED UPON AVAILABILITY AT THE DISCRETION OF A QUALIFIED LANDSCAPE PROFESSIONAL OR LANDSCAPE ARCHITECT. EXACT LOCATION OF SHRUBS SHALL BE SET IN FIELD AT THE DISCRETION OF A QUALIFIED LANDSCAPE PROFESSIONAL OR LANDSCAPE ARCHITECT.

ZONING DATA - INDUSTRIAL DISTRICT LOT 6

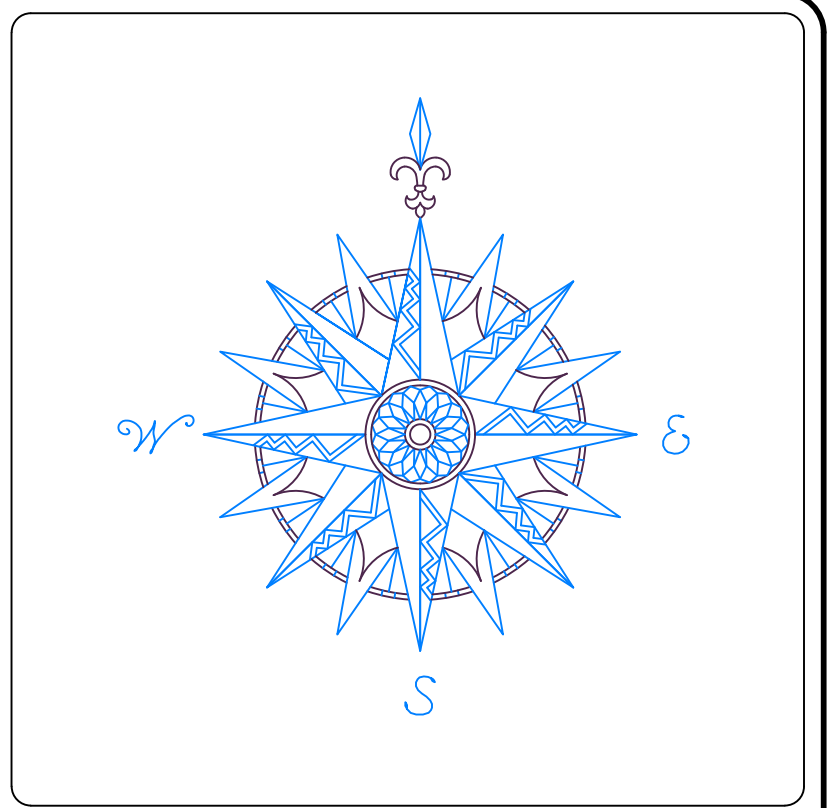
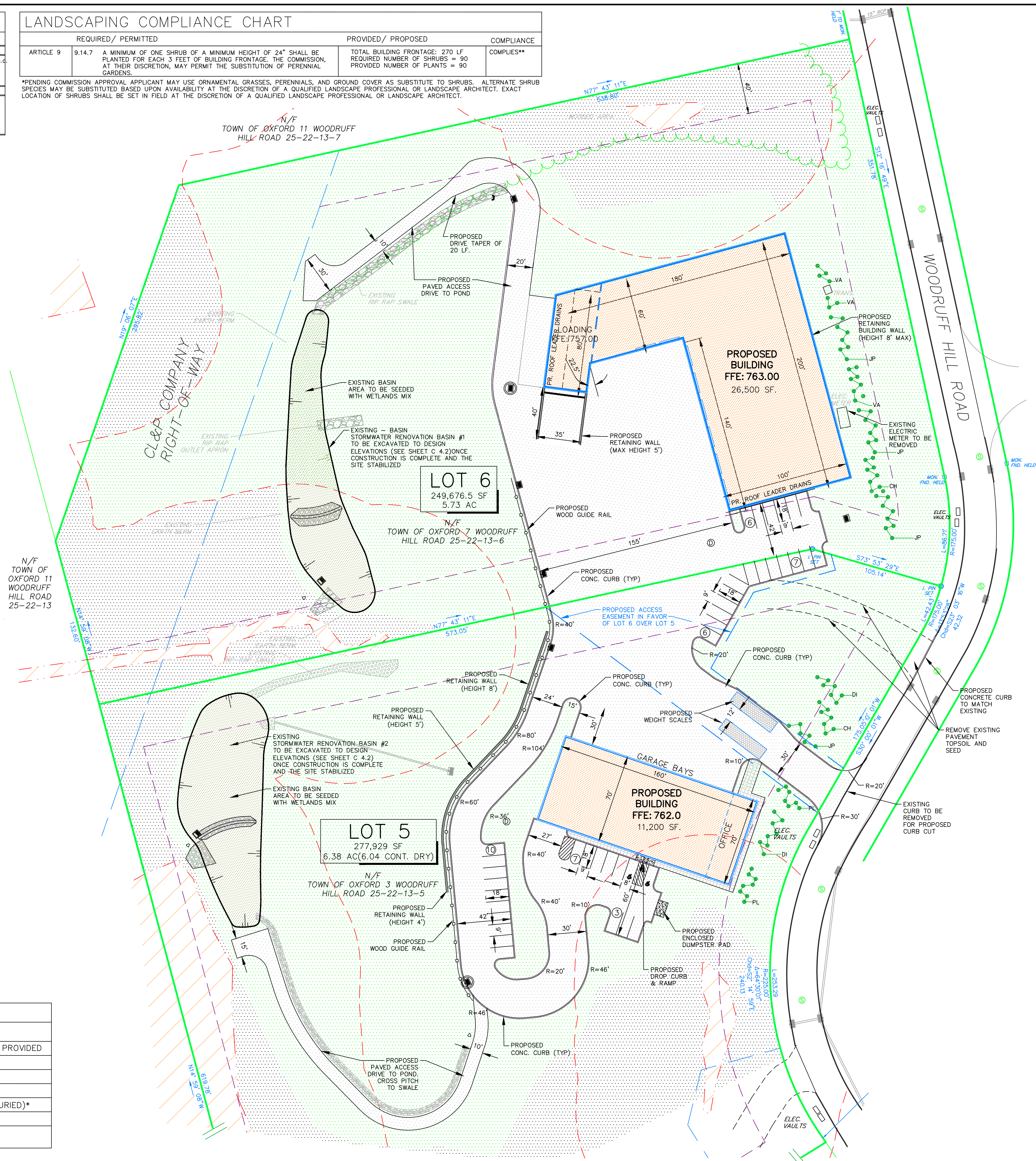
ITEM	REQUIRED	PROVIDED
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	249,676.5 SF
ROAD FRONTAGE (FT.)	225'	438.49'
MIN. FRONT YARD (FT.)	40'	72.47'
MIN. SIDE YARD (FT.)	25'	40.0'
MIN REAR YARD (FT.)	25'	308.2'
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	10.6%
TOTAL LOT COVERAGE (%)	65% MAX.	21.9%
PARKING REQUIREMENT	AS DETERMINED BY COMMISSION	6

ZONING DATA - INDUSTRIAL DISTRICT LOT 5

ITEM	REQUIRED	PROVIDED
MIN. LOT AREA (CONTIGUOUS DRY AREA)	108,900 SF (2.5 ACRES)	277,929 SF
ROAD FRONTAGE (FT.)	225'	478.31'
MIN. FRONT YARD (FT.)	40'	40.0'
MIN. SIDE YARD (FT.)	25'	101.8'
MIN REAR YARD (FT.)	25'	308.3'
BUILDING HEIGHT (LESS OF)	2.5 STORIES OR 35 FEET	<35 FEET
AGGREGATE BLDG. COVERAGE (%)	40% MAX.	4.0%
TOTAL LOT COVERAGE (%)	65% MAX.	18.3%
PARKING REQUIREMENT	AS DETERMINED BY COMMISSION	26

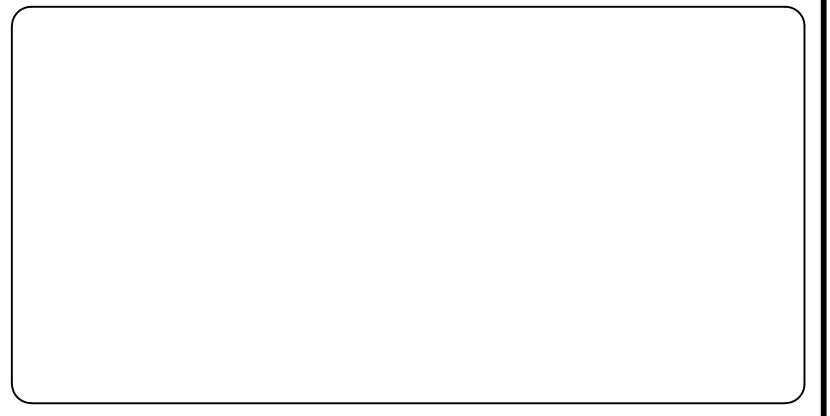
LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- TREE LINE
- WETLAND LINE
- 100' WETLAND REGULATED AREA
- WETLANDS AREA
- SANITARY SEWER MANHOLE
- PROPOSED PAVEMENT
- PROPOSED BUILDING
- PROPOSED LAWN AREA
- EXISTING STORMWATER RENOVATION



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
3	SECOND SCALE ADDED PER P&Z	25 FEB 21

Previous Editions Obsolete



OXFORD ENTERPRISES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.

**SITE PLAN AND
LANDSCAPE PLAN**

**3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)**

OXFORD CONNECTICUT

CIVIL C1
CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY CONNECTICUT
(203) 266-0778

DRINK: JL APPROVED: CJ
SCALE: 1" = 40'
DATE: 4 DEC 20
PROJ. NO.:
CARD FILE NAME: 3720
DRAWING NO.: **C 1.1**

PARKING SUMMARY




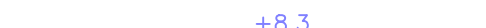






BUILDINGS - 37,700 SF TOTAL

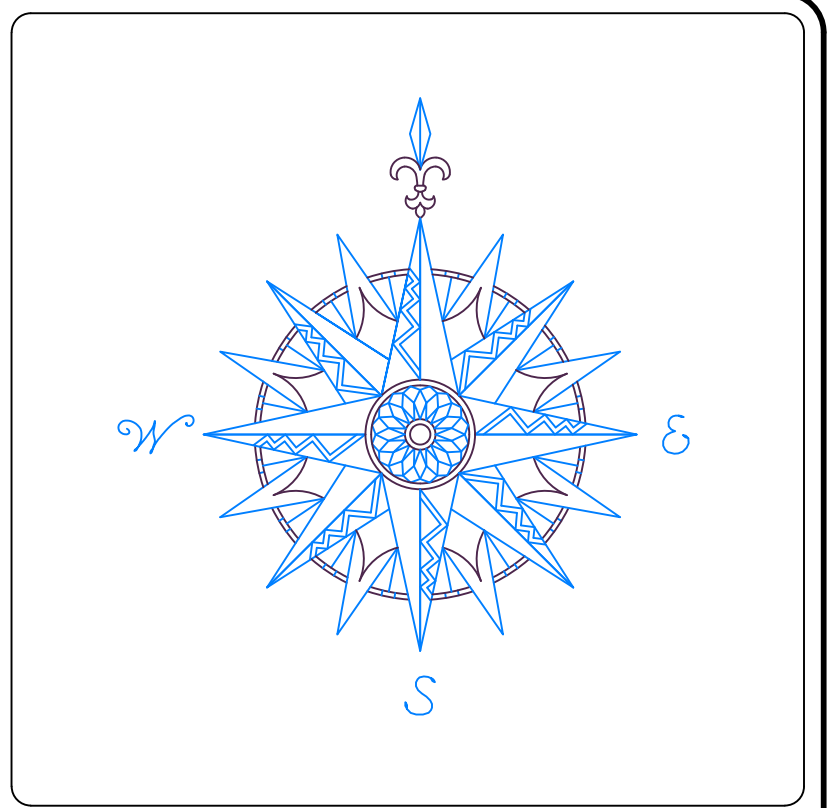
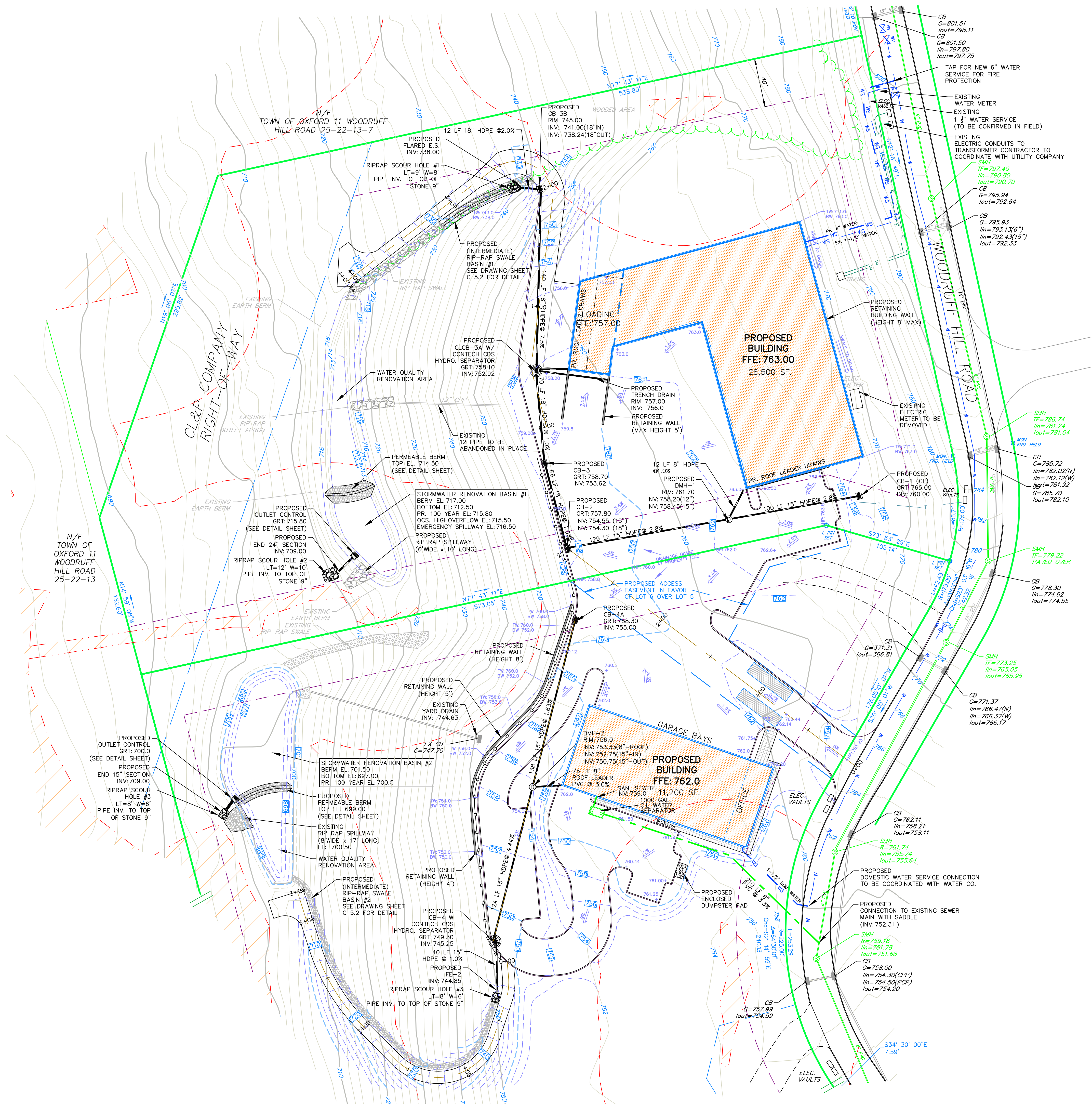
BUILDING USE	SQUARE FOOTAGE	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
OFFICE	1,400 SF	1/250 SF = 5.6	6
MANUFACTURING	8,000 SF	1/500 SF = 16	16
WAREHOUSING/STORAGE	28,300 SF	1/1,000 SF = 28.3	17
TOTAL	37,700 SF	50	39 (78% OF REQUIRED)*

HANDICAP SPACES - FOR 26-50 SPACES - 2 REQUIRED. 2 PROVIDED

*22% SPACES TO BE RESERVED FOR FUTURE PARKING PER SECTION 3.24.2 OF ZONING REGULATIONS (UP TO 25% ALLOWED)

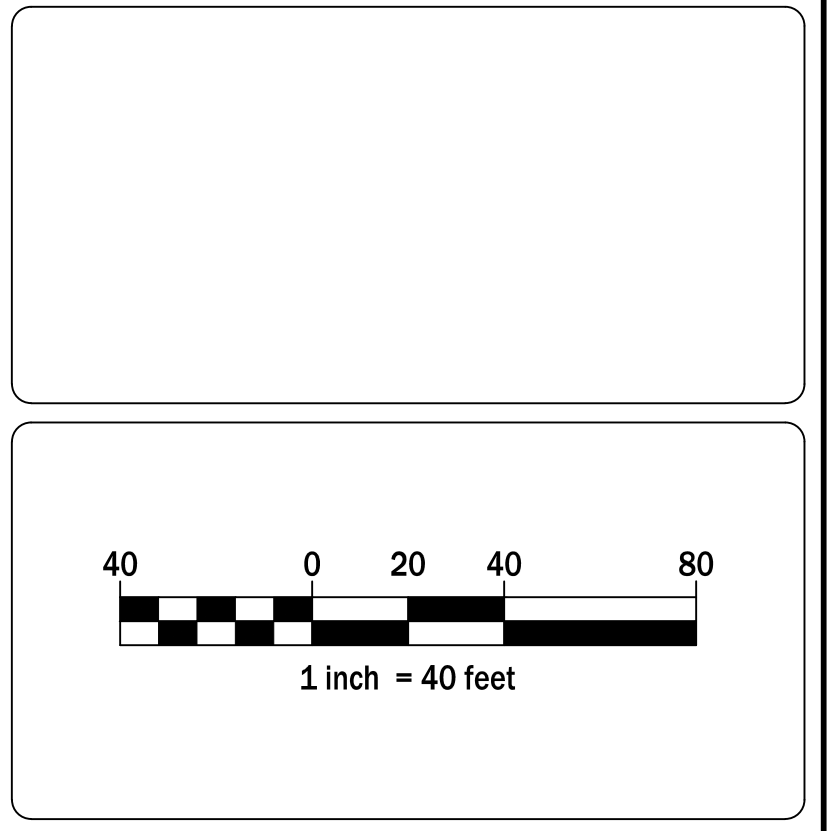
LEGEND

-  PROPERTY LINE
-  BUILDING SETBACK LINE
-  EXISTING CONTOUR
-  EXISTING SPOT GRADE
-  PROPOSED SPOT GRADE
-  EXISTING STORM SEWER
-  PROPOSED STORM SEWER
-  PROPOSED CATCH BASIN
-  PROPOSED DRAIN MANHOLE
-  WATER VALVE
-  EXISTING WATER MAIN
-  PROPOSED WATER SERVICE
-  EXISTING SANITARY SEWER MAIN
-  PROPOSED SANITARY SEWER MAIN
-  SANITARY SEWER MANHOLE



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	OIL/WATER SEP FOR SAN SEWER	21 JAN 21
3	REVISED PER REVIEW BY N & Y	10 FEB 21
4	SECOND SCALE ADDED PER P&Z	25 FEB 21

Previous Editions Obsolete



OXFORD INDUSTRIES, LLC
 20 OLD COUNTRY ROAD
 OXFORD CT.

GRADING PLAN
DRAINAGE PLAN &
UTILITY PLAN

3 WOODRUFF HILL RD.
 (LOT 5)
7 WOODRUFF HILL RD.
 (LOT 6)

CIVIL C1

CORNERSTONE PROFESSIONAL PARK, SUITE D-101
 43 SHERMAN HILL ROAD
 WOODBURY CONNECTICUT (203) 266-0778

DRAWN: JL

SCALE: 1" = 40'

DATE: 4 DEC 20

PROJ. NO.: No. 10206



























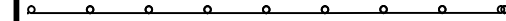
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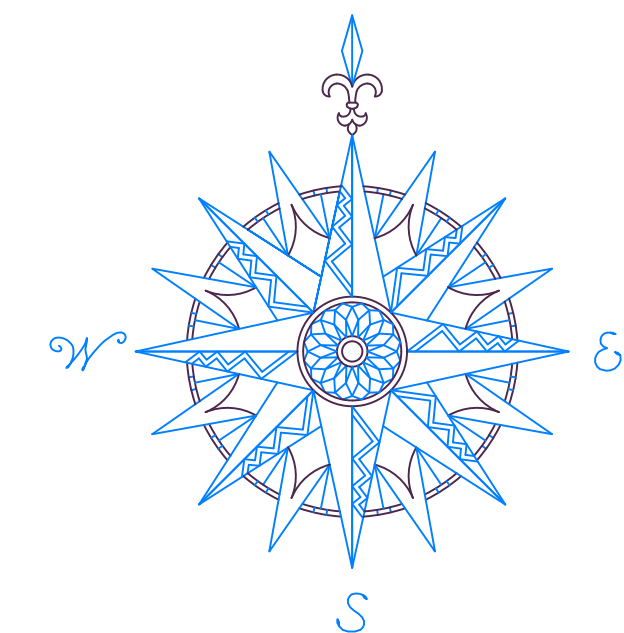
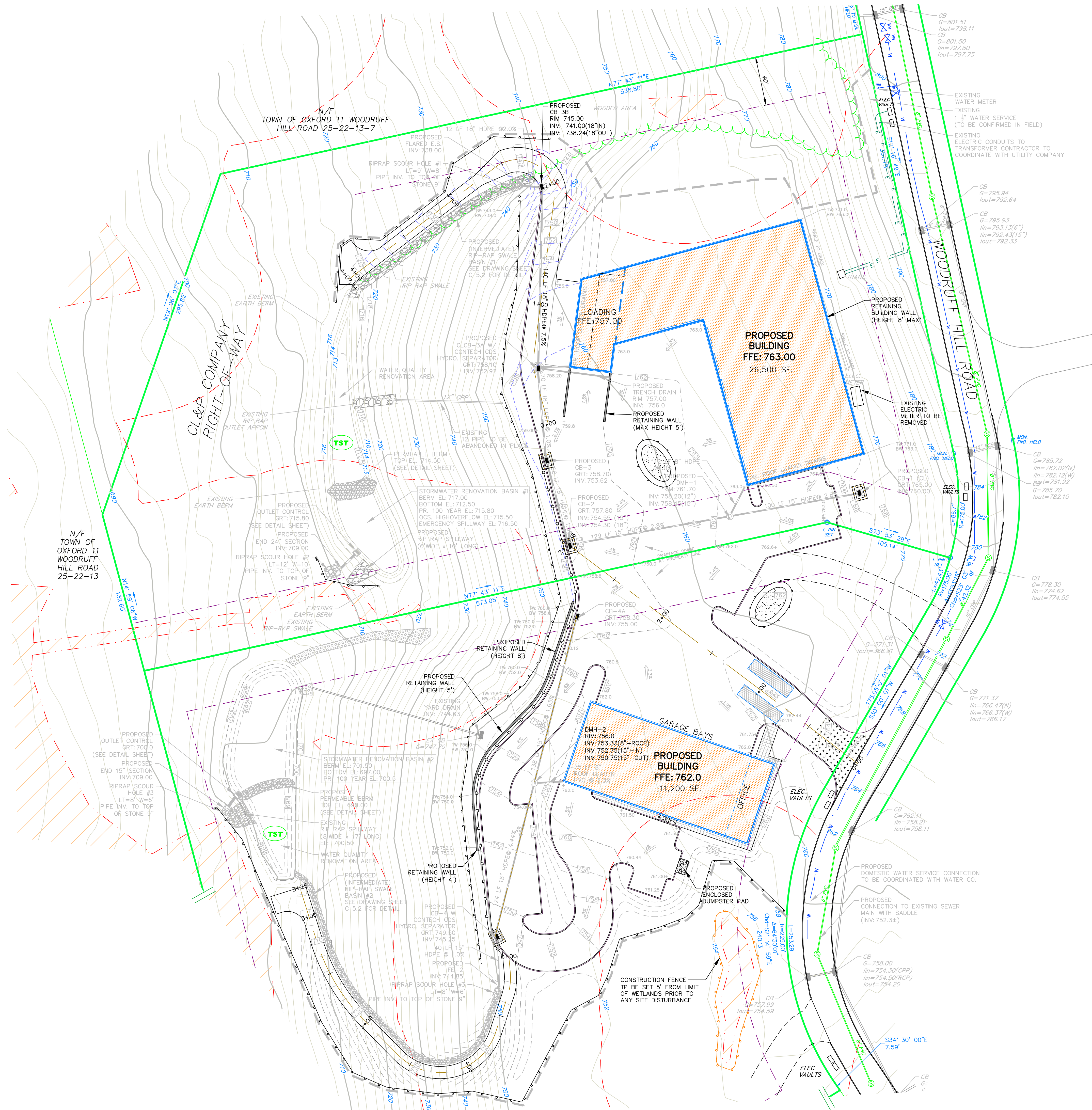
DRAWING NO.: C 2.1

APPROVED: CJ

STATE OF CONNECTICUT
 CURTIS C. JONES
 LICENSED PROFESSIONAL ENGINEER

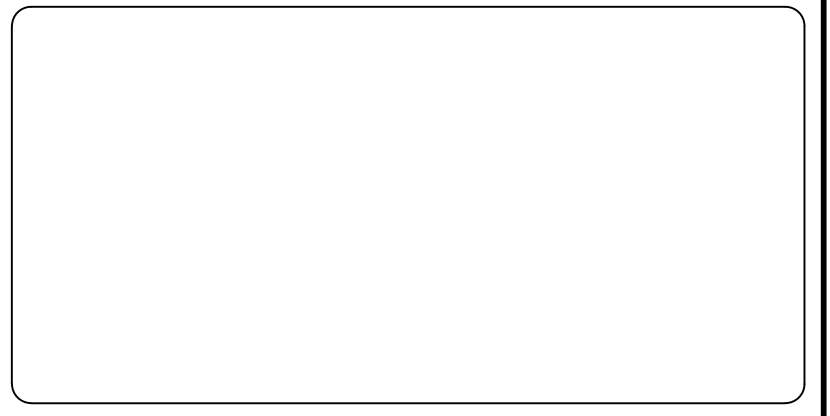
LEGEND

-  PROPERTY LINE
-  BUILDING SETBACK LINE
-  EXISTING CONTOUR
-  EXISTING SPOT GRADE
-  PROPOSED CONTOUR
-  PROPOSED SPOT GRADE
-  EXISTING STORM SEWER
-  PROPOSED STORM SEWER
-  PROPOSED CATCH BASIN
-  PROPOSED DRAIN MANHOLE
-  WATER VALVE
-  EXISTING WATER MAIN
-  PROPOSED WATER SERVICE
-  EXISTING SANITARY SEWER MAIN
-  PROPOSED SANITARY SEWER LINE
-  SANITARY SEWER MANHOLE
-  EXISTING ELECTRIC
-  PROPOSED ELECTRIC SERVICE
-  EXISTING FENCE
-  WETLAND LINE
-  100' WETLAND REGULATED AREA
-  SILT FENCE
-  TEMPORARY SOIL STOCKPILE AREA
-  TEMPORARY CONSTRUCTION ENTRANCE
-  LIMITS OF CONSTRUCTION
-  INLET PROTECTION
-  TEMPORARY SEDIMENT TRAP



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
3	SECOND SCALE ADDED PER P&Z	25 FEB 21

Previous Editions Obsolete



1 inch = 40 feet

OXFORD INDUSTRIES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.

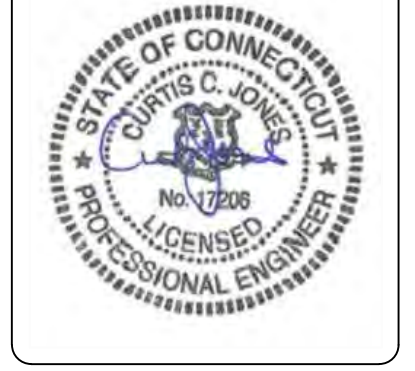
EROSION CONTROL PLAN

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)

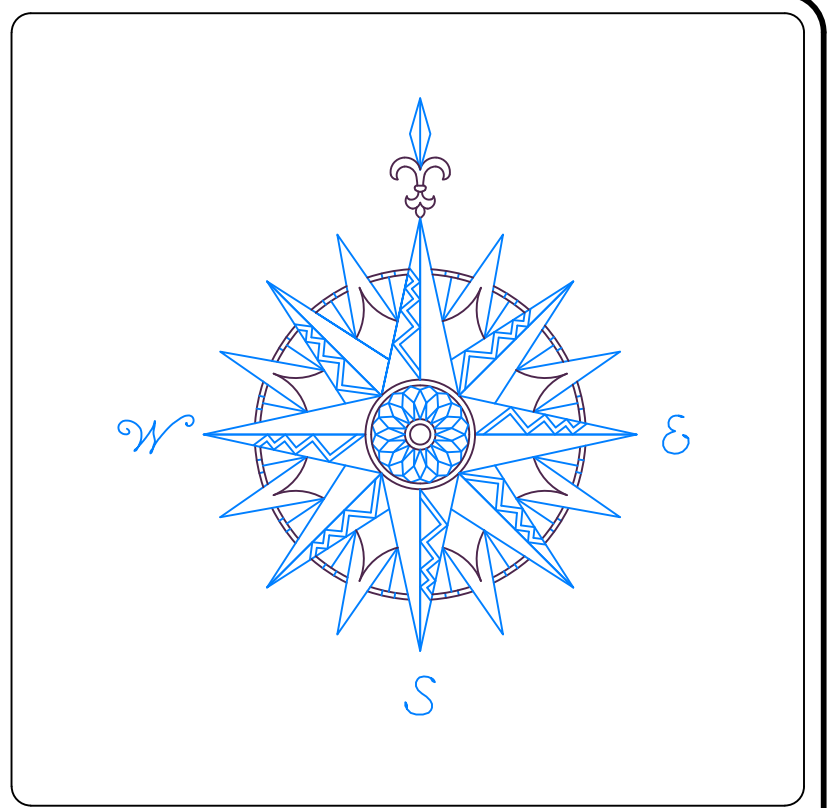
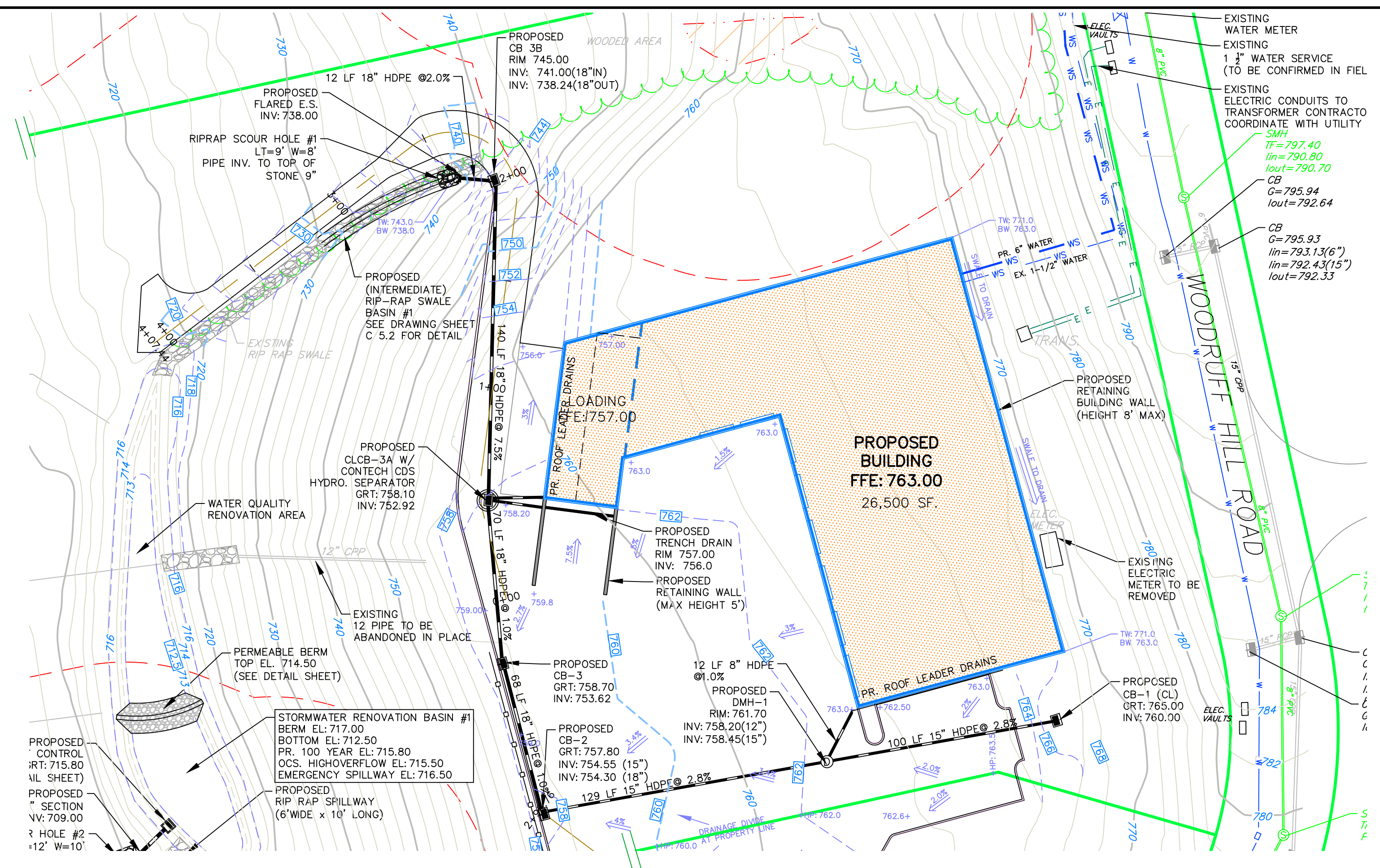
OXFORD CONNECTICUT



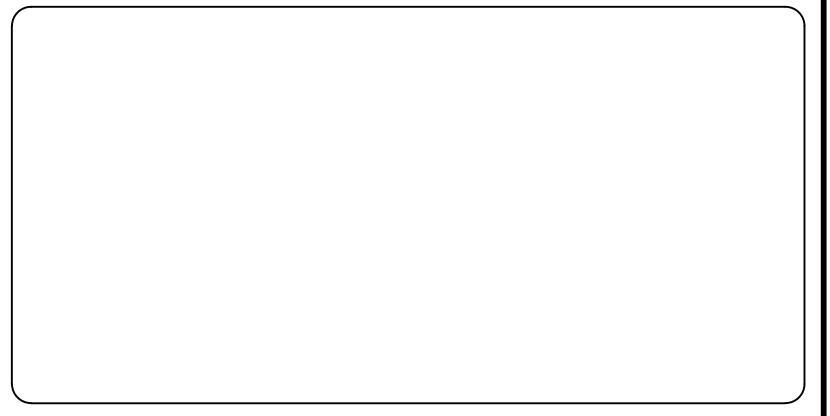
CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY CONNECTICUT
(203) 266-0778



DRAWN: JL APPROVED: CJ
SCALE: 1" = 40'
DATE: 4 DEC 20
PROJ. NO.:
CARD FILE NAME: 3720
DRAWING NO.: **C 3.1**



NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
3	APPLICANT NAME CORRECTED	25 FEB 21
Previous Editions Obsolete		



OXFORD INDUSTRIES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.

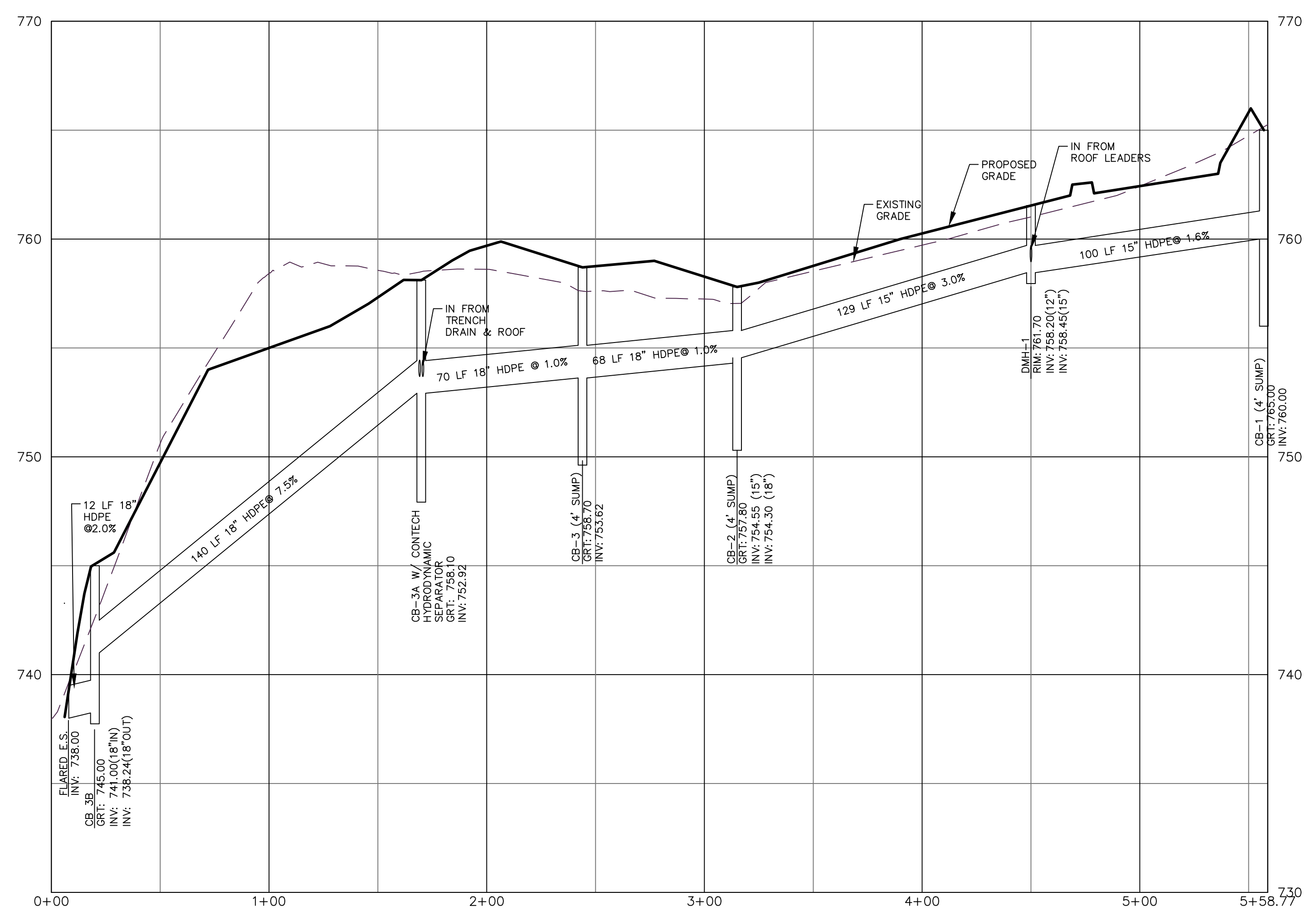
STORM DRAINAGE PROFILES

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)

OXFORD CONNECTICUT

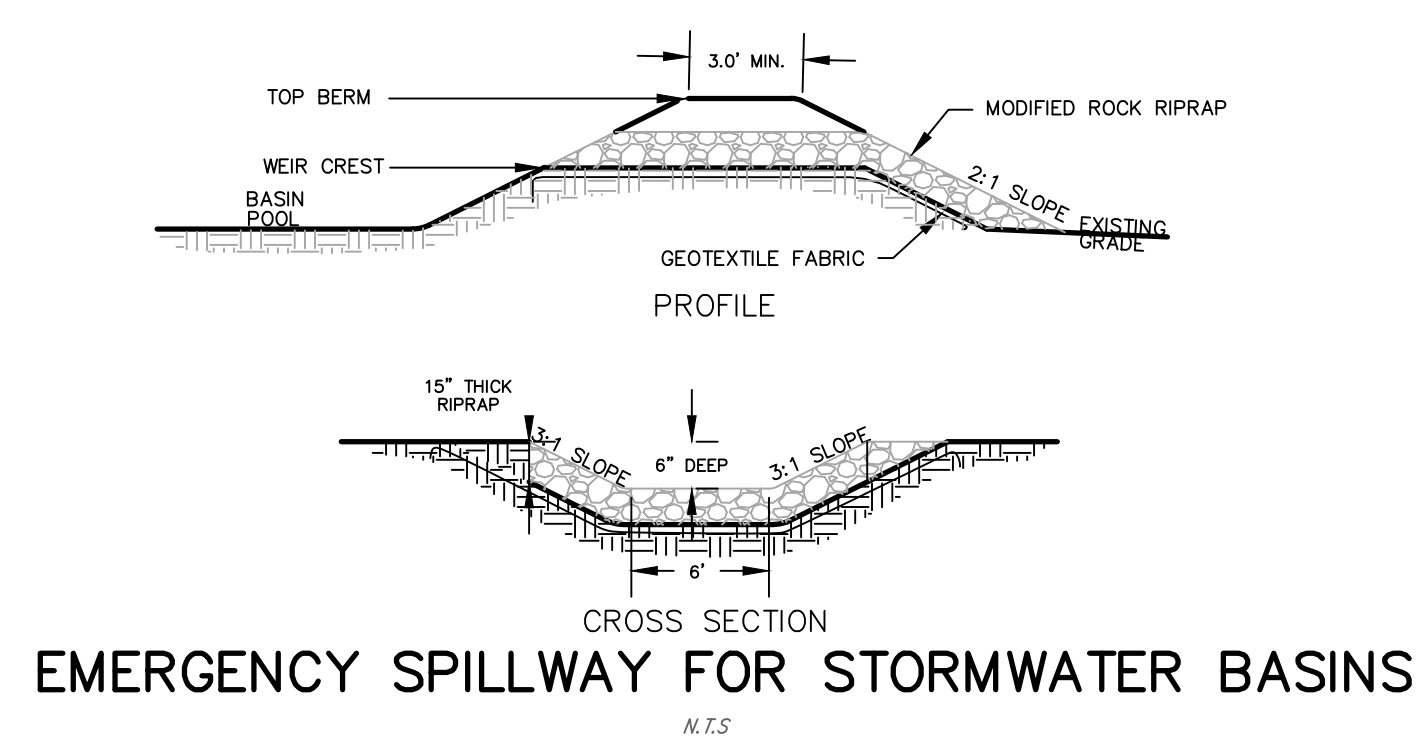
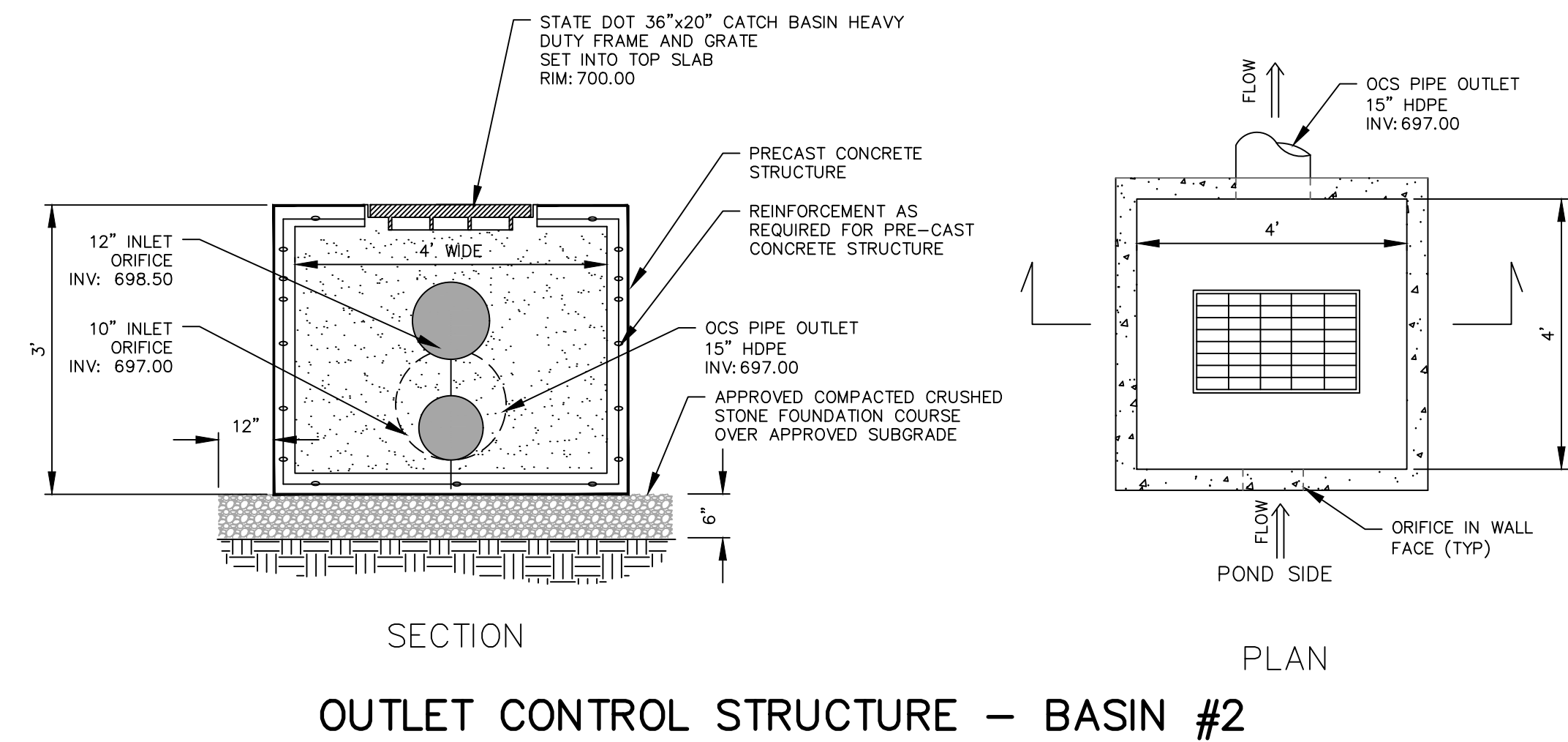
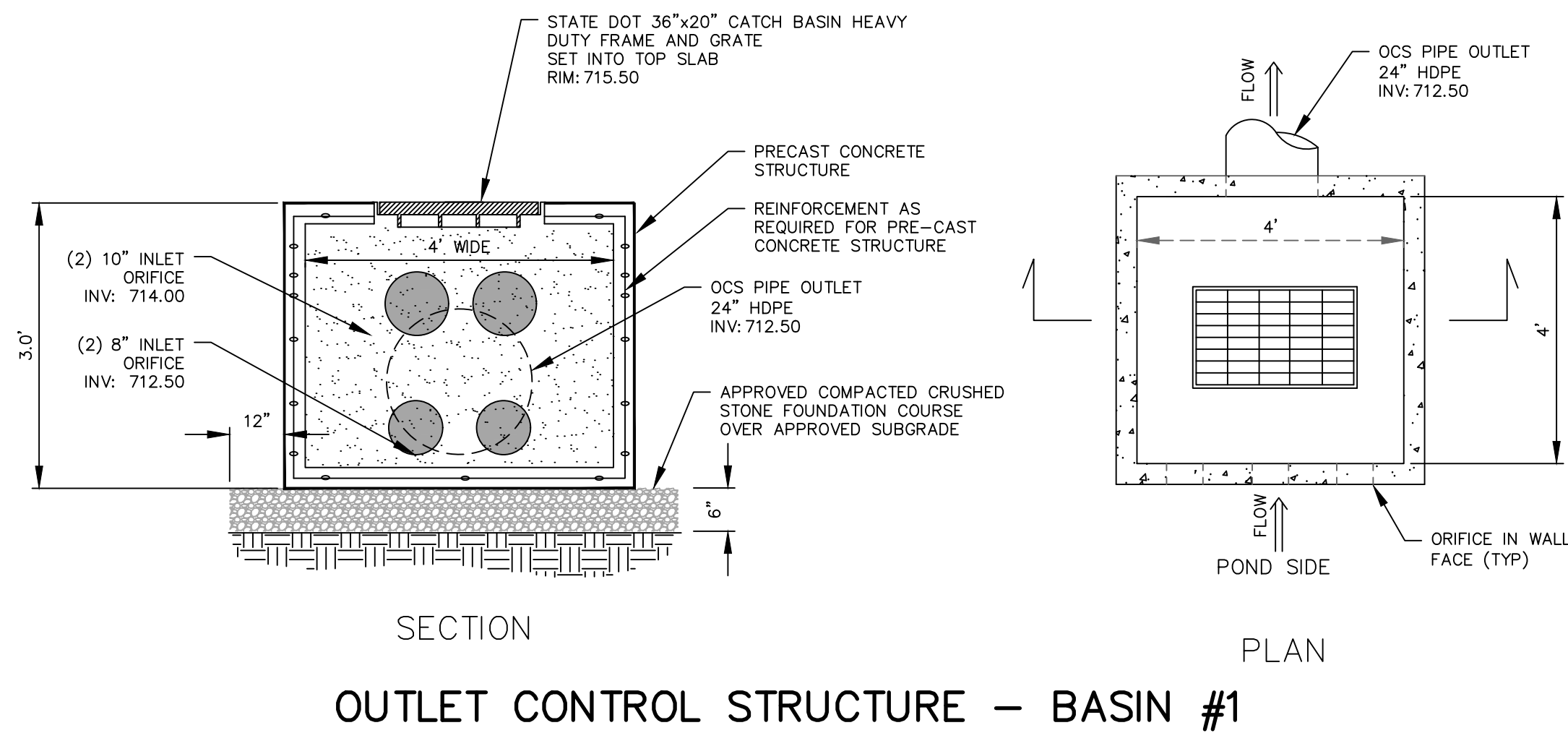
CIVIL C1
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101
 43 SHERMAN HILL ROAD
 WOODBURY CONNECTICUT (203) 266-0778

	DRWING: JL	APPROVED: CJ
	SCALE: AS NOTED	
	DATE: 4 DEC 20	
	PROJ. NO.: 3720	
	CARD FILE NAME: 3720	
C 4.3		

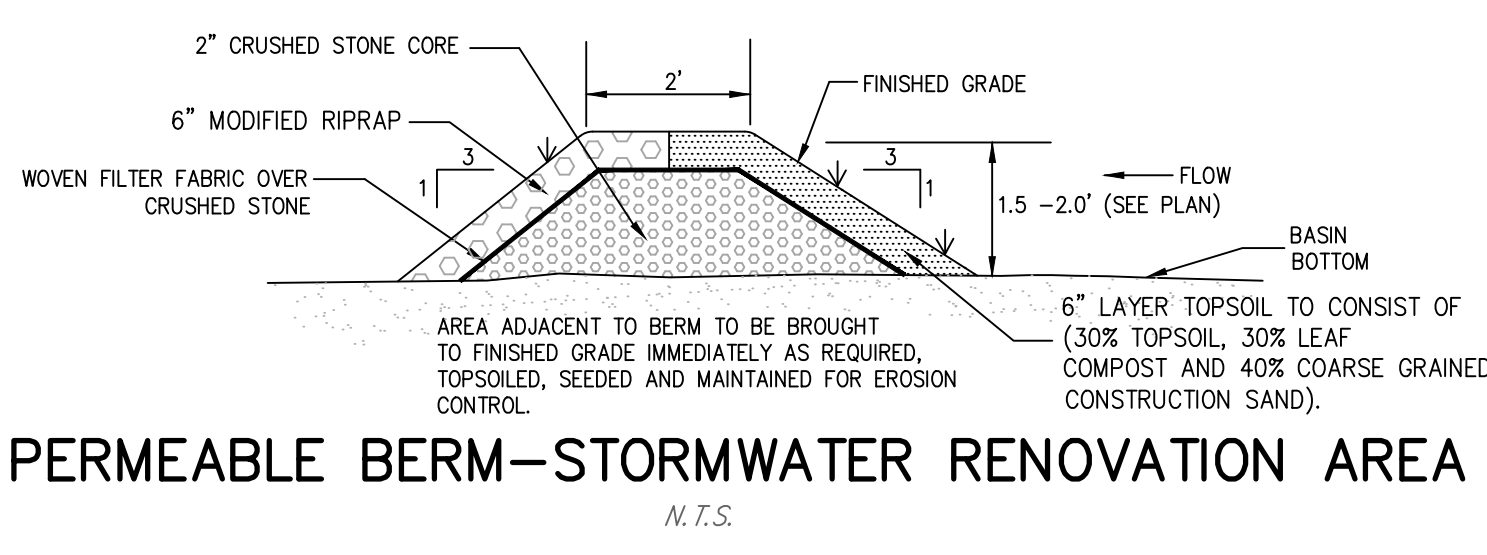


DRAINAGE PROFILE CB-1 TO FLARED E.S.

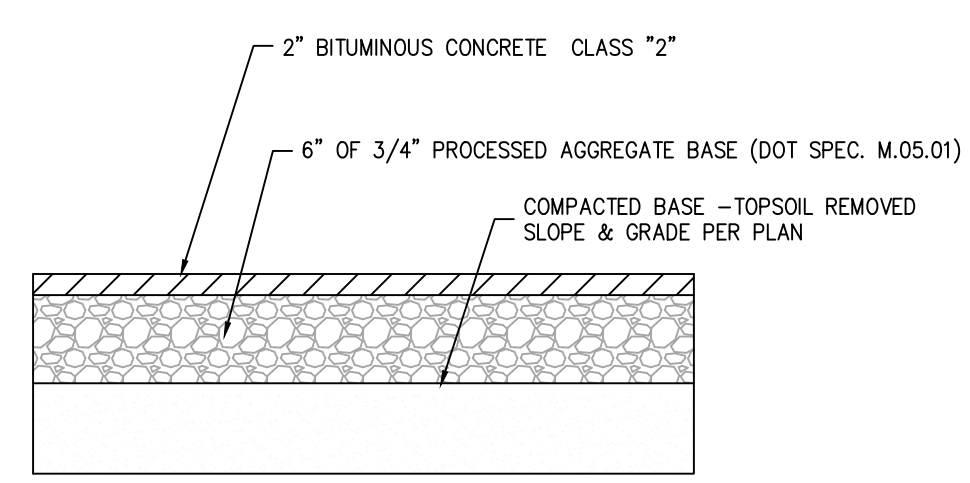
SCALE: 1"=40' HOR.
 1"= 3' VER.



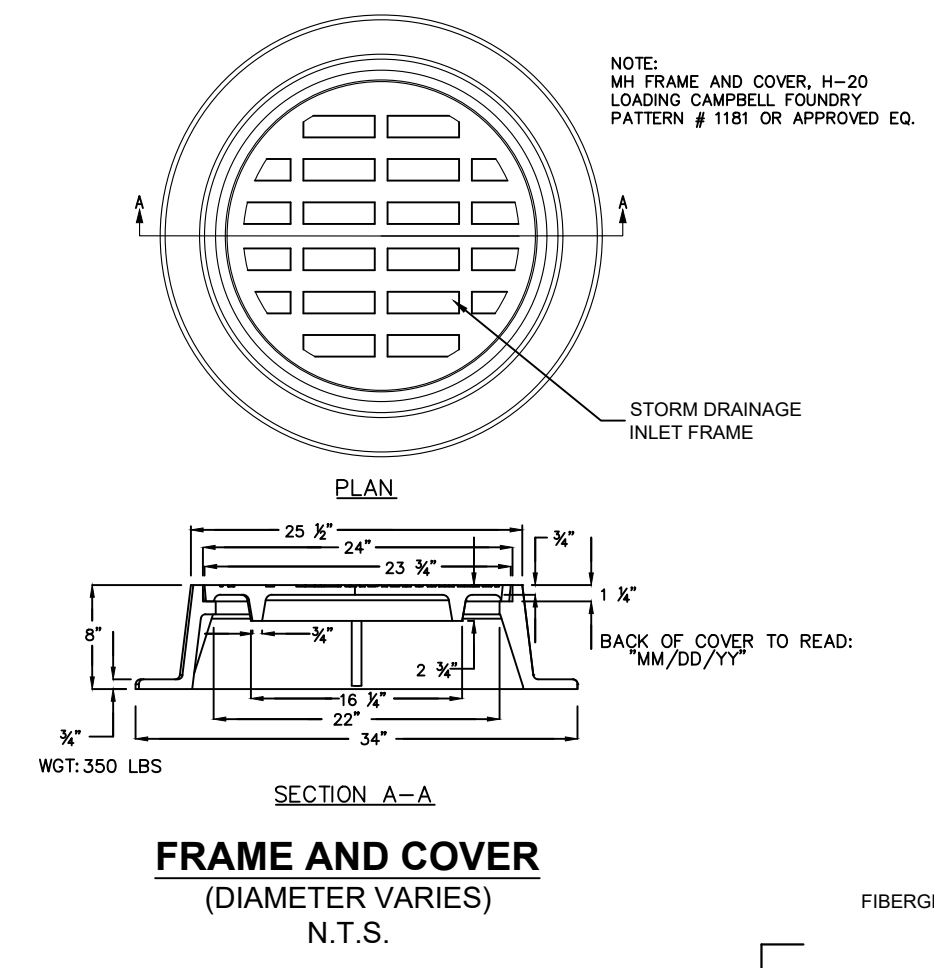
EMERGENCY SPILLWAY FOR STORMWATER BASINS
N.T.S.



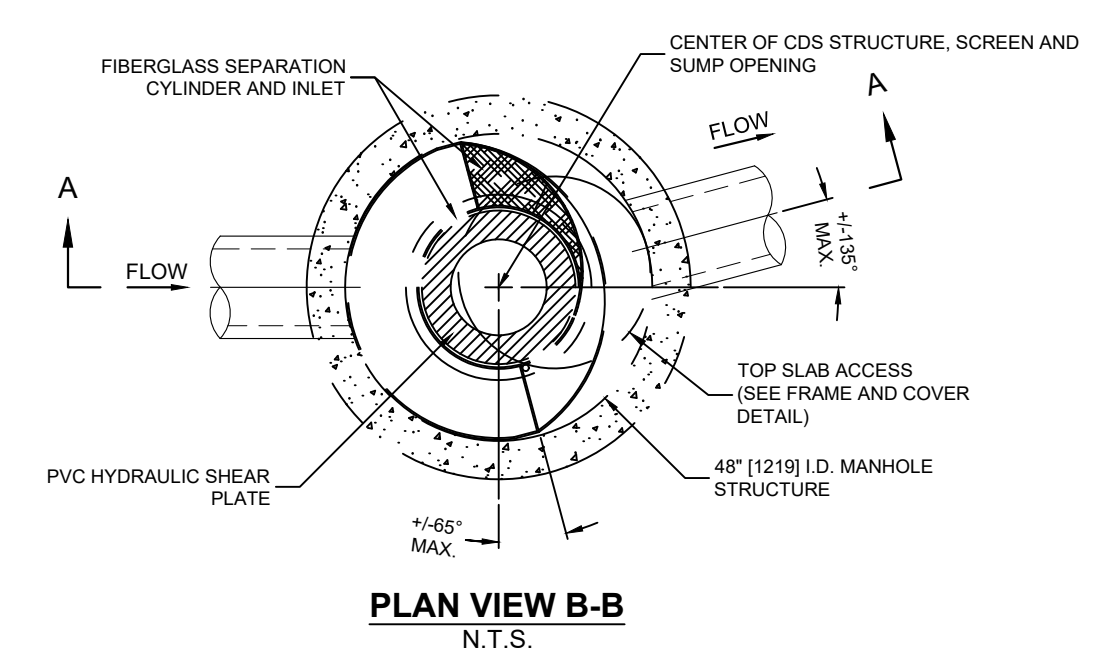
PERMEABLE BERM - STORMWATER RENOVATION AREA
N.T.S.



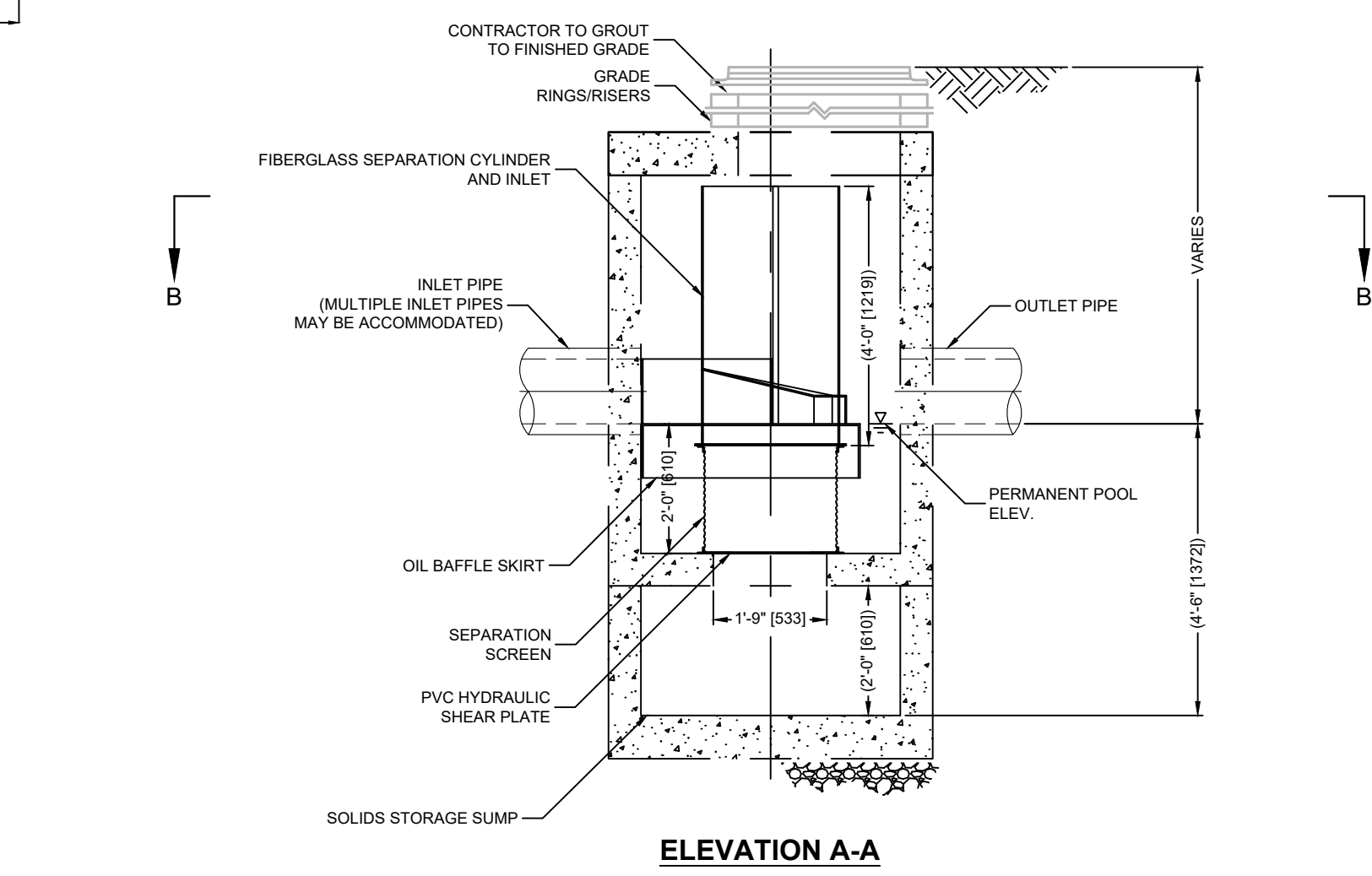
ACCESS DRIVE SECTION - FOR STORMWATER BASIN MAINTENANCE ACCESS
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



PLAN VIEW B-B
N.T.S.



ELEVATION A-A

CONTECH CDS3025-6-C DETAIL

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR EACH HYDRODYNAMIC SEPARATOR FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION
N.T.S.

NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
3	APPLICANT NAME CORRECTED	25 FEB 21
Previous Editions Obsolete		

OXFORD INDUSTRIES, LLC
20 OLD COUNTRY ROAD
OXFORD CT.

STORMWATER BASIN
AND DETAILS

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)

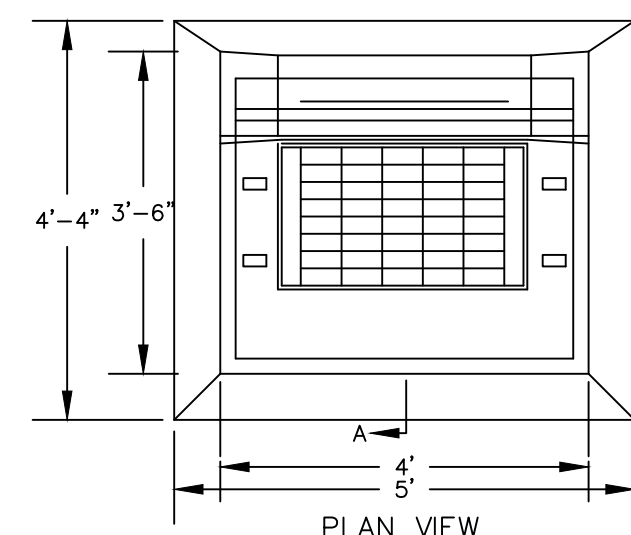
OXFORD CONNECTICUT

Civil 1

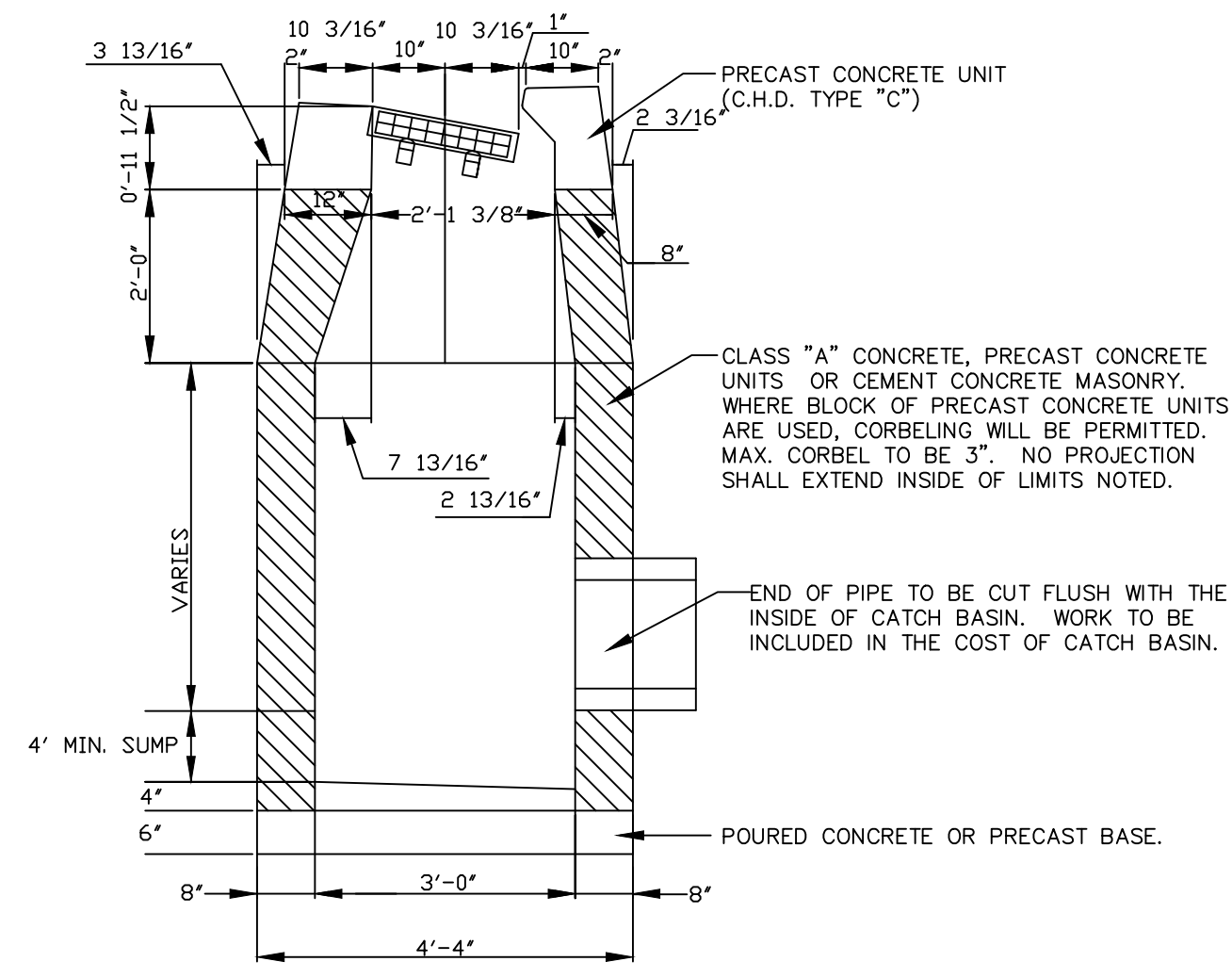
CORNERSTONE PROFESSIONAL PARK, SUITE D-101
43 SHERMAN HILL ROAD
WOODBURY CONNECTICUT (203) 266-0778

STATE OF CONNECTICUT
COURTIS C. JOHNSON
LICENSED PROFESSIONAL ENGINEER

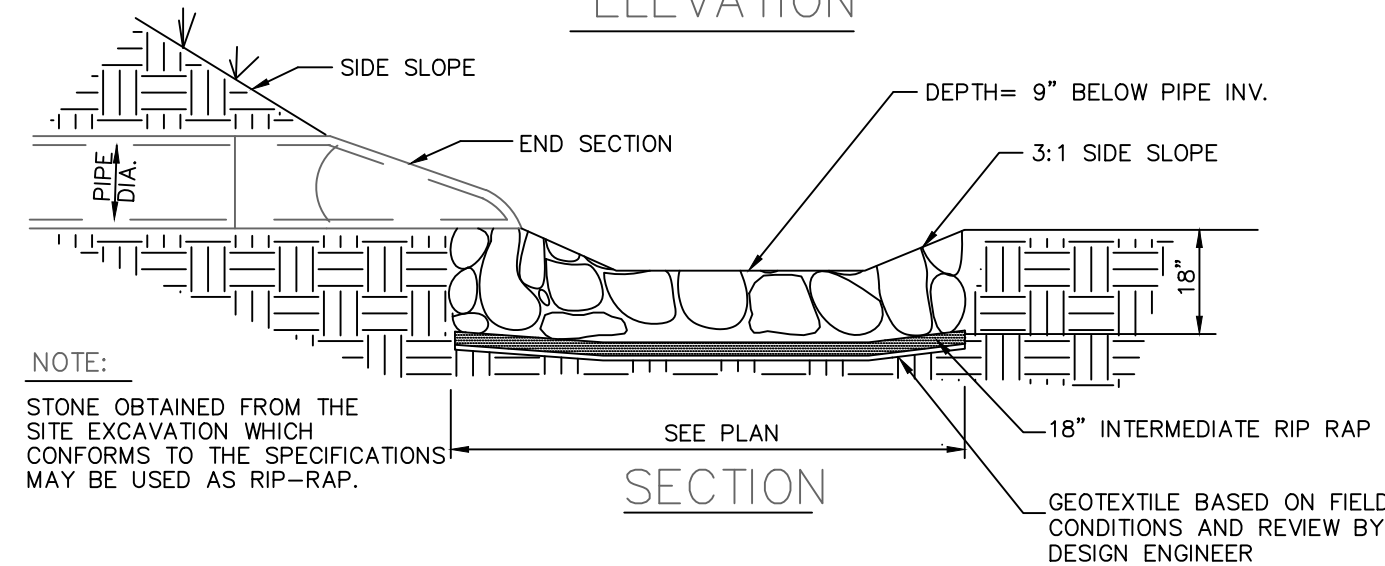
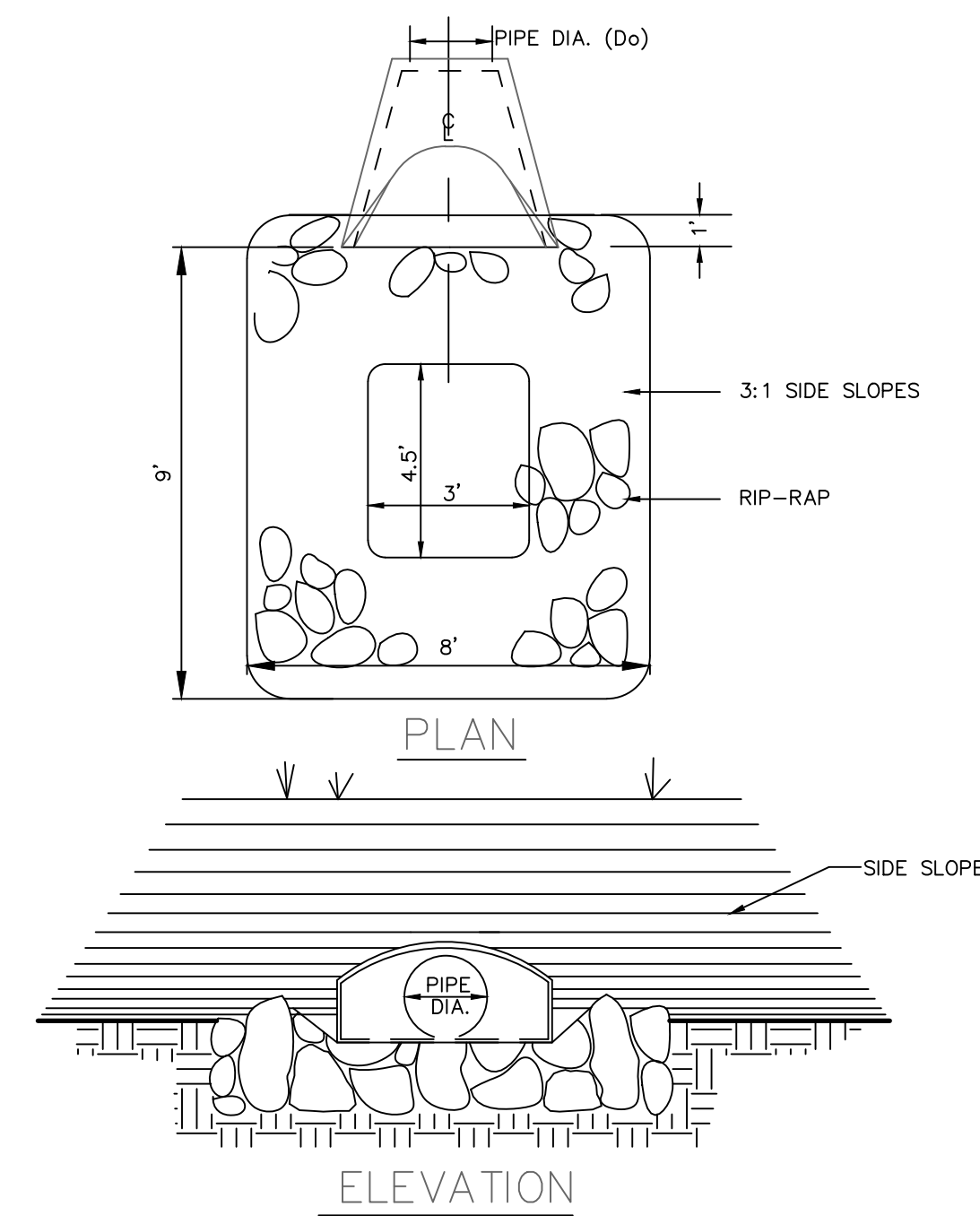
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SCALE: 1" = 40'
DATE: 4 DEC 20
DRAWING NAME: C5.3



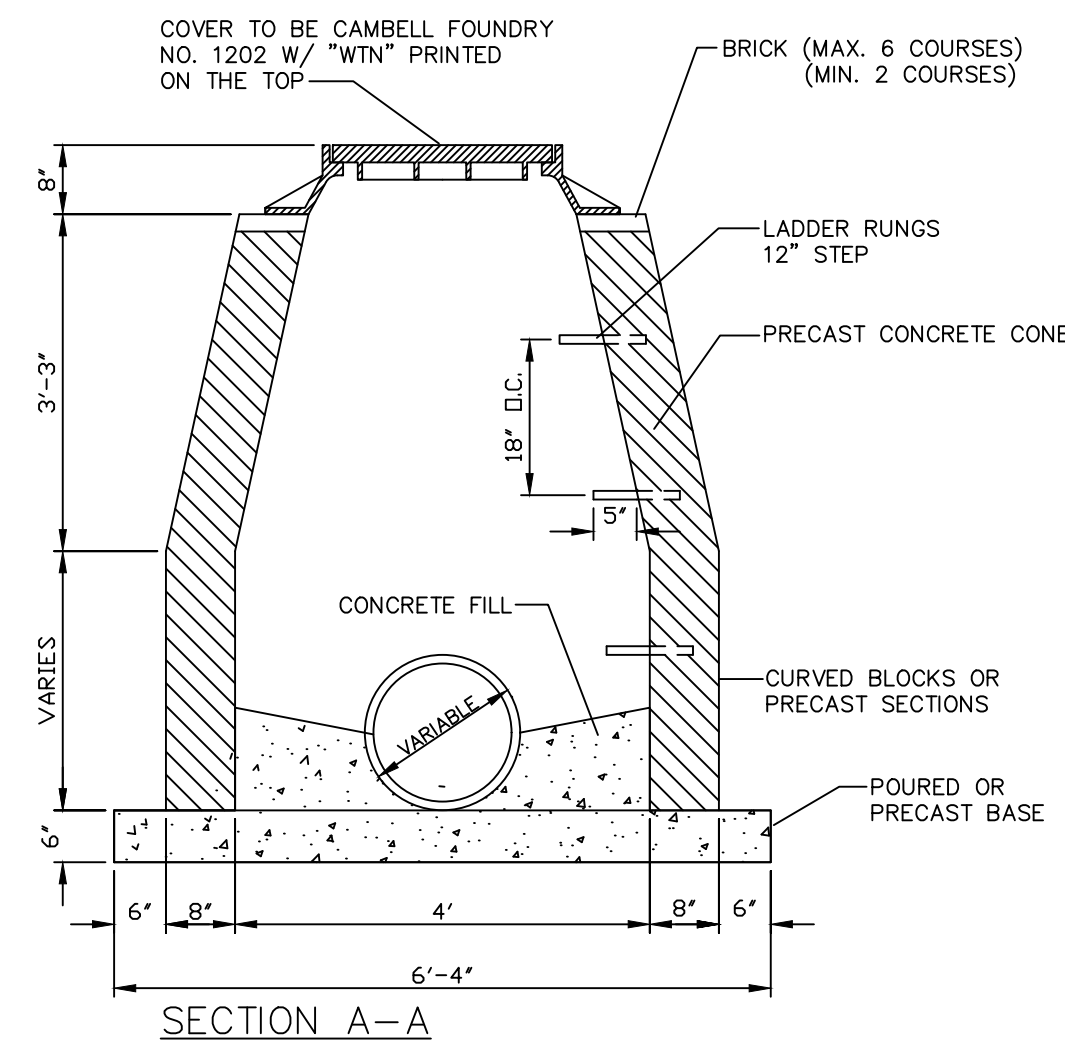
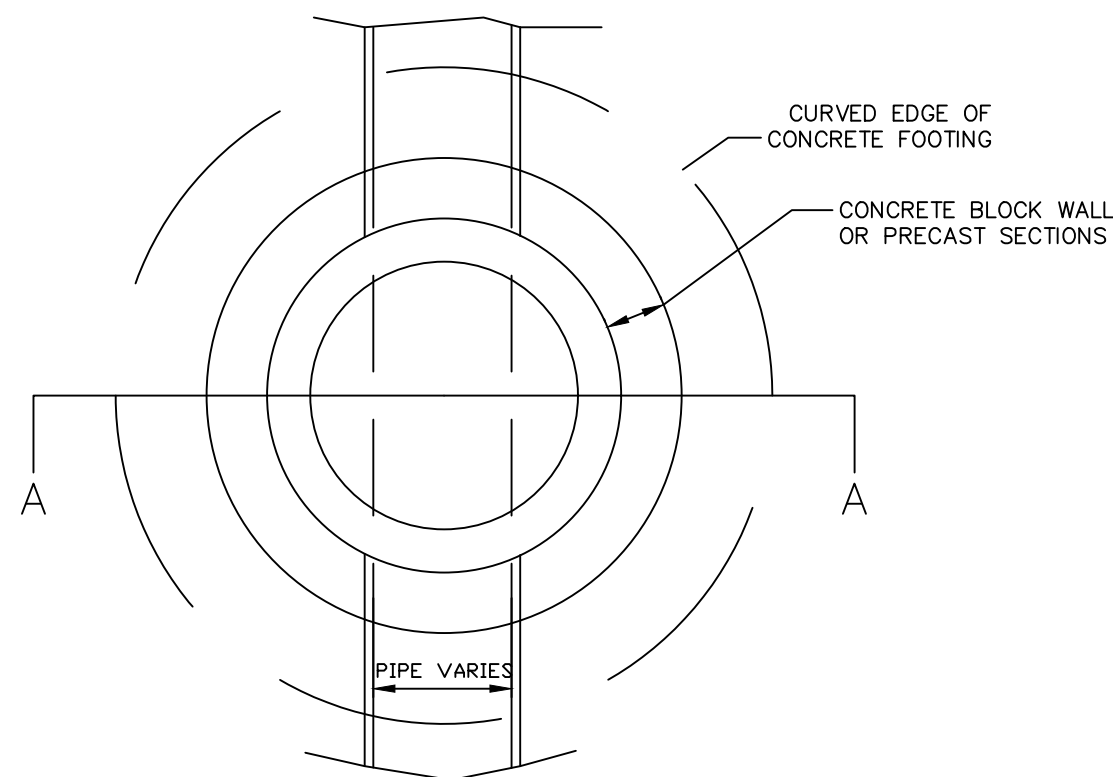
NOTE:
 1. OVER 10' DEEP SHALL BE INCREASED TO 12" THICKNESS.
 2. SUMPS MAY BE REQUIRED AT LOCATIONS SPECIFIED BY THE TOWN ENGINEER.
 3. BACKFILL BASINS WITH GRAVEL. LEAVE WEEP JOINTS AT LEVELS ABOVE TOP OF PIPE.



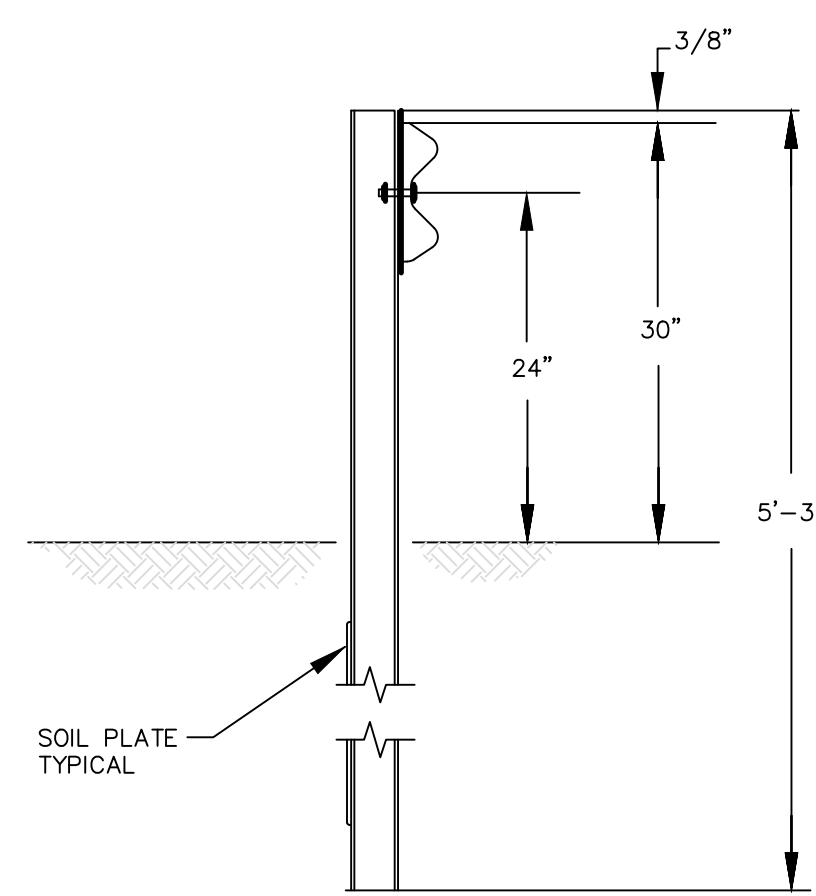
STANDARD TYPE "C" CATCH BASIN
 FOR USE WITHIN THE SITE
 N.T.S.



PREFORMED SCOUR HOLE
 (Concrete End Section)



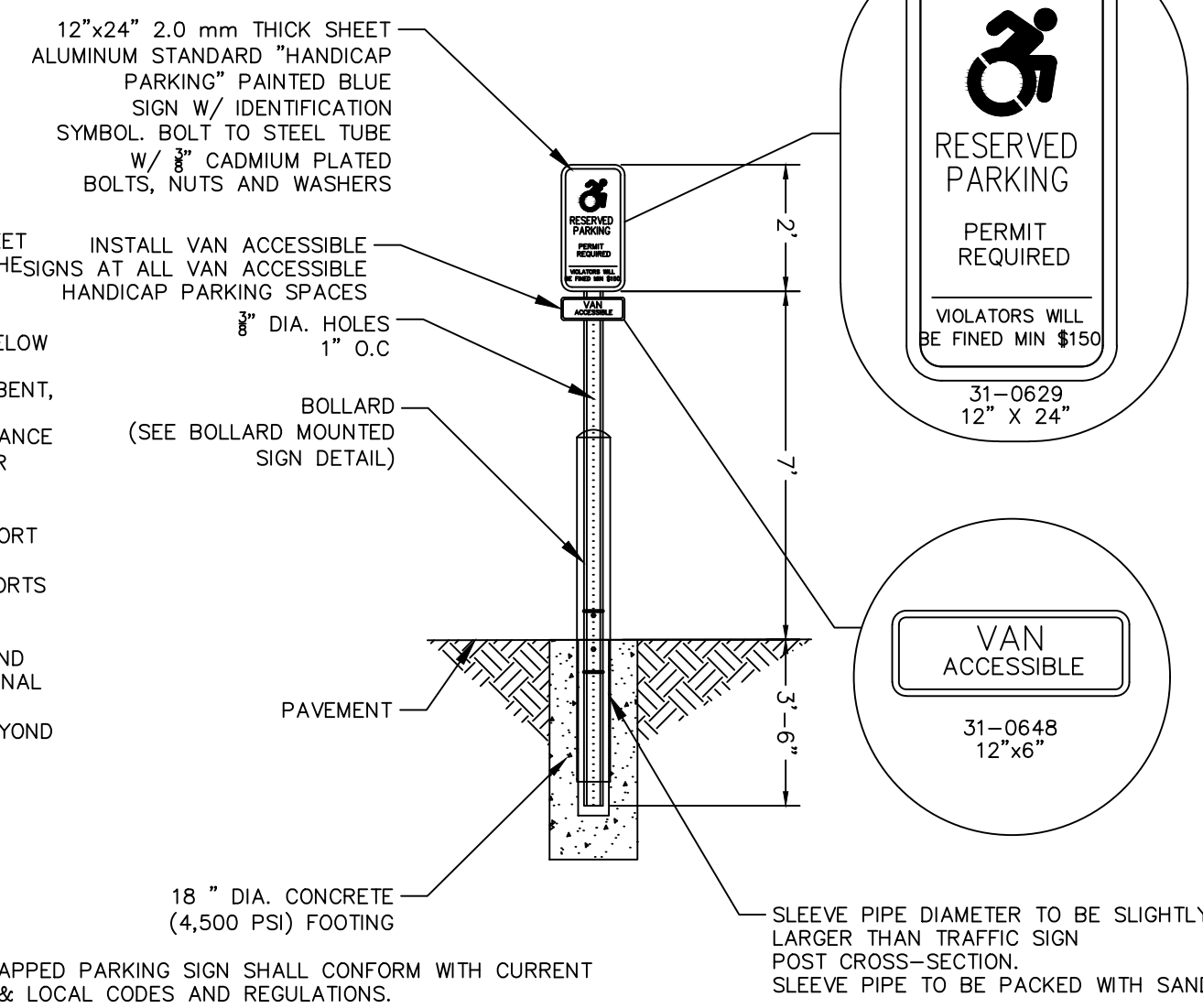
DRAINAGE MANHOLE
 WITHOUT SUMP



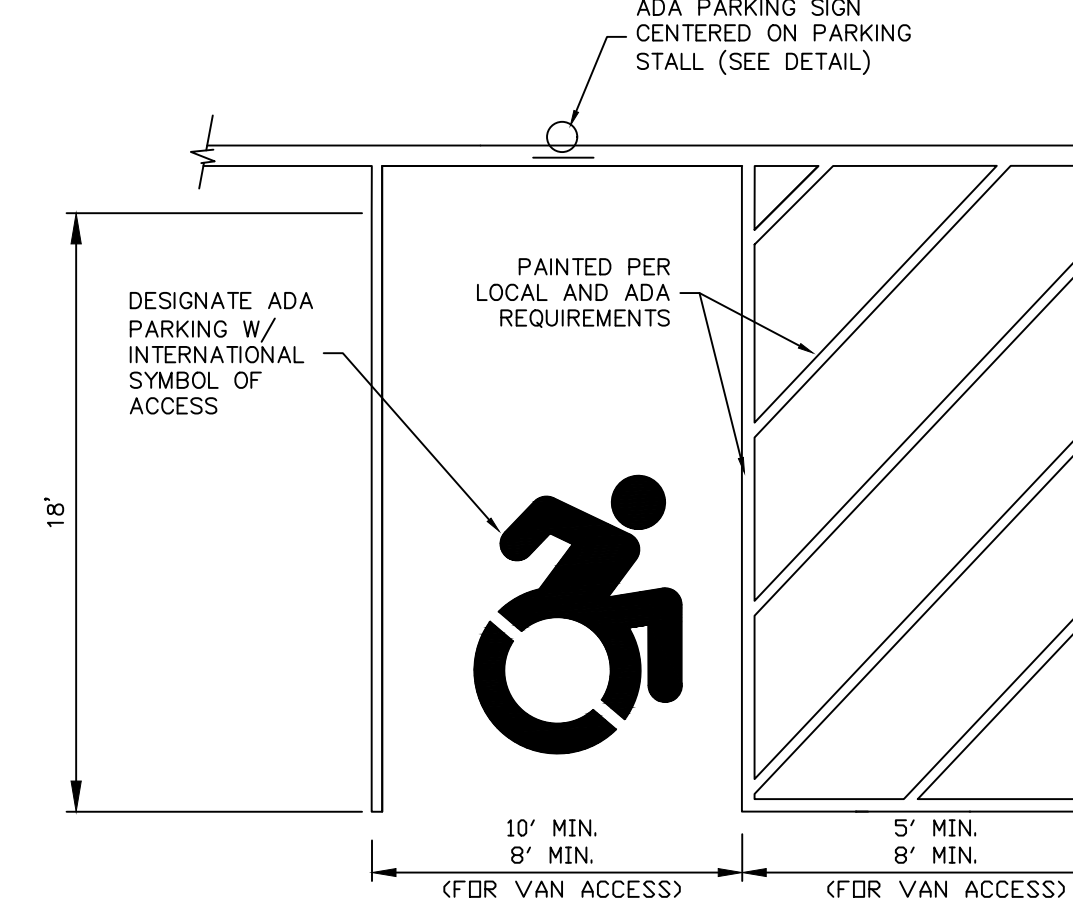
W-BEAM STEEL GUIDE RAIL
 N.T.S.

AASHTO DESIGNATION: G2
 POST TYPE: S3 x 5.7 STEEL
 POST SPACING: 12 FT
 BEAM TYPE: 12 GAGE W-BEAM
 MAXIMUM DYNAMIC DEFLECTION: APPROXIMATELY 6FT-6IN.
 REMARKS: BARRIER AS SHOWN IS TL-2. TL-3 DESIGN IS 26 IN. TO CENTER OF RAIL WITH W-BEAM RAIL SPLICES LOCATED MIDWAY BETWEEN POSTS. A STEEL BACK-UP PLATE IS USED AT ALL POSTS LOCATIONS.

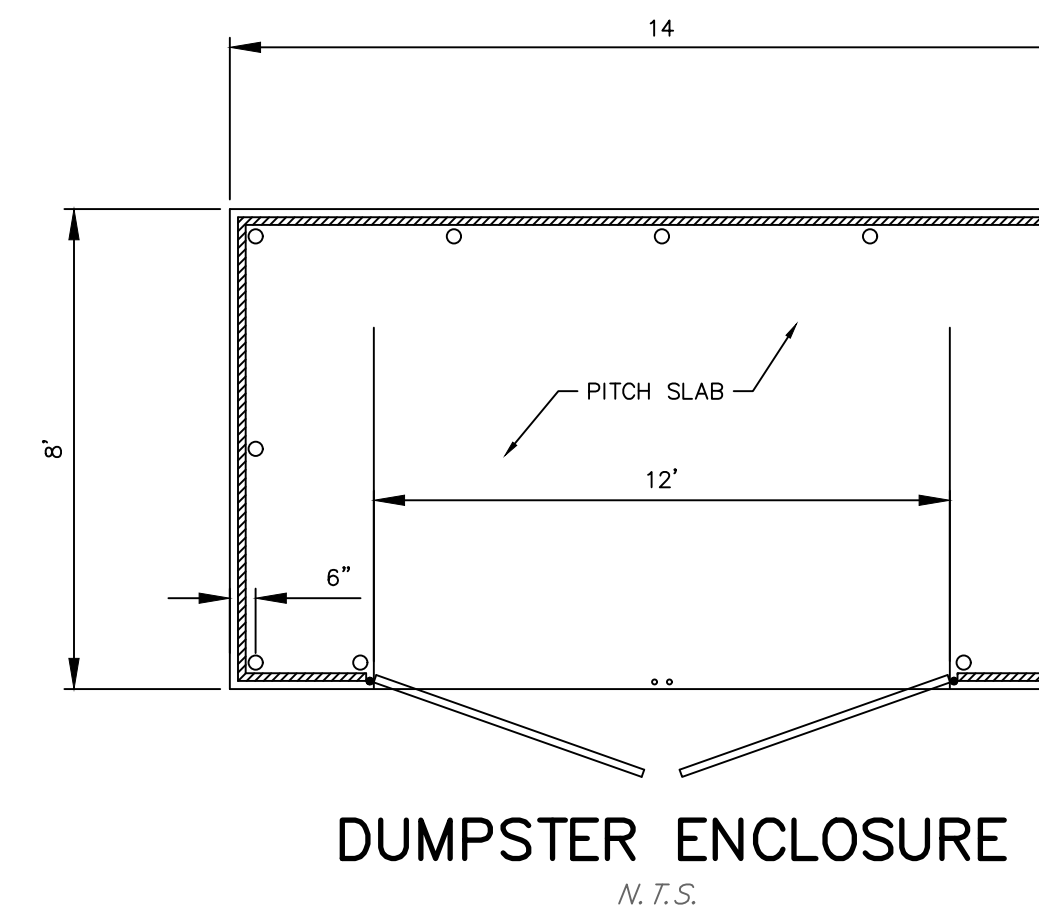
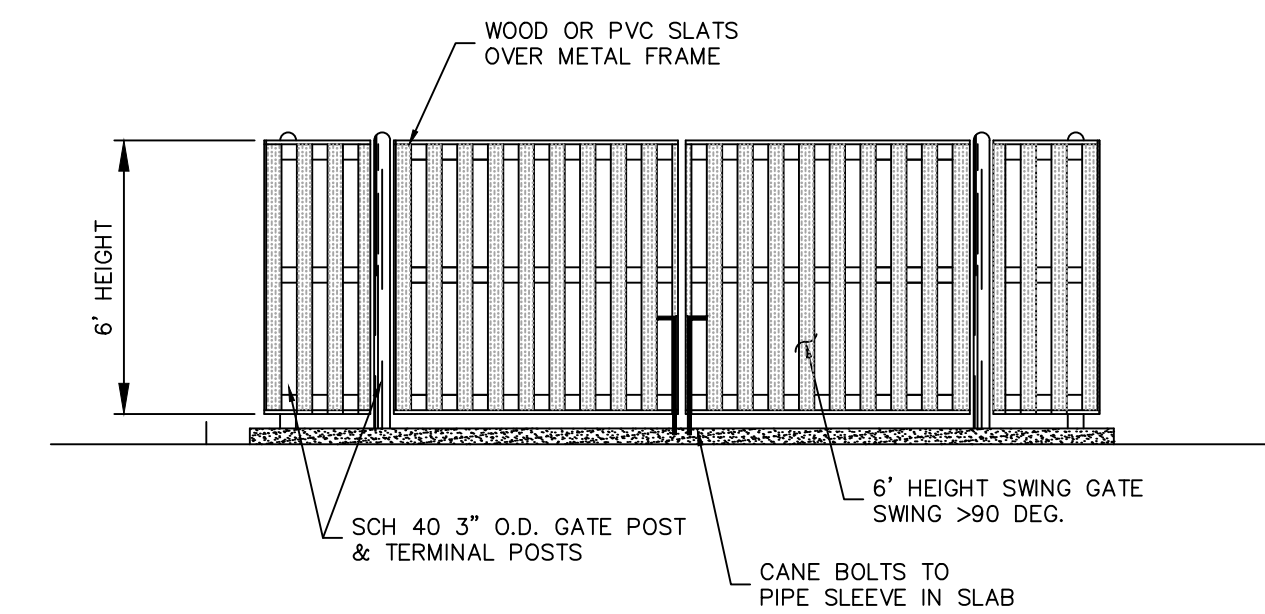
- NOTES:
 1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE SIGNS AT ALL VAN ACCESSIBLE HANDICAP PARKING SPACES.
 2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
 3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
 4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
 5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
 6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.



ADA ACCESSIBLE PARKING SIGN
 N.T.S.



ACCESSIBLE PARKING STALL STRIPING
 N.T.S.



DUMPSTER ENCLOSURE
 N.T.S.

NO.	REVISION	DATE
1	REVISED PER REVIEW BY N & Y	11 JAN 21
2	REVISED PER REVIEW BY N & Y	10 FEB 21
3	APPLICANT NAME CORRECTED	25 FEB 21
<i>Previous Editions Obsolete</i>		

OXFORD INDUSTRIES, LLC
 20 OLD COUNTRY ROAD
 OXFORD CT.

DETAILS

3 WOODRUFF HILL RD.
 (LOT 5)
7 WOODRUFF HILL RD.
 (LOT 6)

CIVIL C1
 CORNERSTONE PROFESSIONAL PARK, SUITE D-101
 43 SHERMAN HILL ROAD
 WOODBURY CONNECTICUT (203) 266-0778

STATE OF CONNECTICUT
 CURTIS C. JOHNSON
 No. 10206
 LICENSED PROFESSIONAL ENGINEER

DRAWN: JL APPROVED: CJ
 SCALE: 1" = 40'
 DATE: 4 DEC 20
 PROJ. NO.:
 CARD FILE NAME: 3720
 DRAWING NO.:
C5.4

ALTER
&
PEARSON, LLC
ATTORNEYS AT LAW

Christopher J. Smith
csmith@alterpearson.com

701 Hebron Avenue
P.O. Box 1530
Glastonbury, CT 06033

860.652.4020 TELEPHONE
860.652.4022 FACSIMILE

February 24, 2021

Via email

David T. Sauter, Chairman
Planning & Zoning Commission
Town of Oxford
Oxford Town Hall
486 Oxford Road
Oxford, Connecticut 06478-1298

Re: Request for five-year extension of time for site plan modification approval associated with Oxford Greens, Phase 4 East, for thirty-nine (39) units located on real property designated as Map 32; Block 11; Lot 16; in Oxford Greens, Oxford, Connecticut.

Approval: Z-16-028.

Owner / Applicant: Timberlake Investment Partners IV, LLC.

Dear Chairman Sauter and Members of the Commission:

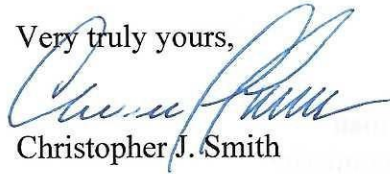
The undersigned Firm represents Timberlake Investment Partners IV, LLC ("Timberlake") concerning the above-referenced Approval for site plan modification. Work associated with the Approval has not commenced, and there has been no substantial or material change of circumstances concerning the subject real property. However, Timberlake anticipates proceeding with the approved work in the near future due to current economic conditions.

The Approval is set to expire on June 14, 2021, which is five years subsequent to the effective date of Approval by the Commission. (A copy of the Notice of Approval correspondence is enclosed for you convenience.) Therefore, Timberlake respectfully requests a five-year extension, as provided by law, whereby the Approval will expire on June 14, 2026.

Thank you for your anticipated cooperation and assistance concerning this matter.

As always, best regards.

Very truly yours,



Christopher J. Smith

cc: Timberlake Investment Partners IV, LLC (w/ enclosure)
Kevin H. McSherry, Esquire (w/enclosure)

16-002

TOWN OF OXFORD
PLANNING & ZONING COMMISSION
 S.B. Church Memorial Town Hall
 486 Oxford Road, Oxford, Connecticut 06478-1298
 Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov
www.Oxford-CT.gov

July 11, 2016

Shipman and Goodwin, LLP
 C/o Christopher J. Smith
 One Constitution Plaza
 Hartford, CT 06103-1919

Dear Attorney Smith,

At the Planning & Zoning Meeting held on June 7, 2016 the Commission took the following action on application **Z-16-028 – Oxford Greens Phase 4 East – Owner & Applicant: Timberlake Investment Partners IV, LLC** (Site Plan Modification):

MOTION BY Commission Secretary Pat Cocchiarella:

WHEREAS, The Oxford Planning and Zoning Commission have received Application Z-16-028 requesting site plan modification approval for Oxford Greens Phase 4 East.

WHEREAS, The Oxford Planning and Zoning Commission considered the following plans and maps, within their deliberations:

- Sheet PH-1 Oxford Greens Phasing Plan Drawn by TPA Design Group, last dated March 31, 2016.

NOW THEREFORE, the Commission hereby finds as follows:

1. The application is in conformance with the approved Oxford Greens
2. Conceptual Plan as revised.
3. The application conforms to all requirements of the Oxford Zoning regulations.

BE IT RESOLVED that based upon the application and testimony, this application is approved, subject to the following conditions:

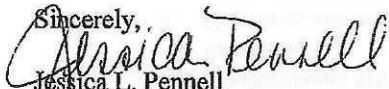
1. Compliance with Oxford Zoning Regulations as of this date.
2. Conformance with all representations made by the applicant or his agents, verbally and in writing.
3. Conformance with all other relevant provisions of the initial and subsequent approvals of the Oxford Greens Concept Plan
4. This application is approved with all standard applicable conditions.

This approval shall be effective June 14, 2016.

Second by Vice Chairman Jeff Luff. All Ayes.

Should you have any questions or concerns please contact me at (203) 828-6512.

Sincerely,



Jessica L. Pennell

Administrative Secretary

Planning & Zoning Commission

Mailed Certified Return/Receipt on 7/11/2016

7015 1520 0003 5252 6576

TOWN OF OXFORD

PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall

486 Oxford Road, Oxford, Connecticut 06478-1298

Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov

www.Oxford-CT.gov

July 11, 2016

Shipman and Goodwin, LLP
C/o Christopher J. Smith
One Constitution Plaza
Hartford, CT 06103-1919

Dear Attorney Smith,

At the Planning & Zoning Meeting held on June 7, 2016 the Commission took the following action on application **Z-16-029 – Oxford Greens Phase 4 East – Owner & Applicant: Timberlake Investment Partners IV, LLC (Site Plan)**:

MOTION BY Commission Secretary Pat Cocchiarella:

WHEREAS, The Oxford Planning and Zoning Commission have received Application Z-16-029 requesting site plan approval for Oxford Greens Phase 4 East.

WHEREAS, The Oxford Planning and Zoning Commission considered the following plans and maps, within their deliberations:

- Oxford Greens Phase 4 East Residential Development, 39 Homes, Drawn by TPA Design Group, last dated March 31, 2016.
- Sheet SU-1, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-2, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-3, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-4, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2003
- Sheet SU-5, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2004
- Sheet SU-6, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2004
- Sheet ECS-1 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated September 12, 2005
- Sheet ECS-2 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated September 12, 2005
- Sheet ECS-3 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated September 12, 2005
- Sheet OS-1, Overall Site Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet OSP-1, Open Space Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet WS-1, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016

- Sheet WS-2, Phase 4 East, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet K-1, Key Map, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet WS-1, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet PH-1, Phasing Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet EC-1, Existing Conditions Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet SP-1, Phase 4 East Site Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet LP -1 Phase 4 East Layout Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-1, Phase 4 East Erosion and Sedimentation Control Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-27, Erosion and Sedimentation Control Plan Details, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-28, Erosion and Sedimentation Control Plan Details, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-29, Erosion and Sedimentation Control Plan Narrative, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet G-1, Grading Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet U-1, Utility Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet P-28, Plan and Profile, Tillinghast Drive, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet P-29, Plan and Profile, Mackenzie Lane, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet PX-16, Cross Country Profiles, Tillinghast Drive and Mackenzie Lane, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet D-1 through D-21, Miscellaneous Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- *(Other documents as revised and presented at the June 7, 2016 PZC Meeting)*

NOW THEREFORE, the Commission hereby finds as follows:

The application is in conformance with the approved Oxford Greens Conceptual Plan as revised.

The application conforms to all requirements of the Oxford Zoning regulations.

BE IT RESOLVED, that based upon the application and testimony, this application is approved, subject to the following conditions:

1. Compliance with Oxford Zoning Regulations as of this date.
2. Conformance with all representations made by the applicant or his agents, verbally and in writing.
3. Last revised final plans showing all necessary changes must be approved by Planning and Zoning Engineer and the Zoning Enforcement Officer.

HAYNES

Development

February 16, 2021

WPCA and Planning & Zoning
Town of Oxford
SB Church Memorial Town Hall
486 Oxford Road
Oxford, CT 06478-1298

Re: Mountain Road Estates (Meadow Brook Estates)

To Whom It May Concern:

Please be informed that all Units at Meadow Brook Estates closed on or before November 2020.

We respectfully request any and all bonds be released for the above referenced project.

Thank you in advance for attention to this matter, should you have any questions please feel free to contact me directly at 203-376-7182.

Sincerely,

Kathy Ekstrom
Development Manager

ke



NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL
ENGINEERING & SURVEYING

September 10, 2020

Mr. David T. Sauter, Chairman
Planning and Zoning Commission
Town of Oxford
486 Oxford Road
Oxford, CT 06478

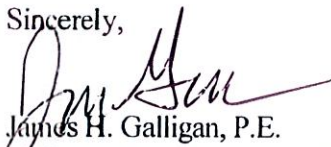
Re: Meadowbrook Estates, Oxford, CT

Dear Mr. Sauter:

Nafis & Young Engineers, Inc. (NYE) is in receipt of a request for release of a Performance Bond in the amount of \$300,000.00 for the above-referenced project. This project is still active as several units have not closed. NYE recommends that the Performance Bond for this project (400KF6036) be maintained for one (1) year after the last closing.

If you should have any questions, please feel free to reach out to me at 203-314-8041.

Sincerely,



James H. Galligan, P.E.
Nafis & Young Engineers, Inc.
Town Engineer of Oxford

PLANNING & ZONING COMMISSION
TOWN OF OXFORD
 486 Oxford Road
 Oxford, CT 06478
 (203) 888-2543

Z#: 2-19-328-B
 Date Rec'd: _____
 Date on Agenda: 3-2-2021
 65-Day Expiration: _____

ZONING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification

Street Address: 308 Oxford Rd
 Subdivision Name: _____ Date Approved: _____
 Map: 34 Block: 9 Lot: 20 Zoning district: Comm.

Owner/Applicant

Owner Name: Walter Archer / Little River Assoc.
 Owner Address: 49 Burtville Ave #2 Derby
 Owner Telephone: 203 736-0644
 Applicant Name: ELAINE MARCUCCIO
 Applicant Address: 22 PRAIRIE AVE, DERBY
 Applicant Telephone: 203 887-5047

Miscellaneous Information

Special Exception: Article _____ Section _____ Yes No
 Site Plan Approval: Article _____ Section _____ Yes No
 Estimated Cost of Construction: _____
 Variance Granted: _____ Date Granted: _____

Signatures/Authorization

Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

[Signature]
 Property Owner or Agent

2/15/2021
 Date

2-19-328A Town Fee
200.00 State Fee
 Total Fee

*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied Approved By: Steven J. Macy Date: 2/18/21
 Title: _____

Reason for Denial _____

Purpose

- New Home
- Addition
- Garage
- Cottage Business
- Swimming Pool IG AG
- Sign
- Shed
- Barn
- Change of Use
- Excavating/Filling
- Trailer
- Other _____

Use

- Single-Family Residence
- Multi-Family Residence
- Commercial
- Industrial
- Residential/POD
- Other _____

Required Approvals and Dates

- Inland Wetlands _____
- P.D.D.H. _____
- Fire Marshal _____
- Z.B.A. _____
- W.P.C.A. _____
- Floodplain _____
- Copy of Deed _____
- Driveway _____
- Erosion Control Plan _____
- Plot Plan * _____
- Other _____



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning and Zoning Commission

Application #: Z-19-328 B
Date: 2/15/2021

STATEMENT OF USE

Article 11, Section 2

Property Address: 308 Oxford Rd Zone: Comm Map: 34 Block: 9 Lot: 2B

Name and Address of Owner: Walter Archer 49 Birtville Ave #2 Derby, CT 06418

Name and Address of Applicant: Elaine Marcucio

Name of Proposed Business: New England Yung at Heart D/B/H Marcucio's Farm Market

Total Square Footage: 1,000

Hours of Operation: Thurs-Fri 11-3pm Sat 10-3pm

Number of Employees: 1

List Hazardous and/or Chemicals Material on site:

Provide Approval from: PDDH _____ Fire Marshal _____ Other _____

see Attached

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

Elaine Marcucio

Applicant's Signature

2/15/2021

Date



Jessica Pennell <pandz@oxford-ct.gov>

Fwd: Add to statement of use

1 message

Steve Macary <zoningenforce@oxford-ct.gov>
To: Jessica Pennell <PandZ@oxford-ct.gov>

Fri, Feb 26, 2021 at 8:17 AM

----- Forwarded message -----

From: **NE Young at Heart** <neyoungatheart@gmail.com>
Date: Fri, Feb 26, 2021 at 6:25 AM
Subject: Add to statement of use
To: Steve Macary <zoningenforce@oxford-ct.gov>
Cc: George Temple <firstselectman@oxford-ct.gov>

Steve ,

For my statement of use i would like to add the following please.

Hours are as follows

Thursday, Friday 11 to 3pm

Saturday 10 to 3 pm

Connecticut locally farmed, made and sourced items will be sold outside during these hours . These are the same vendors products I carry in the market however during the hours listed above the vendor is allowed to set up outside on the lawn of the market to promote his/her products.

The market is applying for liquor liscense to sell Only CT farm wines , craft beers and products from local distilleries.

All the sales from the market will be put back into the Senior Meal Program that not only serves approx 100 Oxford residents weekly but surrounding towns.

The meals are made fresh and sourced from local farms . The market is supporting local farms , residents and our senior population by offering low cost , healthy meal programs at senior centers and home meal service for those who are homebound.

I appreciate the town's approval for this program.

This will be a certified farm market with Department of Agriculture, in order for that to happen i need a minimum of 2 farms outside selling items during business hours.

Also will the liquor permit be on this in order for me to apply i need Town clearance first to sign off on paperwork.

And it will still take 90 days for approval from state .

So I would like to get it done.

Thanks for your help

I just want to cover all bases.

E

2/05/2021

New England Young at Heart DBA
Marcucio's Farm Market & Country Store
308 Oxford Rd
Oxford , CT 06478

Owner Elaine Marcucio / 203-463-8339

Store hours : Thursday & Friday 11-3pm Saturday 10-3pm

Saturday (only) will continue to host our vendors no more than 20 vendors on property same as
2020 From March 15, 2021 to December 30, 2021 *FARM market*

Dad's Cannoli Truck on premise on Saturday during 10-3pm hours

One employee

Products that will be sold:

Local Tea, Honey , Coffee, Chocolate

Cold products to be sold Soup & Prepared Meals

The Farm Market will help to offset the costs for the senior home meal delivery program that
serves approximately 100 + seniors weekly at a low cost .

4 Picnic tables will be placed outside

** Applying for liquor license to
sell Local ^{Farm} wines #*

Sign is 40"x 72" MDO wood with vinyl lettering
Double sided installed on 2) new 4x4 posts
Installed in soft ground with cement. = \$450.00+tax

308

MARCUCIO'S FARM MARKET

NEW ENGLAND
Young at HeartTM
Live Well, Laugh Often, Love Much

TOWN OF OXFORD
PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov
www.Oxford-CT.gov



APPLICANT ACKNOWLEDGEMENT FORM (AAF)

I, Elaine Marcuccio, have read and reviewed the Oxford Planning and Zoning regulations relevant to Application # _____, including, but not limited to:

Applicant acknowledges that failure to comply with Oxford Planning and Zoning regulations may lead to delays, additional fees, and/or other penalties related to the application. Applicant acknowledges receiving a copy of completed Form AAF.

BEFORE SIGNING, APPLICANTS PLEASE NOTE:

- i. if an individual, that the signer is the applicant; or
- ii. if an entity (e.g. corporation, llc, partnership, trust, association) that he or she is legally authorized to sign on behalf

Applicant Name (please print)

ELAINE MARCUCCIO

Applicant Signature

[Signature]

Date: 12/15/19

Witness Name

Witness Signature

[Signature] SM 2/18/21

Date: 12-16-19



**TOWN OF OXFORD
PLANNING & ZONING COMMISSION**
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298
www.Oxford-CT.gov

Planning & Zoning Commission
Regular Meeting Minutes
Tuesday, February 2, 2021
7:30 PM - Online/Virtual Meeting

The Planning & Zoning Commission met remotely on Tuesday, February 2, 2021 at 7:30 PM.

Members of the public were able to join us online using the following information:

Join Zoom Meeting:

<https://us02web.zoom.us/j/89944797563?pwd=MFE2dy9nY1VHK084ck5WOHN5SUZ0Zz09>

Meeting ID: 899 4479 7563

Passcode: 213798

OR:

Join by Phone Number:

+1 646 558 8656

I. CALL TO ORDER

Chairman Dave Sauter called the meeting to order at 7:31 PM.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Present: Joshua Dykstra, Pete Zbras, John Kerwin, Pat Cocchiarella, and Brett Olbrys.

Also Present: Jessica Pennell, Steve Macary, ZEO, and Kevin McSherry, Land Use Counsel.

Not Present: Dan Wall, Jesse Schremmer, and Mary LoPresti.

IV. SEATING OF ALTERNATES

Chairman Dave Sauter seated Alternate Joshua Dykstra for Commissioner Jesse Schremmer.

V. PUBLIC HEARINGS

- A. Recessed Public Hearings – NONE
- B. New Public Hearings – NONE
- C. Future Public Hearings - NONE

VI. REGULAR MEETING BUSINESS

A. Amendments to the Agenda

B. Audience of Citizens

C. Correspondence - NONE

D. Old Business – Matters on which a Public Hearing was held – NONE

E. Old Business – Other Matters - NONE

F. New Business – Schedule a Public Hearing – NONE

G. New Business:

1. **Z-21-012 [IND] – 3 Woodruff Hill Road, aka Lot 5** - Owner: Town of Oxford – 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)
2. **Z-21-013 [IND] – 7 Woodruff Hill Road, aka Lot 6** - Owner: Town of Oxford – 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)

Brian Baker of Civil 1 represented the applicant, Darin Bouchard. He explained that there are two (2) applications that apply to adjacent lots. The applicant is under contract to purchase both lots from the Town. He shared his screen with the Commission, which depicted the maps and plans submitted with the applications. He went over the site plan and noted that the applicant is building two (2) buildings. A 26,500 square foot building is planned for Lot 6, and an 11,200 square foot building is planned for Lot 5. He went over the Statement of Use with the Commission, noting this is a volume reduction facility. The applicant recycles asphalt shingles and construction debris, and processes it into raw materials. He also noted that all processing and storage of vehicles would be inside of the building. He stated that the smaller building would be for offices and the storage of vehicles, and the larger building would be the processing facility. He noted that the applications received wetlands approval. He also briefly discussed the detention basins, drainage, grading, and soil and erosion control plan.

Darin Bouchard, applicant was present to answer any questions from the Commission.

Brian Baker presented an architectural rendering of the site and buildings to the Commission.

Vice-Chairman John Kerwin reiterated Mr. Baker's explanation of the application and questioned if the lots are zoned industrial.

Darin Bouchard agreed with the statements made by Vice-Chairman John Kerwin. He explained how the facility recycles the materials to produce the final product.

Vice-Chairman John Kerwin questioned the type of equipment that would be located in the larger building.

Darin Bouchard listed the types of machinery used to recycle the asphalt and other construction debris.

Vice-Chairman John Kerwin questioned if other regulatory agencies would be overseeing the operation.

Darin Bouchard stated that DEEP, and OSHA would oversee the facility.

Commission Secretary Pat Cocchiarella noted that there is not a landscaping plan included in the plans.

Brian Baker stated that the landscaping plan is included and pointed out the landscaped areas to the Commission.

Commissioner Pete Zbras questioned if the applicant would be making shingle from the recycled asphalt. He also questioned if there would be any odors emitted during the recycling process.

Darin Bouchard stated that they do not make shingles, and that there is no heat involved in the process.

Commissioners and the applicant discussed the truck traffic for the proposed sites.

Alternate Commissioner Joshua Dykstra asked if there was a proposed lighting plan.

Brian Baker stated that the lighting plan includes full mounted led lighting that is dark sky compliant.

Chairman Dave Sauter stated that these applications would be referred to Jim Galligan, Land Use Engineer.

Brian Baker stated that this is an integral project, so the applications need to be discussed together for legal and financial reasons.

MOTION BY Vice-Chairman John Kerwin to refer Application Z-21-012 to Jim Galligan for review.

Second by Commissioner Pete Zbras.

All Ayes.

Motion passed unanimously.

MOTION BY Commission Secretary Pat Cocchiarella to refer Application Z-21-013 to Jim Galligan for review.

Second by Alternate Commissioner Joshua Dykstra.

All Ayes.

Motion passed unanimously.

MOTION BY Vice-Chairman John Kerwin to table the application Z-21-012 and Z-21-013 to the next regular meeting.

Second by Commission Secretary Pat Cocchiarella.

All Ayes.

Motion passed unanimously.

H. New Business – Other - NONE

H. Zoning Enforcement

1. Good Hill Road – Discussion/Update

Commissioners and Steve Macary, ZEO discussed the activity occurring on Good Hill Road.

Vice-Chairman John Kerwin presented a memo that he prepared to the Commission regarding the Right to Farm Ordinance. He briefly addressed the points made in the memo relating to land that designated as a “farm”. He explained that the property on Good Hill Road, if they do legitimate farming activities, such as

harvesting timber, they can also do the subsidiary activity of breaking it down into firewood. He noted that even if they are a farm, they are still subject to zoning control. He also stated that under the Town of Oxford Zoning Regulations, farming is allowed in a residential zone, it is not permitted because of the Right to Farm statute, it is permitted by the residential regulations. He stated that Mr. Drayton has to comply with the zoning regulations. He referred to photos that are included with his memo.

Vice-Chairman John Kerwin discussed the history of the violation, which began last year. He stated he and Dave have discussed some ideas regarding a spreadsheet for the ZEO to keep the complaints, actions, and any other documentation in order.

Steve Macary, ZEO asked Commissioners what they are looking for regarding documentation for this complaint. He stated that he has a second set of photos from two (2) weeks ago, and the processing equipment is still there.

Chairman Dave Sauter questioned if the volume of wood on the property has decreased in the last two (2) weeks.

Steve Macary, ZEO stated that the volume has gone down, but a lot of wood remains on the property.

Commissioner Brett Olbrys questioned if the order was to clean up the property or stop bringing in wood.

Commissioners discussed that the order stated that he could, he was not allowed to import any more timber onto the property for processing. They requested that Steve Macary, ZEO, visit the property every two (2) weeks for two (2) months and have an update for the Commission for every meeting unit the end of March.

Commissioners agreed that a folder for the ZEO should be created on the shared drive.

Steve Macary, ZEO and Commissioners also discussed briefly how to handle anonymous complaints and trailers at Under the Rock Park.

J. Minutes

1. January 19, 2021 Regular Meeting Minutes

MOTION BY Commission Secretary Pat Cocchiarella to table the January 19, 2021 regular meeting minutes.

Second by Commissioner Pete Zbras.

All Ayes.

Motion passed unanimously.

K. Invoices - NONE

L. Other Business:

Attorney Kevin McSherry addressed the following items:

1. Moose Hill Estates – Referred to Attorney McSherry

Attorney McSherry discussed the process for abandoning the subdivision and the release of Town property back to the property owner. He noted that the Planning & Zoning Commission, and Board of Selectmen and would need to take action in order for the request to move forward. He also stated that he would speak to Attorney Kevin Condon regarding this item.

Commissioners agreed that they would like to inquire about how the land, if returned to the owner, would be used in the future.

2. Riverview Subdivision – Referred to Attorney McSherry

Attorney McSherry stated that he sent a letter to Jesse Judson, and he has not yet received a response.

Attorney McSherry also informed the Commission that he has filed several appearances for applications that have been appealed in court.

3. Any other business the Commission deems necessary for discussion.

M. Adjournment

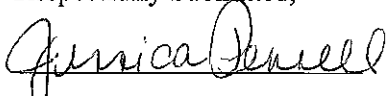
MOTION BY Commission Secretary Pat Cocchiarella to adjourn the meeting at 8:46 PM.

Second by Vice-Chairman John Kerwin.

All Ayes.

Motion passed unanimously.

Respectfully Submitted,



Jessica Pennell, Coordinator
Planning & Zoning Commission

21 MAR - 1 PM 4:02
TOWN OF OXFORD, CT
Patricia A. West
TOWN CLERK