

TOWN OF OXFORD PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov

Planning & Zoning Commission
Regular Meeting Agenda
Tuesday, March 2, 2021
7:30 PM - Online/Virtual Meeting

The Planning & Zoning Commission will meet remotely on Tuesday, March 2, 2021, at 7:30 PM.

Members of the public and applicants that would like to join us online can access the meeting using the following information:

Join Zoom Meeting:

https://us02web.zoom.us/j/3942397953?pwd=blZ1S1NHYlBJcmROTjFFdlpjWnJzZz09

Meeting ID: 394 239 7953

Passcode: 6yrtBB

One tap mobile:

+ 1 646 558 8656

Dial by your location:

+1 646 558 8656

Meeting ID: 394 239 7953

Passcode: 116891

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. SEATING OF ALTERNATES
- V. PUBLIC HEARINGS
 - A. Recessed Public Hearings NONE
 - **B.** New Public Hearings- NONE
 - C. Future Public Hearings NONE
- VI. REGULAR MEETING BUSINESS

- A. Amendments to the Agenda NONE
- B. Audience of Citizens (Items not listed on the Agenda)
- C. Correspondence
- D. Old Business Matters on which a Public Hearing was held NONE
- E. Old Business Other Matters
 - Z-21-012 [IND] 3 Woodruff Hill Road, aka Lot 5 Owner: Town of Oxford –
 486 Oxford Road, Oxford, CT Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford,
 CT (Site Plan Application)
 - Z-21-013 [IND] 7 Woodruff Hill Road, aka Lot 6 Owner: Town of Oxford 486 Oxford Road, Oxford, CT Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)
- F. New Business Schedule a Public Hearing NONE
- G. New Business
 - 1. <u>Z-16-028 [RGCD] Oxford Greens Phase 4 East</u> Owner & Applicant: Timberlake Investment Partners, IV, LLC (*Request for Extension of Expiration Date*)
 - 2. <u>Z-02-267 [RESA] Mountain Road Estates, LLC</u> Great Hill Road (Meadowbrook Estates) 55+ Residential Community (*Final Bond Release Request*)
 - Z-19-328B [COMM] 308 Oxford Road Owner: Little River Associates, Walter Archer Applicant: New England Young at Heart, Elaine Marcucio (Use Permit)
- H. Zoning Enforcement
- I. Minutes
 - 1. 2/2/21 Regular Meeting Minutes
 - 2. 2/16/21 Regular Meeting Minutes
- J. Invoices
- K. Other Business
 - a. Any other business the Commission deems necessary for discussion.
 - b. Moose Hill Estates Requests Awaiting Review/Response from Legal Counsel
 - c. Riverview Subdivision Request from Horbal & Judson Referred to Attorney Kevin McSherry
- L. Adjournment

Respectfully submitted,

Jessica Pennell, Coordinator Planning & Zoning Commission 21 MAR -1 AM 9:41
TOWN OF OXFORD. CT
TOWN OF OXFORD. CT
TOWN OLERK

March 1, 2021

Town Land Use Office Oxford Town Hall 486 Oxford Road Oxford, CT 06478

Re: Land Use Applications

Lots 5 & 6 Woodruff Hill Industrial Park Tax Map 25 Block 22 Lot 13-5 and Lot 13-6 #3 & #7 Woodruff Hill Road Oxford, CT

To whom it may concern –

Due to a clerical error the applications and Site Plans that have previously been submitted under the name "Oxford Enterprises, LLC" actually need to be revised to the name "Oxford Industries, LLC". Attached please find a revised set of Site Plans with a revision date of 2-25-21 with the corrected applicant's name to be included in the files for both the Conservation Commission / Inland Wetlands Agency and the Planning & Zoning Commission.

If the Conservation Commission / Inland Wetlands Agency or the Planning & Zoning Commission has any questions regarding the above-mentioned project they may contact Brian Baker, P.E. of Civil1 at 203-266-0778 x 103.

If you need to contact me directly, I can be contacted at 203-893-5155.

Very truly yours,

Darin Bouchard - Applicant Oxford Industries, LLC

20 Old Country Road

Oxford, CT 06478



TOWN OF OXFORD

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298

www.Oxford-CT.gov

| Z #: |
|----------------------------|
| Date Received: |
| Date Accepted: |
| Date on Agenda: |
| 65 Day Exp.: |
| Extension: |
| 2 nd Extension: |
| |

Planni

| ng and Zoning Commission | Date Accepted: Date on Agenda: 65 Day Exp.: Extension: 2 nd Extension: |
|--|---|
| * Please Note: → Read Instructions Thoroughly Before Completing Form → This form Must Be Completely Typewritten or Legibly Pr | |
| 1) APPLICATION: This is an application for: (Check the ones that a | pply) |
| ☐ Subdivision ☐ Resubdivision ☐ Total Number ☐ Zone Change ☐ Special Exception S/E (Include Ar ☐ Excavation ☐ Map/Text Amendment (Include Ar ☐ Site Plan ☐ Other | rticle & Section No.):rticle & Section No.): |
| Name of Project - Title: 3 Wood Fuff H. 11 Rd. | (Lat 5) |
| 2) PROPERTY LOCATION(s): | |
| a) Street Address: 3 Woods F U.II | Roed |
| Town Clerk Record Map Number: | |
| Assessor's Identification Numbers: Map:Z S Block:Z 2 Lot:1 3 - 5 | Unit: |
| Zoning District: (Check One) | |
| □ RES A □ RES Golf □ COM □ Plan □ RES POD □ Ox Center □ IND □ CO | nned COM RP BP Other |
| Water and Sewer: (Check the ones that apply) | |
| ☐ Municipal Sanitary Sewers☐ On Site Septic Systems☐ Private Wells☐ Public Water | |
| b) Street Address: | |
| Town Clerk Record Map Number: | |
| Assessor's Identification Numbers: Map: Block: Lot: | Unit: |
| Zoning District: (Check One) | |
| ☐ RES A ☐ RES Golf ☐ COM ☐ Plan ☐ RES POD ☐ Ox Center ☐ IND ☐ COI | nned COM RP BP Other |
| Water and Sewer: (Check the ones that apply) | |
| ☐ Municipal Sanitary Sewers ☐ On Site Septic Systems ☐ Public Water | |

Please indicate who will be the **POINT OF CONTACT:**

(All communications and correspondence will be directed to the Point of Contact)

| (Check one) □ APPLICANT □ OWNER □ LAND SURVEYOR ☑ ENGINEER □ ARCHITECT |
|---|
| 3) APPLICANT: Oxford Enterprises, LLC Address: Zo Old Country Road Town: Oxford State: CT Zip Code: 06 478 Phone: (203) 893 - 5155Fax: () Email: darin. bouchard Oyanoo, cov |
| 4) OWNER(s): Town of Oxford Address: 486 Oxford Road |
| Town: Oxford State: C7 Zip Code: 06478 Phone: (203) 888-2843 Fax: () Email: |
| 5) APPLICANT'S OWNERSHIP INTEREST: contract purchaser |
| 6) LAND SURVEYOR: Civil 1 (see below) REG. No: |
| Town: |
| 7) CIVIL ENGINEER: Civil 1 - Brian Recken REG. No: 23905 Address: 45 Sherman Hill Rd Diol |
| Phone: (203) 766-0779 Fax: () Email: belon @ Civil 1. com |
| 8) ARCHITECT: REG. No: |
| Town: |
| 9) PREFERRED OR RECOMMENDED NAMES OF NEW ROADS TO BE CONSTRUCTED: |
| (Check One) |
| 10) STATUS OF WETLANDS PERMIT: Pending - Application Filed (Please Provide a Copy) |
| 11) ACREAGE OF OPEN SPACE and/or CONSERVATION EASEMENTS: |
| 12) SURETY OPTION (See Article 9 of Subdivision Regulations): (Check the one that applies) |
| ☑ Not Applicable. ☐ Improvements will be completed prior to endorsement and filing of record subdivision. ☐ Surety will be provided. ☐ Conditional approval is requested. |
| 13) WAIVERS: (Check the one that applies) |
| Not Applicable. ☐ No waivers of the subdivision regulations are required. ☐ Waivers of one or more sections of the subdivision regulations are requested. (Please provide a written description of the reason for the waiver and attached to and make part of this application.) |

| 14) E A | (Check one) | VATION: | | | | | |
|------------------|---|---|--|--|--------------------------------|---|--------------------------|
| | ☐ Yes If yes, how | No Many cubic yar | ds of material to be | removed, filled, | , and/or | dispersed cu | ubic yards. |
| 15) FL | OOD ZONE (Check one) | : : | | | | | |
| | Yes | No | If yes, what ze | one | | | |
| 16) AP | (Indicate Atto | ached or Not App | | | | | |
| | | Project Narra | tive Letter (State | mentet | | Fire Marshal's Review | |
| | | _ Record Subdi | vision Plan | | | Letter from Public Water | Supply |
| | | Site Develop | ment Plan | | | P.D.D.H. Approval | |
| | | Plan and Prof | ĭle | | | Inland Wetlands Approva | al |
| | | Standard Con | struction Details | | | W.P.C.A. Approval | |
| | | Connecticut I | Highway Departmen | nt | | Legal Boundary Descript | ion |
| | | Engineering I | Department Review | | | Zoning and Subdivision I | History |
| | | Drainage Cal | culations | | | Certificate from Assessor | |
| | | Other: | | | | Other: | |
| 17) RE | FERRALS: (Check the or | nes that apply) | | | | | |
| | (500)A por impacWater the ad☐ Subdit | feet of the bour tion of the sewer t the sewage sy run-off from the joining municipal vision/Resubdi | ndary of an adjoining or or water drainage stem within the adjusted in the improved site will ballity. | g municipality. from the project pining municipal l impact streets which abuts or is | t site wi lity. or other | ssion is located within five Il flow through and signific municipal or private prop Ily located in the Town of | icantly perty within |
| If any comunicip | of the above a pality and sub | applies, the applomit a copy to F | icant is required to &Z. Notification n | give written noti | ice of hi | s/her application to the ad MAIL/RETURN RECI | joining E IPT. |
| 18) AP | PLICATION | N FEES: (Ad | lditional fees may app | oly – See Schedule | e of Fees | () | |
| | Application | Fee is as follow | /S: | | | | |
| | | B | uilding Lots (x) \$ _ | per lot | = \$ | | _ |
| | | Cubic yards (x | \$100 for each 1,00 | 00 cubic yards = | \$ | | _ |
| | | | | Public Hearing Other Fees = State Fee = | g Fee = | \$ \$ | |
| | | | | Total Fee = | S | (Ck#) | |

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

| APPLICANT SIGNATURE | |
|--|--|
| NAME PRINTED | DATE |
| b) PROPERTY OWNER(s): | |
| The undersigned, being all of the owners of the papplication together with meeting of all requirements | premises referred above, hereby consent to the filing of this ments of the applicant by the Commission for same. |
| OWNER SIGNATURE | |
| NAME PRINTED | DATE |
| OWNER SIGNATURE | |
| NAME PRINTED | DATE |
| 20) INFORMATIONAL: Communications with and recommendation | ns from contracted P&Z staff are the sole responsibility of the applicant. |
| ************ | ******************* |
| 21) ACTION TAKEN: | |
| (This SECTION is to b | be filled out by Planning & Zoning Staff ONLY) |
| \Box DEN | IIED / □ APPROVED (Check One) |
| APPROVED WITH | H CONDITIONS |
| See Letter dated | for DETAILS of ACTION taken and attach a copy hereto. |
| BY:(Name & Title) | DATE |



TOWN OF OXFORD

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov

| Z #: | |
|----------------------------|--|
| Date Received: | |
| Date Accepted: | |
| Date on Agenda: | |
| 65 Day Exp.: | |
| Extension: | |
| 2 nd Extension: | |

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| ning and Zoning Commission | Date Accepted: Date on Agenda: 65 Day Exp.: Extension: 2nd Extension: |
|---|---|
| * Please Note: → Read Instructions Thoroughly Before Completing Form → This form Must Be Completely Typewritten or Legibly Pr | |
| 1) APPLICATION: This is an application for: (Check the ones that application) | pply) |
| □ Subdivision □ Zone Change □ Excavation □ Map/Text Amendment □ Consider Amendment □ Other | ticle & Section No.): ticle & Section No.): |
| Name of Project - Title: 7 Woodruff Hill (| 2d. (Lot 6) |
| 2) PROPERTY LOCATION(s): | |
| a) Street Address: 7 Woodraff Hill (| Rd. |
| Town Clerk Record Map Number: | |
| Assessor's Identification Numbers: Map: Block: Lot: 3 | 6 Unit: |
| Zoning District: (Check One) | |
| ☐ RES A ☐ RES Golf ☐ COM ☐ Plar ☐ RES POD ☐ Ox Center ☑ MD ☐ COI | nned COM RP BP |
| Water and Sewer: (Check the ones that apply) | |
| ✓ Municipal Sanitary Sewers☐ On Site Septic Systems☐ Private Wells☐ Public Water | |
| b) Street Address: | |
| Town Clerk Record Map Number: | |
| Assessor's Identification Numbers: Map: Block: Lot: | Unit: |
| Zoning District: (Check One) | |
| □ RES A □ RES Golf □ COM □ Plan □ RES POD □ Ox Center □ IND □ COF | nned COM RP BP Other |
| Water and Sewer: (Check the ones that apply) | |
| ☐ Municipal Sanitary Sewers ☐ On Site Septic Systems ☐ Public Water | |

Please indicate who will be the **POINT OF CONTACT:**

(All communications and correspondence will be directed to the Point of Contact)

| (Check one) □ APPLICANT □ OWNER □ LAND SURVEYOR 🏕 | ENGINEER ARCHITECT |
|--|---|
| 3) APPLICANT: Oxford Enterprises, Ll Address: 20 Old Canty Rd. | Zip Code: 06478 |
| 4) OWNER(s): Town of Oxford Address: 486 Oxford Road Town: Oxford State: C Phone: (203) 888-2543 8x: () | Zip Code: 06478 _ Email: |
| 5) APPLICANT'S OWNERSHIP INTEREST: Contract | purchaser |
| 6) LAND SURVEYOR: Civil 1 (See below) Address: | REG. No: |
| Town: State: Phone: () Fax: () | Zip Code: Email: |
| 7) CIVIL ENGINEER: Civil 1 - Brian Baker Address: 43 Sherman Hill Rd DIO | REG. No: 23805 |
| Town: Woodbury State: | Email: Dron & CIVIL 4. com |
| 8) ARCHITECT:Address: | |
| Town: State: Phone: () Fax: ()_ | Zip Code:Email: |
| 9) PREFERRED OR RECOMMENDED NAMES OF NEW ROAD | OS TO BE CONSTRUCTED: |
| (Check One) | (Subject to BOS Approval)Length of Road |
| 10) STATUS OF WETLANDS PERMIT: Pending Application (Please Provide a Copy) | oplication filed. |
| 11) ACREAGE OF OPEN SPACE and/or CONSERVATION EAS | EMENTS: ϕ |
| 12) SURETY OPTION (See Article 9 of Subdivision Regulations): (Check the one that applies) | |
| Not Applicable. ☐ Improvements will be completed prior to endorsement and fi ☐ Surety will be provided. ☐ Conditional approval is requested. | ling of record subdivision. |
| 13) WAIVERS: (Check the one that applies) | |
| ☐ Not Applicable. ☐ No waivers of the subdivision regulations are required. ☐ Waivers of one or more sections of the subdivision regulation (Please provide a written description of the reason for the waiver and | ns are requested. 'attached to and make part of this application.) |

| 14) E | ARTH EXCA (Check one) | VATION: | | | | | |
|-----------------|--|--|--|--|--------------------------------|----------------------------------|---------------------------|
| | ☐ Yes If yes, how | No many cubic yards | of material to be | e removed, filled | l, and/oi | r dispersed | cubic yards. |
| 15) FI | OOD ZONE (Check one) | : | | | | | |
| | Yes | No | If yes, what a | zone. | | | |
| 16) Al | (Indicate Atta | N/SUPPORTING ached or Not Applica | able) | | | | |
| | | Project Narrative | e Letter (Sta | use) | | Fire Marshal's R | eview |
| | | Record Subdivis | | | | Letter from Publi | ic Water Supply |
| | | Site Developmen | nt Plan | | | P.D.D.H. Approv | /al |
| | | Plan and Profile | | | , | Inland Wetlands | Approval |
| | | Standard Constru | action Details | | | W.P.C.A. Approv | val |
| | | Connecticut High | hway Departme | nt | | Legal Boundary 1 | Description |
| | | Engineering Dep | artment Review | | | Zoning and Subd | ivision History |
| | | Drainage Calcula | ations | | | Certificate from A | Assessor |
| | | Other: | | | | Other: | |
| 17) RE | EFERRALS: (Check the on | es that apply) | | | | | |
| | ☐ A portification of the impact of the adj | feet of the boundary ion of the sewer or the sewage system run-off from the in oining municipality | ry of an adjoining water drainage on within the adjustrate within the water was and water w | ng municipality. If from the projection of the project | t site wi lity. or other | | |
| If any omunicij | of the above appeality and sub- | oplies, the applicant mit a copy to P&Z | nt is required to Notification 1 | give written not must be by <u>CER</u> | ice of hi | is/her application t MAIL/RETUR | o the adjoining NRECEIPT. |
| | | FEES: (Additi | | | | | |
| | Application F | Fee is as follows: | | | | | |
| | - | Build | ing Lots (x) \$ _ | per lot | = \$ | | |
| | | | | | | | |
| | | | | | g Fee = | \$ \$ | |
| | | | | Total Fee = | | | |

19) AUTHORIZATION AND ENDORSEMENTS:

a) APPLICANT:

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

| APPLICANT SI | GNATURE | | |
|--|---|---|--------------|
| NAME PRINTE | ED | DATE | |
| b) PROPERTY | | | |
| The undersigned, being a application together with | all of the owners of the meeting of all requirer | premises referred above, hereby consent to the filin ments of the applicant by the Commission for same. | g of this |
| OWNER SIGNA | ATURE | | |
| NAME PRINTE | D | DATE | |
| | | | |
| | | DATE | |
| | h and recommendatio | ons from contracted P&Z staff are the sole responapplicant. | |
| 21) ACTION TAKEN: | | ************************************** | ***** |
| (| This SECTION is to b | be filled out by Planning & Zoning Staff ONLY) | |
| | □ DEN | NIED / (Check One) | |
| | APPROVED WIT | TH CONDITIONS | |
| See Letter dated | | for DETAILS of ACTION taken and attach a | copy hereto. |
| BY: | tle) | DATE | |

OXFORD INDUSTRIES LLC

PERMITTING SET

3 WOODRUFF HILL ROAD (LOT5) and 7 WOODRUFF HILL ROAD (LOT6)
WOODRUFF HILL INDUSTRIAL PARK, OXFORD, CT
TAX MAPS - MAP:25 - BLOCK: 22 LOT: 13-5 & 13-6





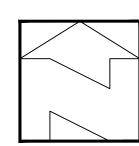
TOWN OF OXFORD 486 OXFORD ROAD OXFORD, CT 06478

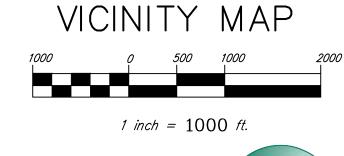
APPLICANT

OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD, CT 06478

ENGINEER / SURVEYOR

CIVIL 1
43 SHERMAN HILL ROAD, SUITE D-101
WOODBURY, CT





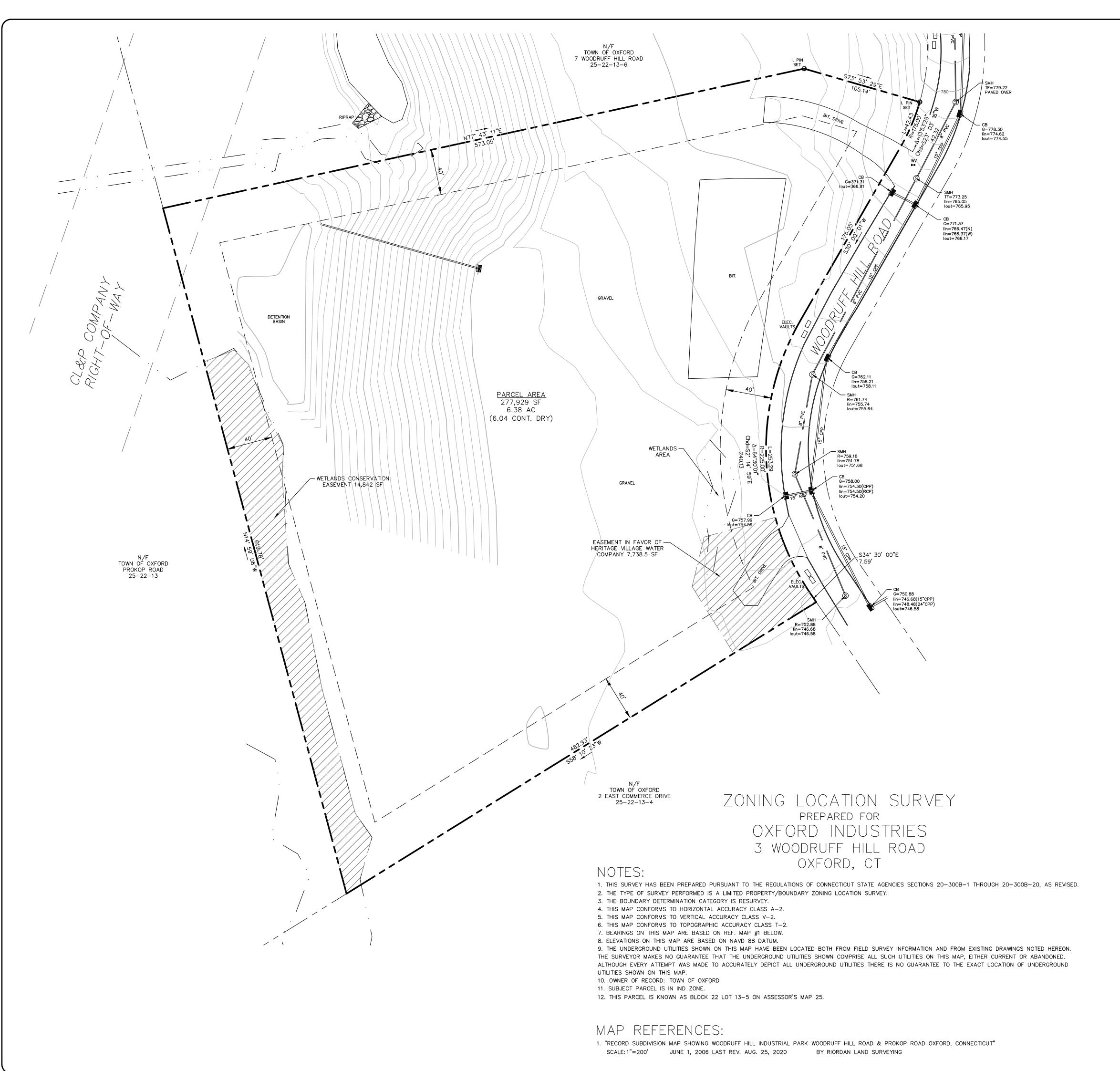


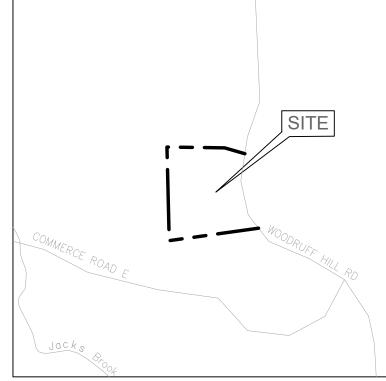
CORNERSTONE PROFESSIONAL PARK, SUITE D-101 43 SHERMAN HILL ROAD WOODBURY (203) 266 - 0778 CONNECT

> DECEMBER 4, 2020 REVISED FEBRUARY 25, 2021



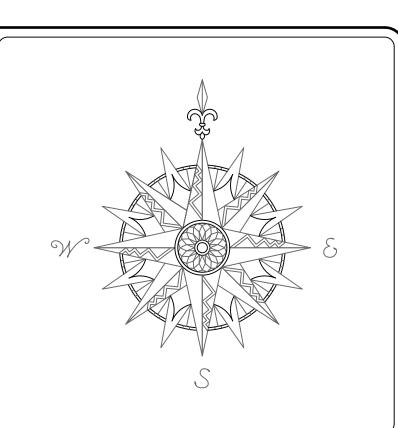
| SHEET NUMBER | DESCRIPTION |
|--------------|--|
| S 1.1 | ZONING LOCATION SURVEY LOT 5 (3 WOODRUFF HILL RD.) |
| S 1.2 | ZONING LOCATION SURVEY LOT 6 (7 WOODRUFF HILL RD.) |
| C 1.0 | EXISTING CONDITIONS MAP |
| C 1.1 | SITE PLAN AND LANDSCAPE PLAN |
| C 2.1 | GRADING PLAN DRAINAGE PLAN AND UTILITY PLAN |
| C 3.1 | EROSION CONTROL PLAN |
| C 4.1 | DRIVEWAY PLAN & PROFILES |
| C 4.2 | DRIVEWAY PLAN & PROFILES |
| C 4.3 | STORM DRAINAGE PROFILES |
| C 5.1 | DETAILS |
| C 5.2 | DETAILS |
| C 5.3 | DETAILS |
| C 5.4 | DETAILS |
| C 6.1 | EROSION CONTROL NARRATIVE & PROJECT NOTES |
| | |







| OXFORD ZONING TABLE (INDUSTRIAL DISTRICT) | | | |
|---|-----------|----------|--|
| STANDARDS | REQUIRED | EXISTING | |
| MINIMUM LOT AREA | 2.5 AC | 6.04 AC | |
| MINIMUM FRONTAGE | 225' | 478.36 | |
| MINIMUM SQUARE | 200' | > 200' | |
| MAXIMUM COVERAGE | 65 % | _ | |
| MINIMUM FLOOR AREA | 50,000 SF | _ | |
| MAX. STORIES: | 2 1/2 | _ | |
| MAX. BLDG. HGT. : | 35' | _ | |
| BUILDING SETBACKS: | | | |
| FRONT YARD: | 40' | _ | |
| SIDE/REAR YARD: | 40' | _ | |
| FRONT YARD PARKING: | 10' | _ | |
| FRONT YARD OTHER: | 25' | _ | |



| NO. | REVISION | DATE |
|---------------|----------------------------|----------|
| 1 | APPLICANT NAME CORRECTED | 25 FEB 2 |
| | | |
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| | Previous Editions Obsolete | |
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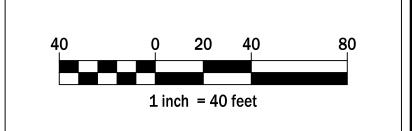
LEGEND

| | | 人 人 人 | |
|-----|-------------|---------------|--|
| ••• | _ | | |

PROPERTY LINE
BUILDING SETBACK LINE
EXISTING CONTOUR
TREE LINE
EASEMENT LINE
WATER VALVE

EXISTING SANITARY SEVER
EXISTING STORM SEWER

S SANITARY SEWER MANHOLE



OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

ZONING LOCATION SURVEY

3 WOODRUFF HILL ROAD

OXFORD

CONNECTICUT

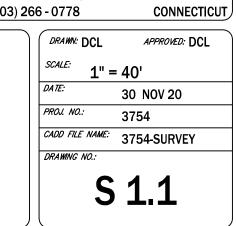


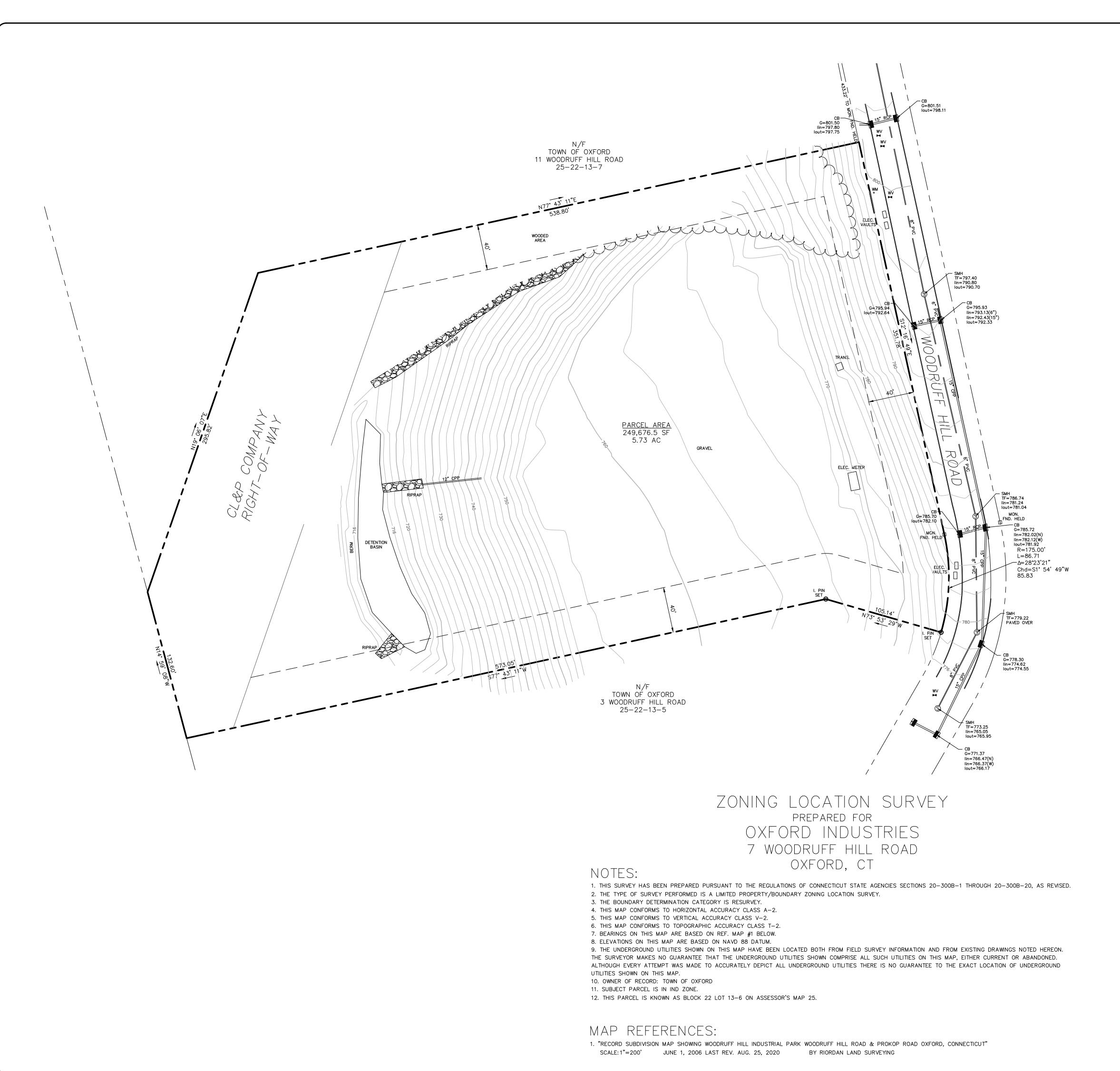
WOODBURY

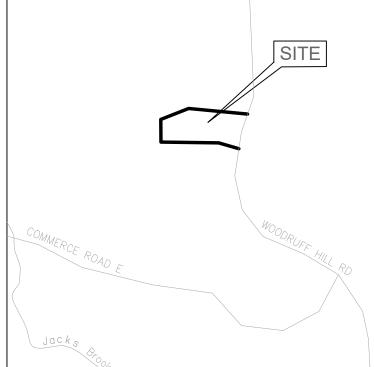
CORNERSTONE PROFESSIONAL PARK, SUITE D-101 43 SHERMAN HILL ROAD JRY (203) 266 - 0778 CONNI

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DANIEL C. LAFERRIERE LICENSED LAND SURVEYOR, REG# 70492

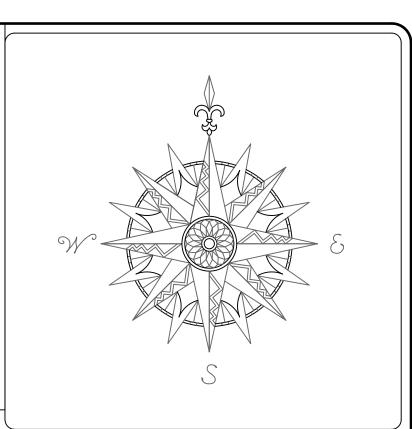








| OXFORD ZONING TABLE (INDUSTRIAL DISTRICT) | | | |
|--|-----------|----------|--|
| STANDARDS | REQUIRED | EXISTING | |
| MINIMUM LOT AREA | 2.5 AC | 5.73 AC | |
| MINIMUM FRONTAGE | 225' | 438.49' | |
| MINIMUM SQUARE | 200' | > 200' | |
| MAXIMUM COVERAGE | 65 % | _ | |
| MINIMUM FLOOR AREA | 50,000 SF | _ | |
| MAX. STORIES: | 2 1/2 | _ | |
| MAX. BLDG. HGT. : | 35' | _ | |
| BUILDING SETBACKS: | | | |
| FRONT YARD: | 40' | _ | |
| SIDE/REAR YARD: | 40' | _ | |
| FRONT YARD PARKING: | 10' | _ | |
| FRONT YARD OTHER: | 25' | _ | |



| NO. | REVISION | DATE |
|-----|----------------------------|-----------|
| 1 | APPLICANT NAME CORRECTED | 25 FEB 21 |
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| | Previous Editions Obsolete | |
| | | |

LEGEND

| 800 ww M |
|----------------|
| |

EXISTING CONTOUR TREE LINE EASEMENT LINE WATER VALVE EXISTING SANITARY SEWER MAIN

CATCH BASIN SANITARY SEWER MANHOLE

EXISTING STORM SEWER

1 inch = 40 feet

OXFORD INDUSTRIES, LLC

20 OLD COUNTRY ROAD

OXFORD CT.

ZONING LOCATION SURVEY

7 WOODRUFF HILL ROAD

CONNECTICUT

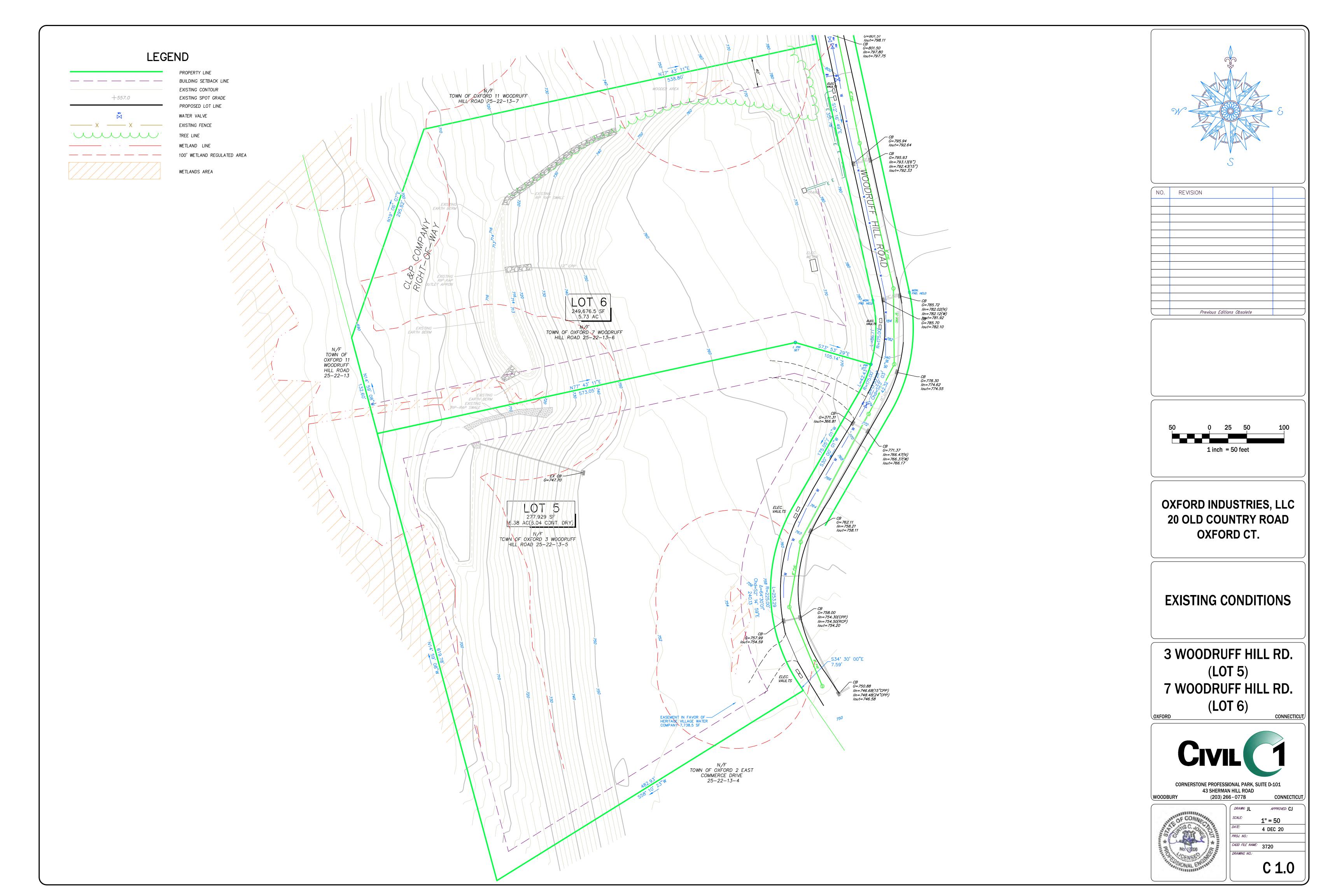


DRAWN: DCL APPROVED: DCL SCALE: 18 SEP 20 PROJ. NO.: 3720 CADD FILE NAME: 3720-SURVEY

CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DANIEL C. LAFERRIERE LICENSED LAND SURVEYOR, REG# 70492

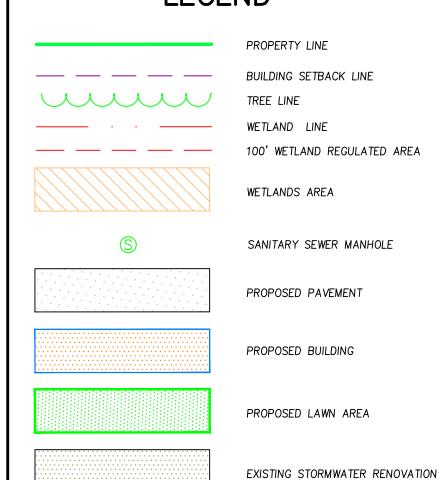


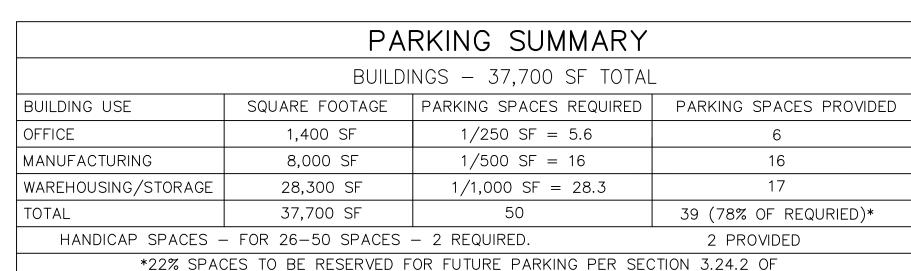
| PL/ | 4N7 | SCHEDULE | | | | |
|--------|--------------------|-------------------------------------|-----------------------------|--------------|-----------|------------------|
| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | REMARKS |
| EVERG | REEN SI | HRUB(S) | | | | |
| JP | 30 | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR CREEPING JUNIPER | 15-18" SPRD. | CONTAINER | spaced @ 30" o.c |
| PL | 15 | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN CHERRY LAUREL | 24-30" | CONTAINER | _ |
| | | | | | | _ |
| DECIDU | DECIDUOUS SHRUB(S) | | | | | |
| СН | 15 | CLETHRA ALNIFOLIA 'HUMMINGBIRD' | SWEET PEPPERBUSH | 24-30" | CONTAINER | _ |
| VA | 15 | VACCIMIUM ANGUSTIFOLIUM | LOW BUSH BLUEBERRY | 24-30" | CONTAINER | _ |
| DI | 15 | DIERVILLA IONICERRA | BUSH HONEYSUCKLE | 24-30" | CONTAINER | _ |
| | | | | | | _ |

| ZONING DATA — I | NDUSTRIAL DISTRICT | LOT 6 |
|-------------------------------------|-----------------------------|--------------|
| ITEM | REQUIRED | PROVIDED |
| MIN. LOT AREA (CONTIGUOUS DRY AREA) | 108,900 SF (2.5 ACRES) | 249,676.5 SF |
| ROAD FRONTAGE (FT.) | 225' | 438.49' |
| MIN. FRONT YARD (FT.) | 40' | 72.47' |
| MIN. SIDE YARD (FT.) | 25' | 40.0' |
| MIN REAR YARD (FT.) | 25' | 308.2' |
| BUILDING HEIGHT (LESS OF) | 2.5 STORIES OR 35 FEET | <35 FEET |
| AGGREGATE BLDG. COVERAGE (%) | 40% MAX. | 10.6% |
| TOTAL LOT COVERAGE (%) | 65% MAX. | 21.9% |
| PARKING REQUIREMENT | AS DETERMINED BY COMMISSION | 6 |

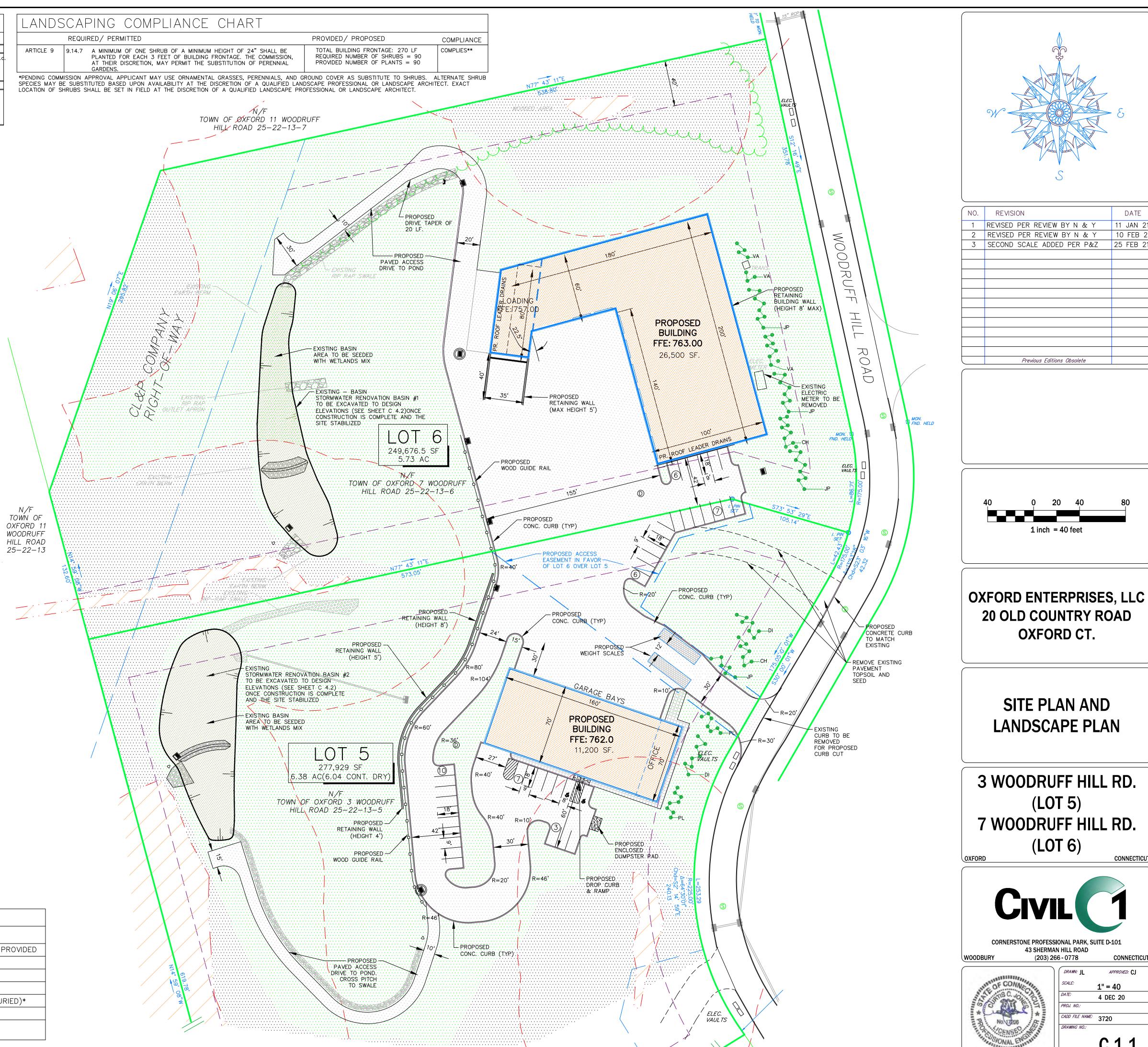
| ZONING DATA — I | NDUSTRIAL DISTRICT | LOT 5 |
|-------------------------------------|-----------------------------|------------|
| ITEM | REQUIRED | PROVIDED |
| MIN. LOT AREA (CONTIGUOUS DRY AREA) | 108,900 SF (2.5 ACRES) | 277,929 SF |
| ROAD FRONTAGE (FT.) | 225' | 478.31 |
| MIN. FRONT YARD (FT.) | 40' | 40.0' |
| MIN. SIDE YARD (FT.) | 25' | 101.8' |
| MIN REAR YARD (FT.) | 25' | 308.3' |
| BUILDING HEIGHT (LESS OF) | 2.5 STORIES OR 35 FEET | <35 FEET |
| AGGREGATE BLDG. COVERAGE (%) | 40% MAX. | 4.0% |
| TOTAL LOT COVERAGE (%) | 65% MAX. | 18.3% |
| PARKING REQUIREMENT | AS DETERMINED BY COMMISSION | 26 |

LEGEND





ZONING REGULATIONS (UP TO 25% ALLOWED)



DATE

11 JAN 21

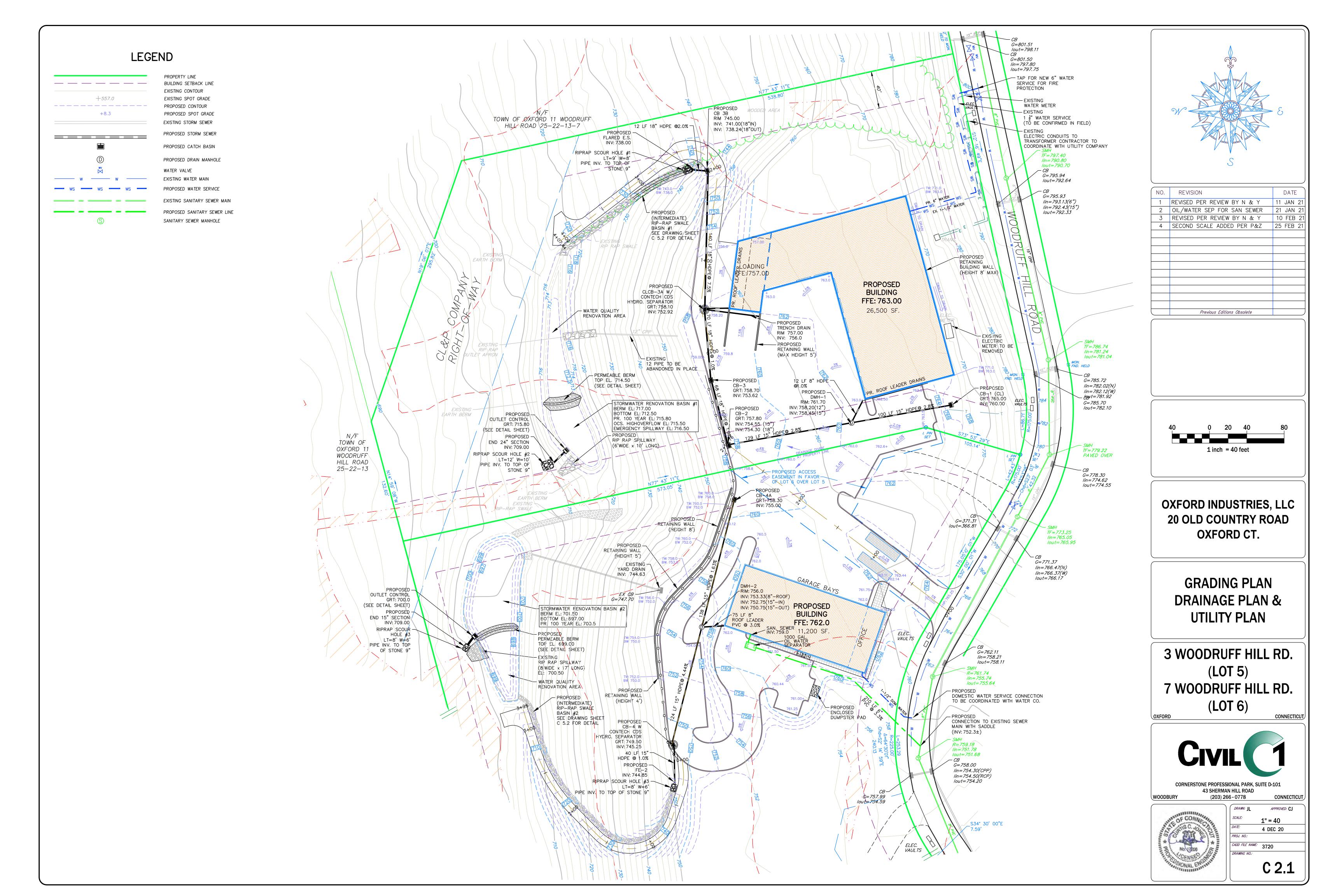
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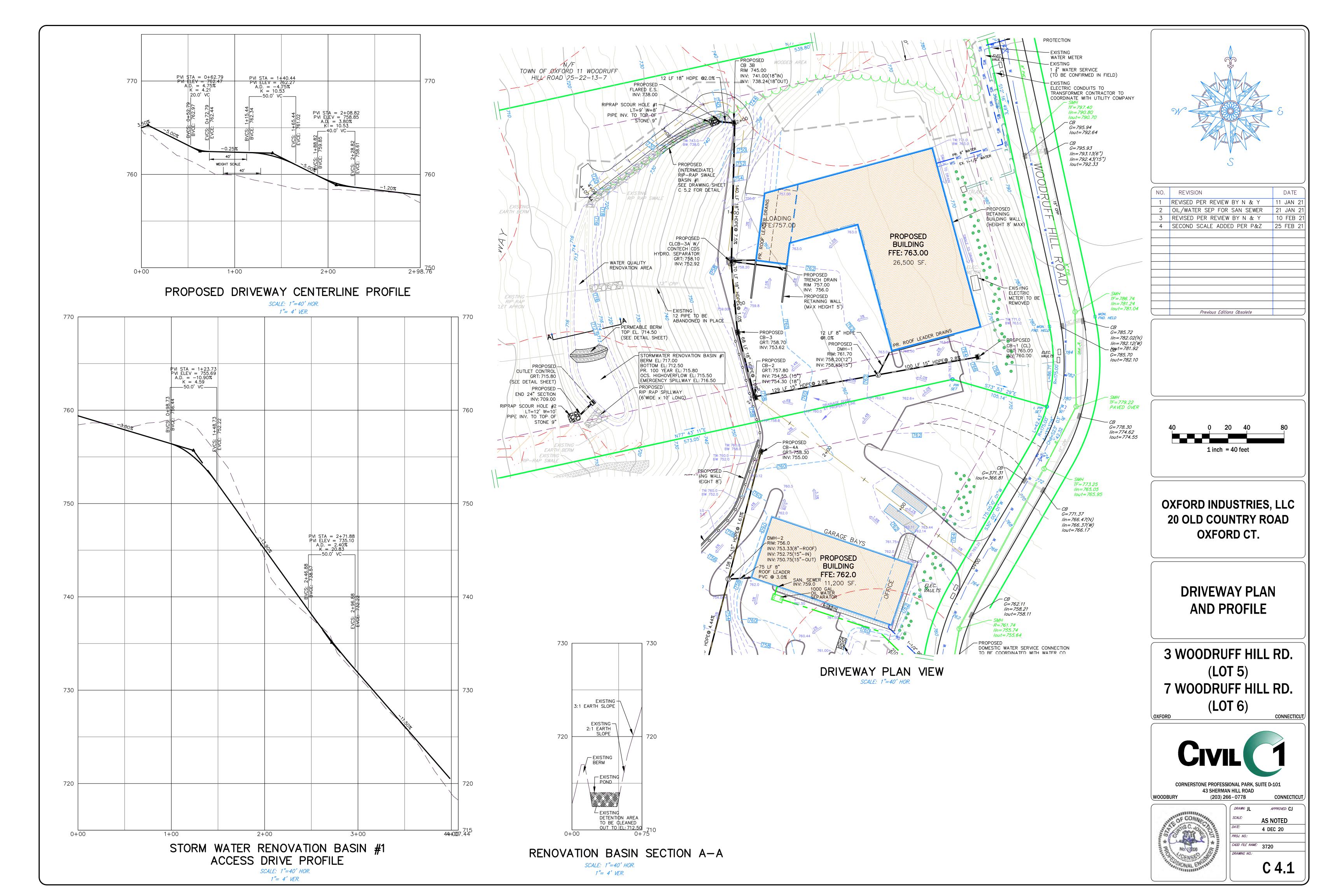
APPROVED: CJ

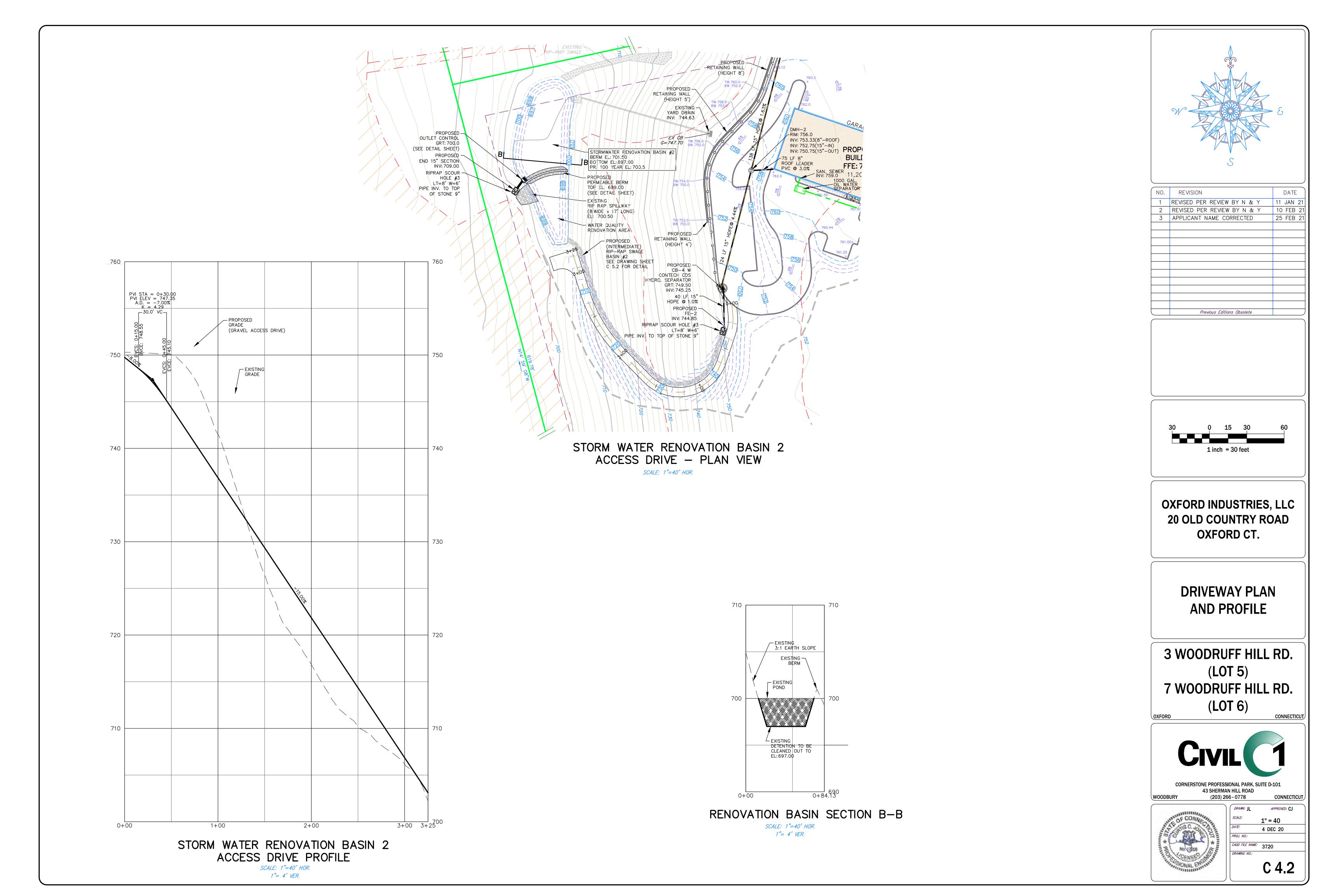
1" = 40

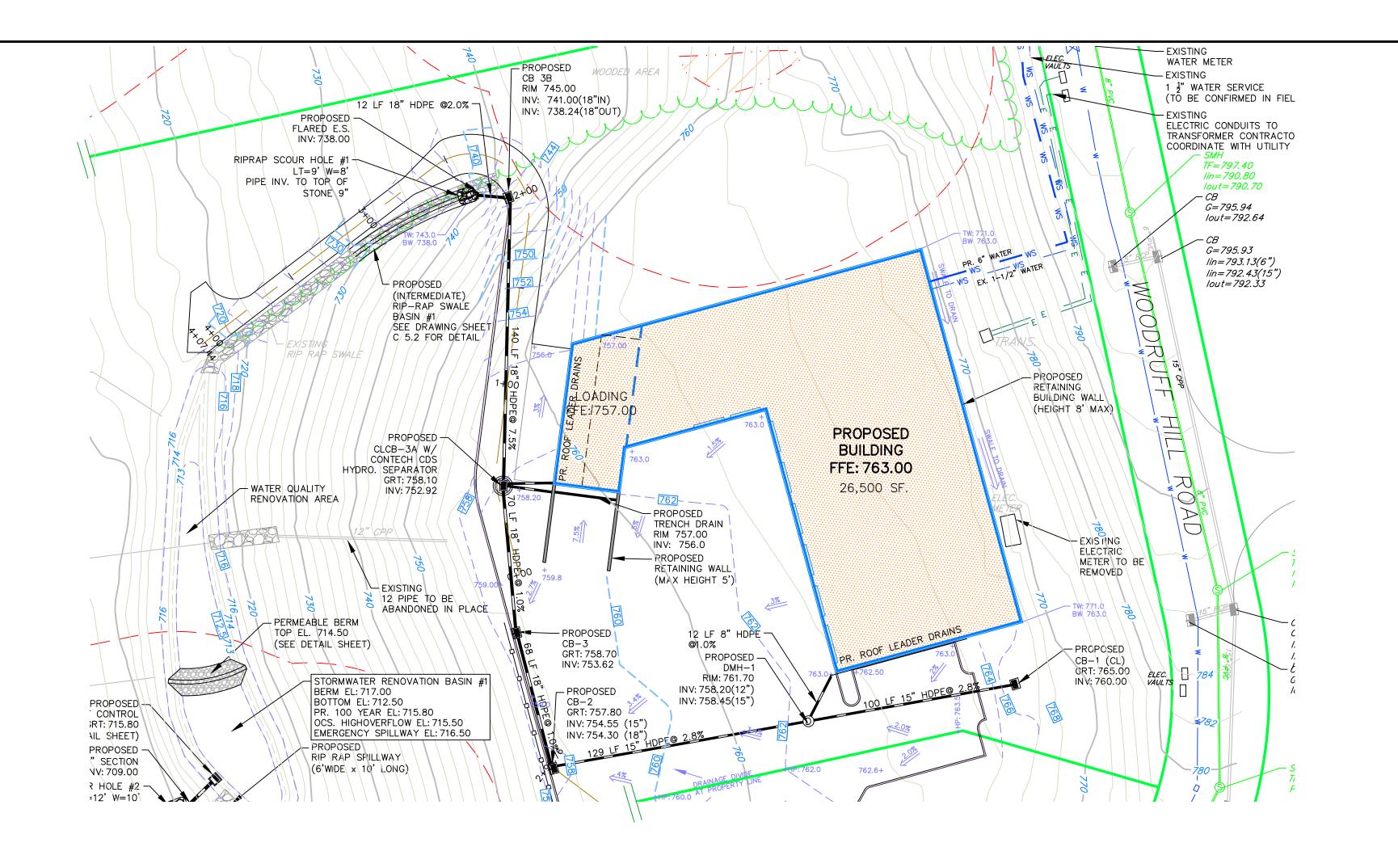
4 DEC 20

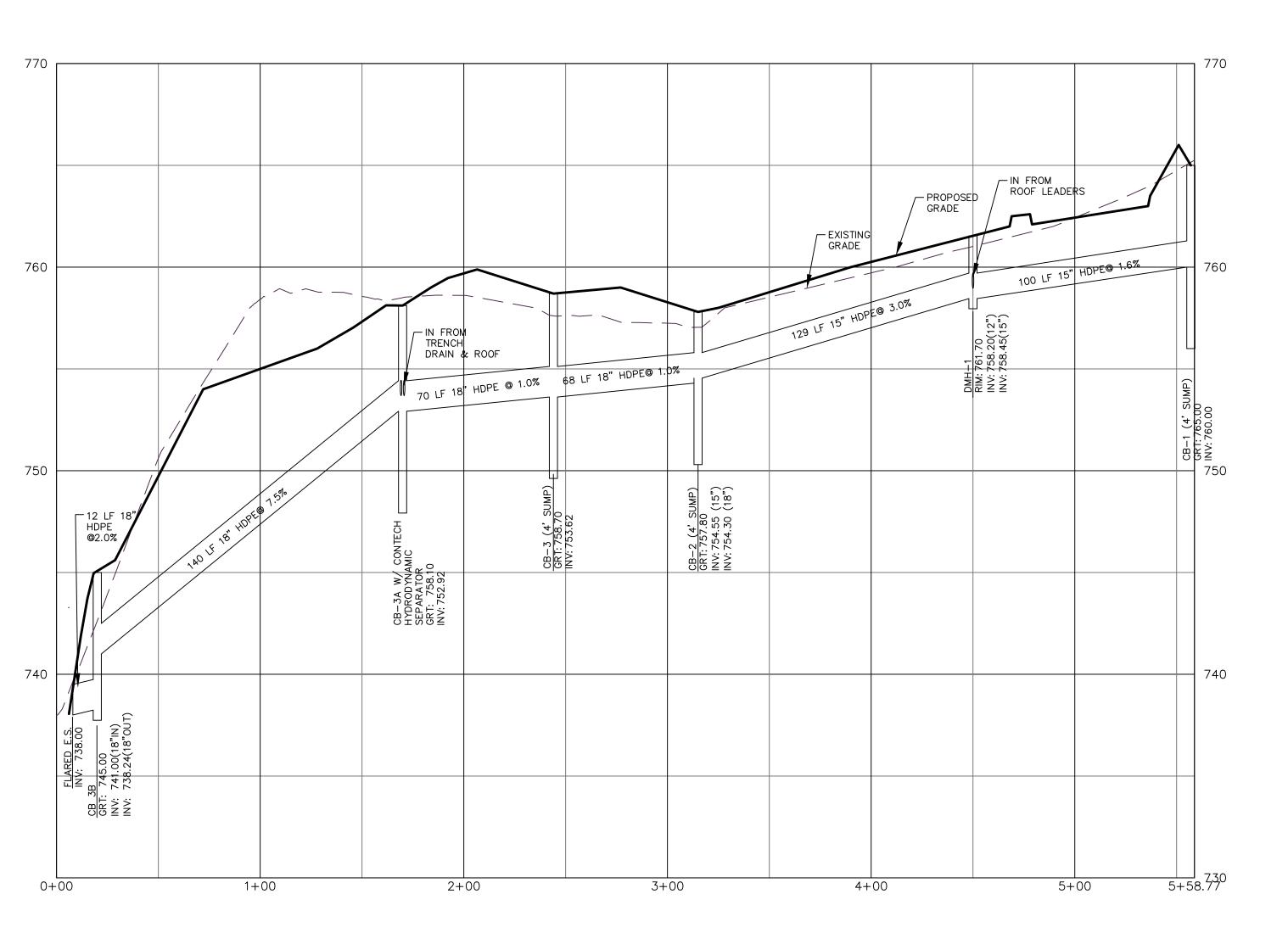


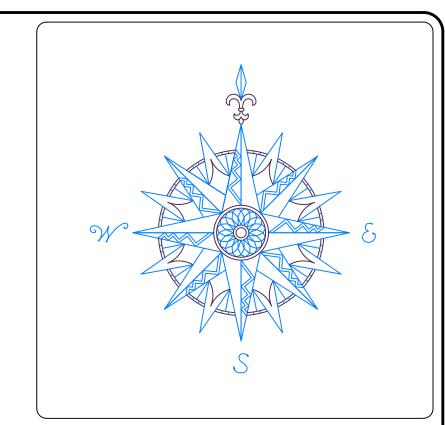




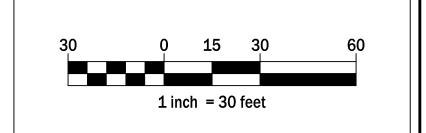








| NO. | REVISION | DATE |
|-----|-----------------------------|-----------|
| 1 | REVISED PER REVIEW BY N & Y | 11 JAN 21 |
| 2 | REVISED PER REVIEW BY N & Y | 10 FEB 2 |
| 3 | APPLICANT NAME CORRECTED | 25 FEB 2 |
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| | Previous Editions Obsolete | |
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OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

STORM DRAINAGE PROFILES

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)

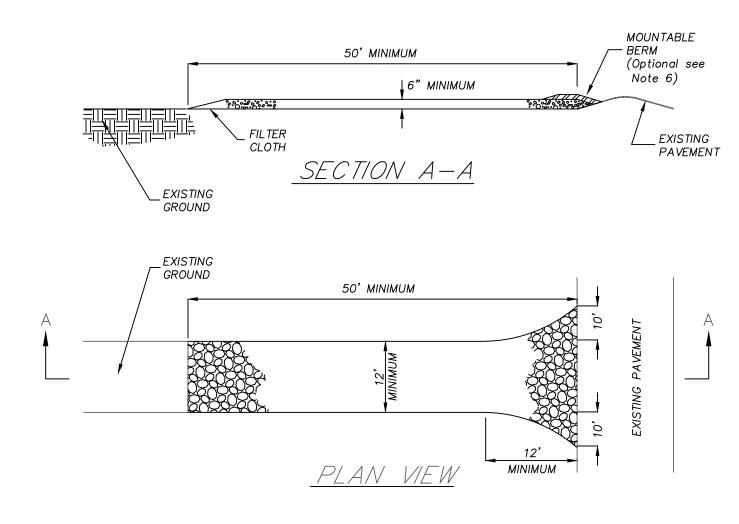
FORD CONNECTION





| 26 | 6-0778 | CONNECTICUT | |
|----|-----------------|--------------|--|
|) | DRAWN: JL | APPROVED: CJ | |
| | SCALE: | AS NOTED | |
| | DATE: | 4 DEC 20 | |
| | PROJ. NO.: | | |
| | CADD FILE NAME: | 3720 | |
| | DRAWING NO.: | | |

C 4.3

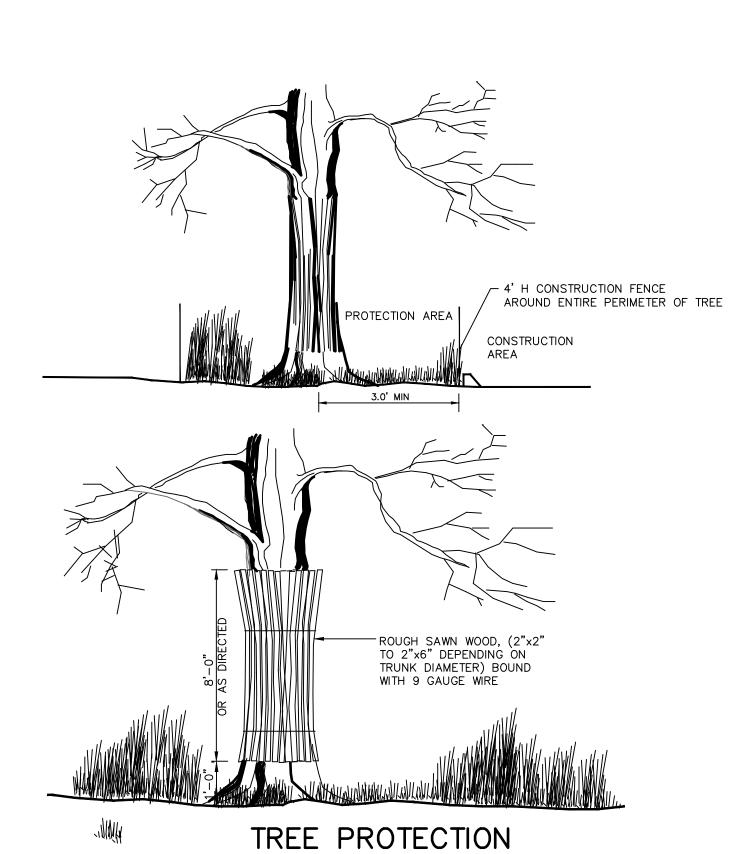


NOTES:

- 1. STONE SIZE USE 1" 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- 2. LENGTH AS REQUIRED, BUT NOT LESS THAN 50 FEET.

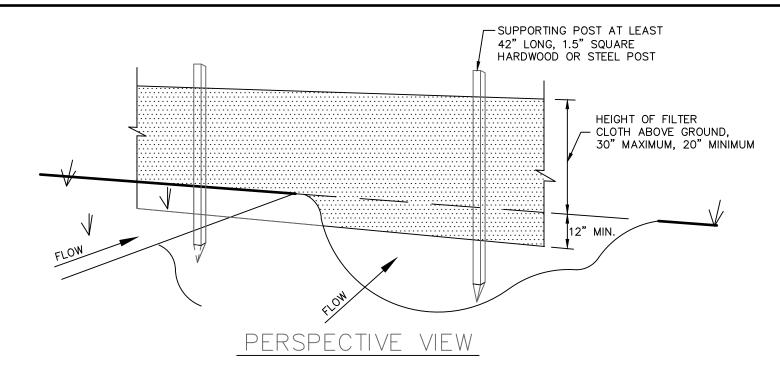
 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED IMMEDIATELY
- 8. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS—OF—WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

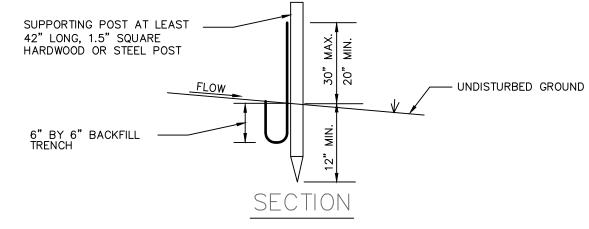
STABILIZED CONSTRUCTION ENTRANCE



KEE TROTEOHOR

N. T.S.





CONSTRUCTION NOTES FOR SILT FENCE

POSTS: 1.5" SQUARE HARDWOOD

FILTER CLOTH: MIRAFI 100X, ENVIROFENCE

OR APPROVED EQUAL

OR STEEL

1. EXCAVATE A TRENCH A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE ON THE UP SIDE OF THE FENCE LOCATION.

FENCE LOCATION.

2. DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST

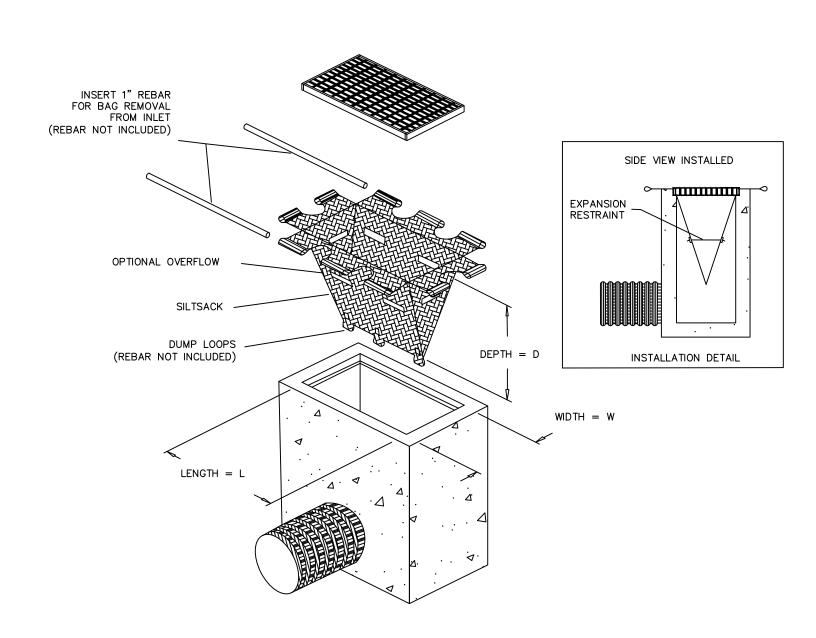
3. STAPLE OR SECURE THE GEOTEXTILE TO THE SUPPORT POSTS PER MANUFACTURER'S INSTRUCTIONS SUCH THAT AT LEAST 6 INCHES OF

GEOTEXTILE LIES WITHIN THE TRENCH.

4. BACKFILL THE TRENCH WITH TAMPED SOIL OR AGGREGATE OVER THE GEOTEXTILE.

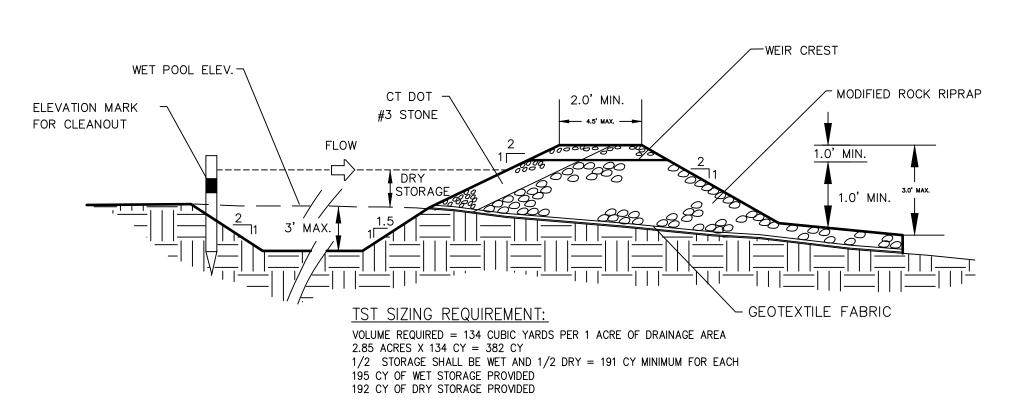
12 INCHES INTO ORIGINAL GROUND.

SILT FENCE DETAIL

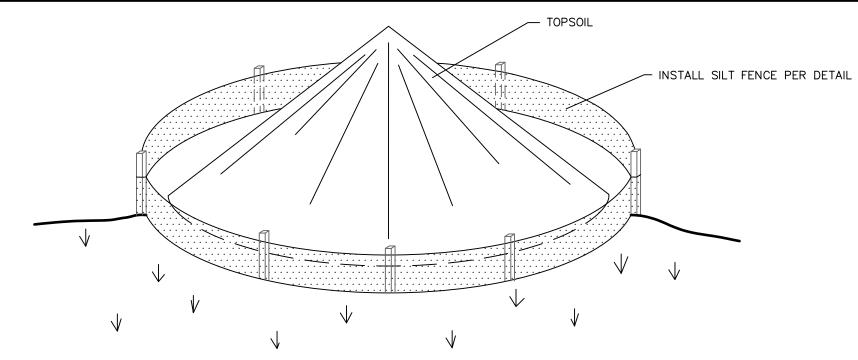


SILT SACK DETAIL

N. T. S.



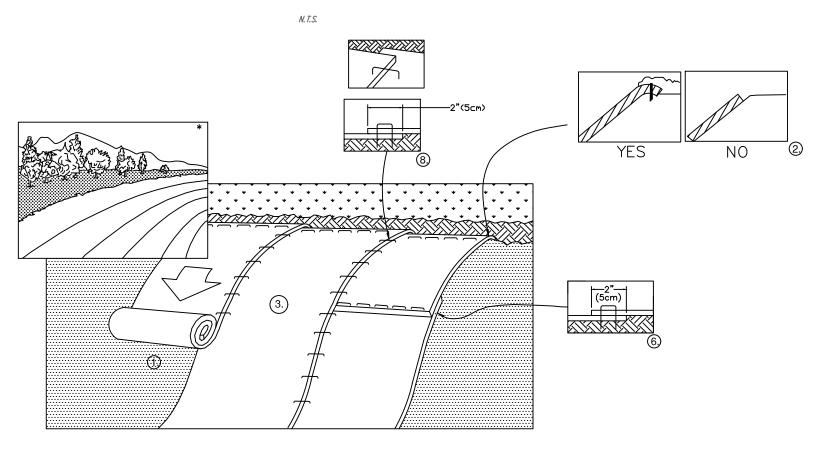
TEMPORARY SEDIMENT TRAP STONE FILTRATION BERM



STOCKPILE MANAGEMENT PER 2002 CT GUIDELINES FOR E & S CONTROL:

- 1. LOCATE STOCKPILE SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED.
- 2. DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE.
- 3. INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM PROPOSED TOE OF THE SLOPE.
 4. THE SIDE SLOPES OF STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1.
- 5. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
 6. AFTER STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED.

TEMPORARY TOPSOIL STOCKPILE



INSTALLATION PROCEDURE

- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.

 NOTE: WHEN USING CELL—O—SEED DO NOT SEED PREPARED AREA. CELL—O—SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. START UNROLLING THE FUTERRA F4 NETLESS 1-2' ABOVE THE SLOPE CREST.
 3. ANCHOR TOP OF BLANKET ON 1' CENTERS
- 4. APPLY FIND OR STAPLES ALONG BLANKET LENGTH, ONE EVERY 2.5 LINEAR FEET. PLACE PIN OR STAPLE EVERY EVERY 5' DOWN CENTER OF
- BLANKET, CREATING AN X PATTERN WITH THE ANCHORING SYSTEM.

 5. RAKE LOOSE SOIL OVER TOP EDGE ALONG BLANKET WIDTH. MOUND TO A MIN. HEIGHT OF 4".
- 5. RAKE LOOSE SOIL OVER TOP EDGE ALONG BLANKET WIDTH. MOUND TO A MIN. HEIGHT OF 4' 6. OVERLAP SHINGLE STYLE A MAX. OF 2". ANCHOR ON 1' CENTER ACROSS THE ROLL WIDTH.
- 7. UNROLL THE NEXT BLANKET DOWN THE SLOPE.
 8. OVERLAP ROLLS A MAX. OF 2". USE ONE PIN OR STAPLE EVERY 5'.

FUTERRA F4 NETLESS EROSION CONTROL BLANKETS MATERIAL:

THERMALLY REFINED WOOD AND DEGRADABLE MAN-MADE FIBERS

CRITICAL POINTS
A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTE

1. HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.

2. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS IN EXCESS OF 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

3. SLOPE CREST TRENCHING MAY BE SPECIFIED ON SOME PROJECTS. TOP EDGE WIDTH OF THE FUTERRA F4 NETLESS SHOULD THEN BE STAPLED OR STAKED IN THE TRENCH BOTTOM. BACKFILL AND COMPACT SOIL.IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

4. FUTERRA F4 NETLESS CAN BE APPLIED HORIZONTALLY ON SHALLOW SLOPES.*

FUTERRA F4 NETLESS EROSION CONTROL BLANKET

N. T. S.

NO. REVISION

1 REVISED PER REVIEW BY N & Y

2 APPLICANT NAME CORRECTED

25 FEB 21

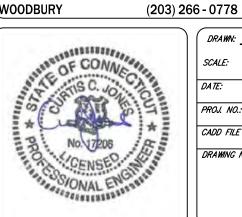
Previous Editions Obsolete

OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

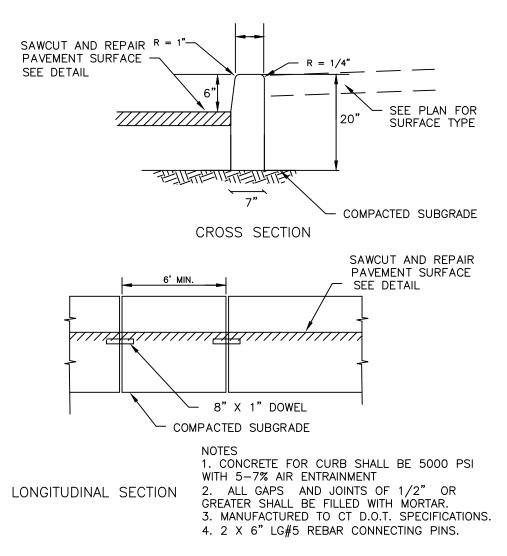
DETAILS

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)

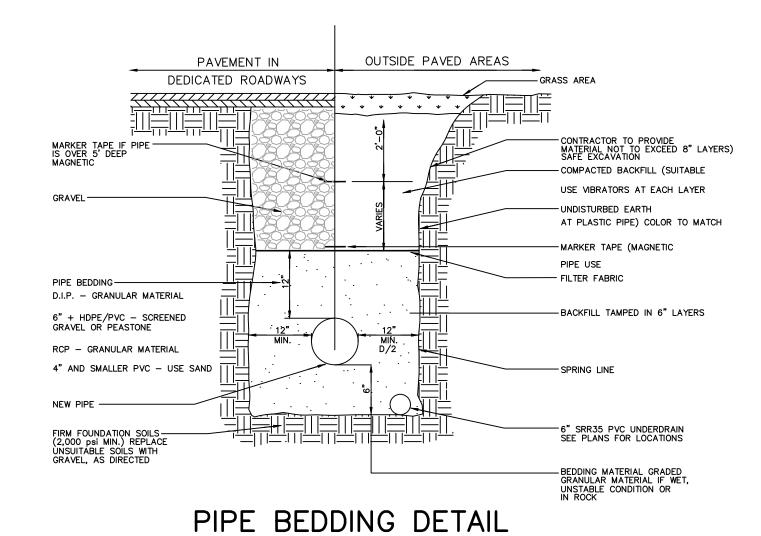


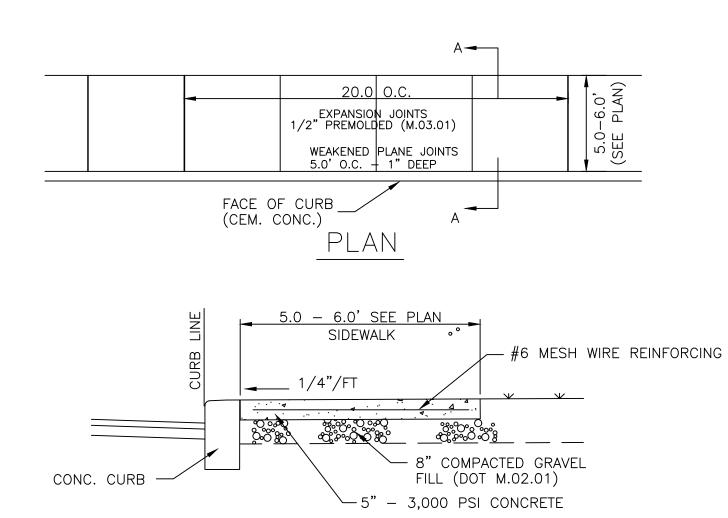


N. T. S



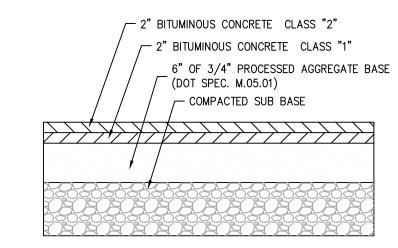
PRE-CAST CONCRETE CURB (INSTALLED ALONG FACE OF CONC. SIDEWALKS)



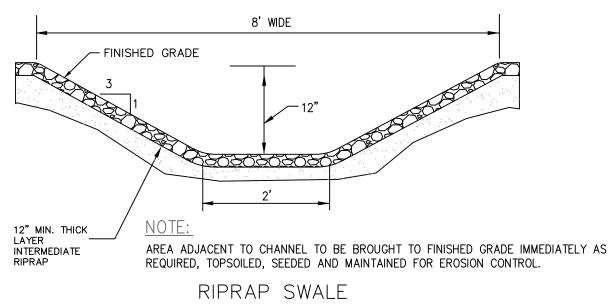


ON SITE SIDEWALK DETAIL N.T.S.

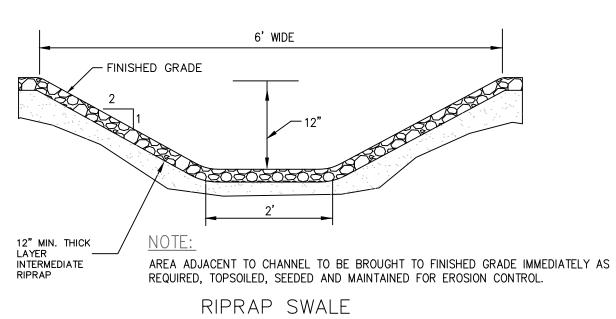
SECTION A-A



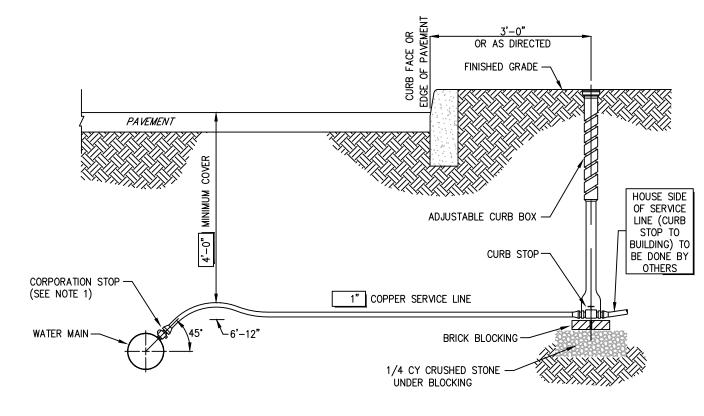
DRIVEWAY PAVEMENT SECTION



DRAINAGE SWALE - BASIN #1



DRAINAGE SWALE - BASIN #2



| | | CONSTRUC | CTION MATERIA | 425 | |
|--------|-------------------------|------------------|---------------|----------|----------------|
| SIZE | SERVICE LINE (Material) | CORPORATION STOP | CURB STOP | CURB BOX | ENLARGED BASE |
| 3/4" | COPPER | H-15008 | H-15214 | H-10350 | Not Applicable |
| 1" | COPPER | H-15008 | H-15214 | H-10350 | Not Applicable |
| 1-1/2" | COPPER | H-15013 | H-15214 | H-10350 | Not Applicable |
| 2" | COPPER | H-15013 | H-15214 | H-10350 | H-10349 |

CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER

1. INSTALLATION OF 1-1/2" AND 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT

2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.

WATER SERVICE CONNECTION (2" OR LESS)

— 2" CLASS 1 BITUMINOUS CONCRETE SAW CUT EDGE AND APPLY BITUMINOUS — — 2" CLASS 1 BITUMINOUS CONCRETE TACK COAT WHERE NEW PAVEMENT MEETS WITH EXISTING; SEAL JOINT PER FORM 814A (TYP.) TRENCH WIDTH + 2 MILL EXISTING PAVEMENT ON BOTH SIDES -OF PERMANENT PAVEMENT, AND MILL PERMANENT PAVEMENT TO A 1 1/2" DEPTH, AND OVERLAY WITH 1 1/2" MIN. COMPACTED THICKNESS OF CLASS 1 BITUMINOUS CONCRETE MILLING AND OVERLAY

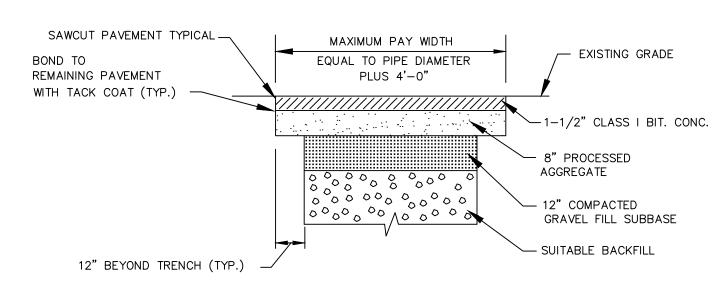
UNDISTURBED EXISTING -PAVEMENT

TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT

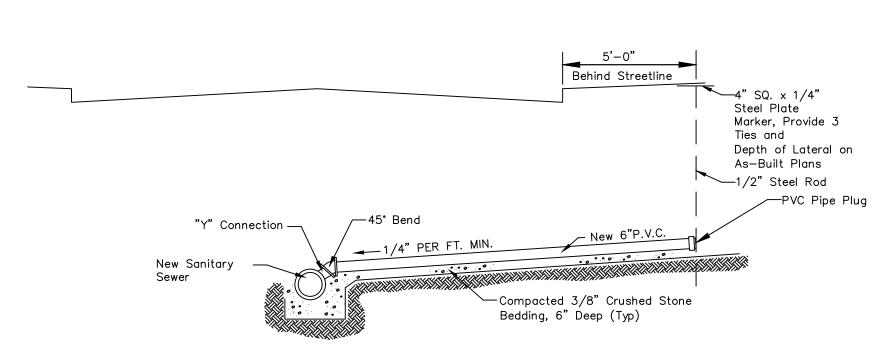
LIMITS OF OVERLAY

- 1) PROCESSED STONE TO BE PER D.O.T. SPECIFICATIONS 3.04.03 & M.05.01.
- 2) BITUMINOUS CONCRETE PAVEMENT TO BE PER D.O.T. SPECIFICATIONS 4.06 & M.O4.
- 3) SPECIFICATION SECTIONS REFER TO D.O.T. STANDARD SPECIFICATION FORM 814.

PERMANENT PAVEMENT REPAIR DETAIL



TEMPORARY PAVEMENT REPAIR



SECTION - P.V.C. SERVICE LATERAL

OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

REVISION

1 REVISED PER REVIEW BY N & Y

2 REVISED PER REVIEW BY N & Y

Previous Editions Obsolete

3 APPLICANT NAME CORRECTED

DATE

| 11 JAN 2

10 FEB 2

25 FEB 2

DETAILS

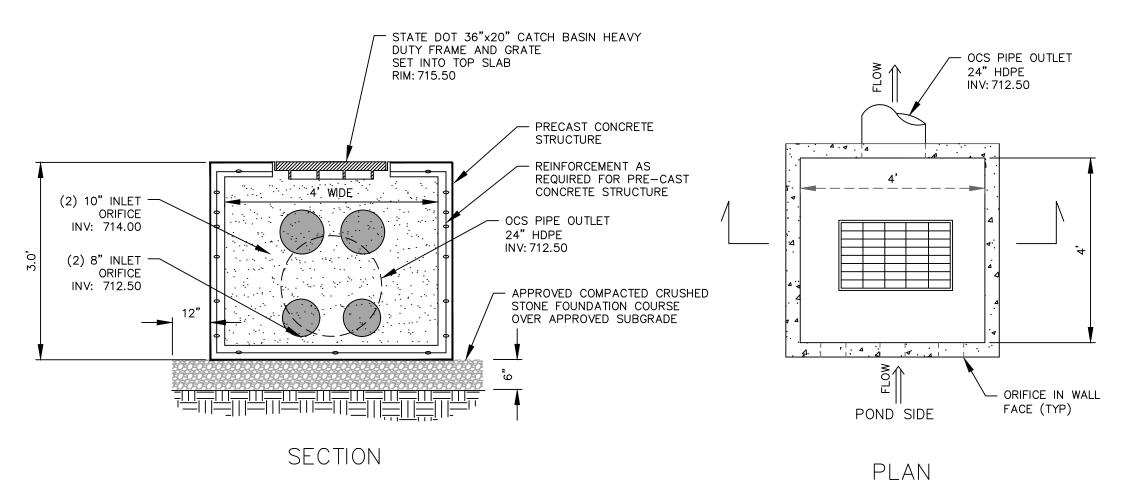
3 WOODRUFF HILL RD. (LOT 5) 7 WOODRUFF HILL RD. (LOT 6)



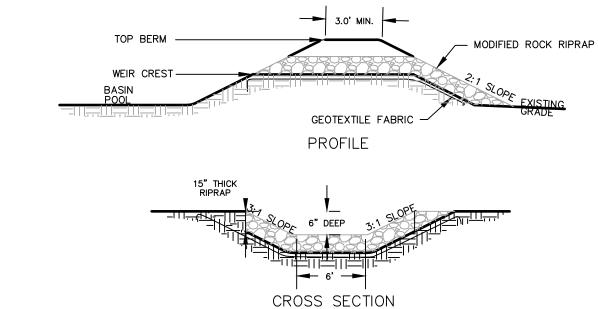


1" = 40 4 DEC 20 CADD FILE NAME: 3720 C 5.2

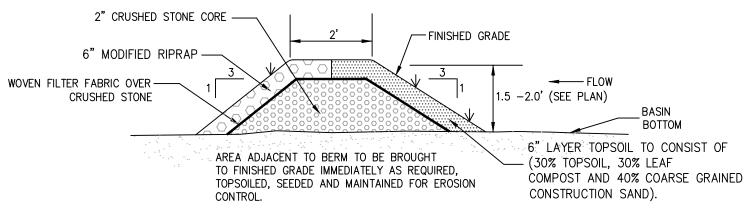
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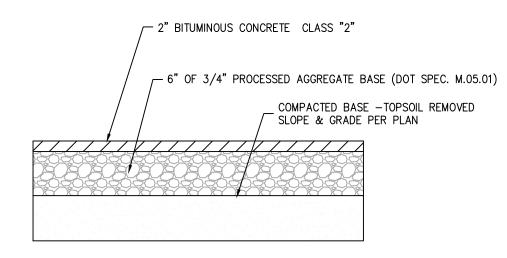
OUTLET CONTROL STRUCTURE - BASIN #1



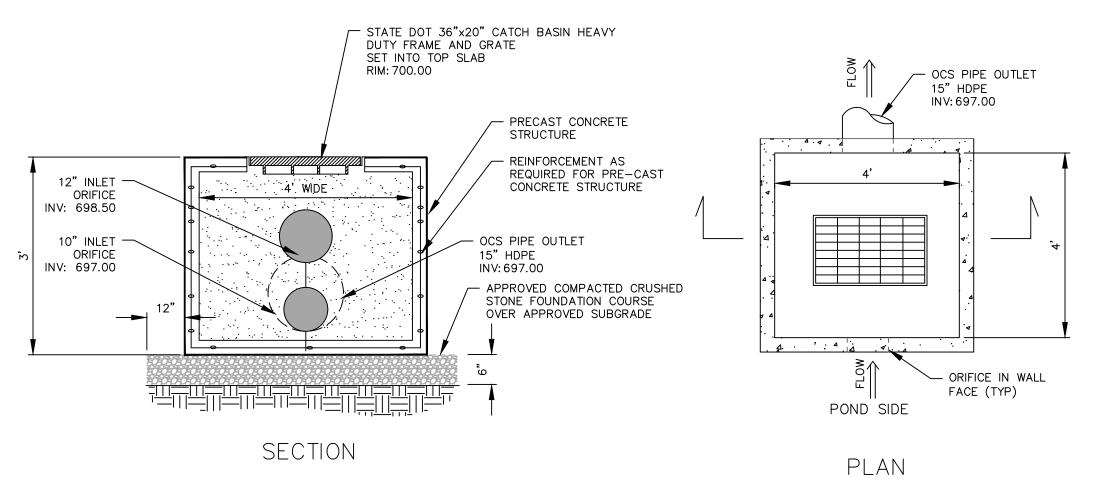
EMERGENCY SPILLWAY FOR STORMWATER BASINS



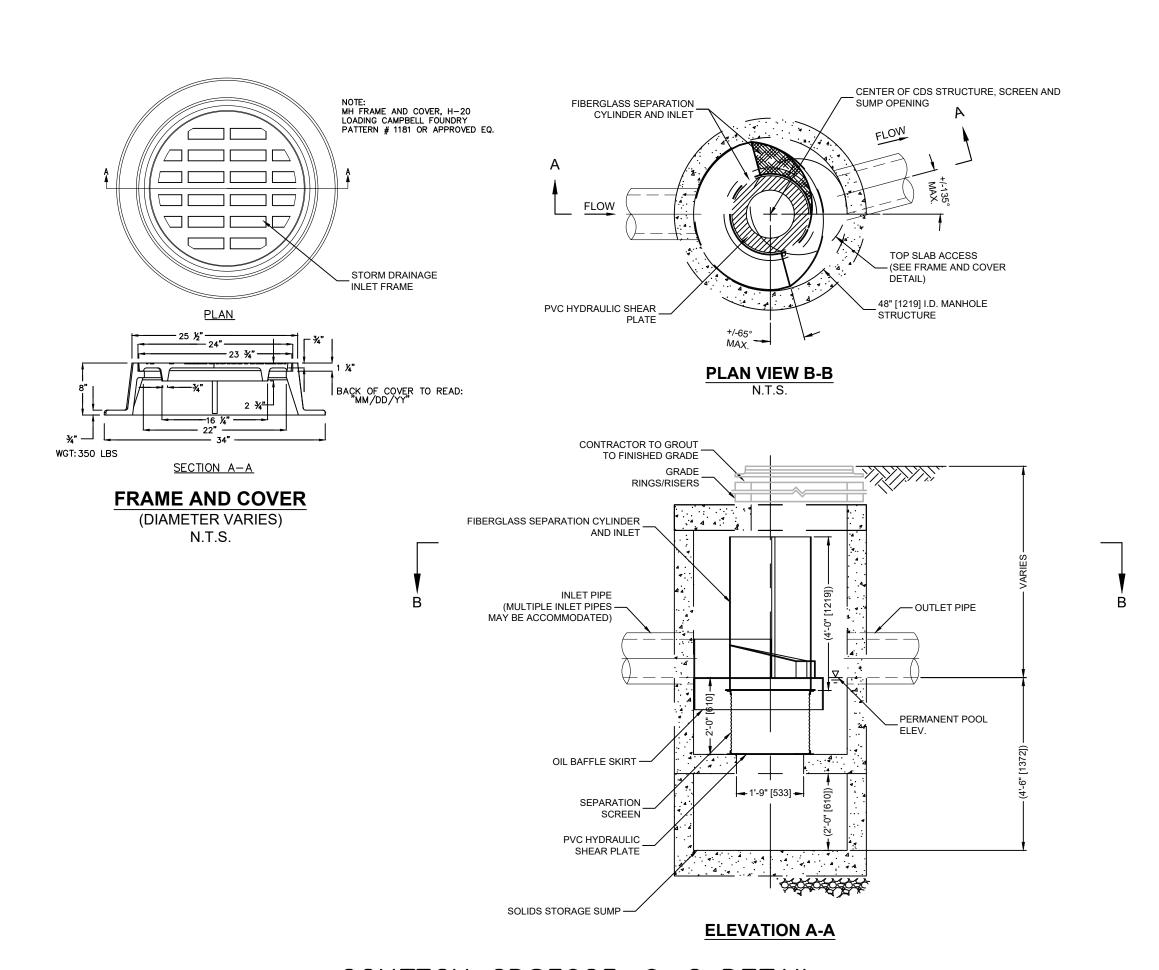
PERMEABLE BERM-STORMWATER RENOVATION AREA



ACCESS DRIVE SECTION — FOR STORMWATER BASIN MAINTENANCE ACCESS



OUTLET CONTROL STRUCTURE - BASIN #2



CONTECH CDS3025-6-C DETAIL

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR EACH HYDRODYNAMIC SEPARATOR FOR ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION

N. T.S.

| NO. | REVISION | DATE |
|-----|-----------------------------|-----------|
| 1 | REVISED PER REVIEW BY N & Y | 11 JAN 21 |
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OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

STORMWATER BASIN AND DETAILS

3 WOODRUFF HILL RD.
(LOT 5)
7 WOODRUFF HILL RD.
(LOT 6)





DRAWN: JL APPROVED: CJ

SCALE: 1" = 40

DATE: 4 DEC 20

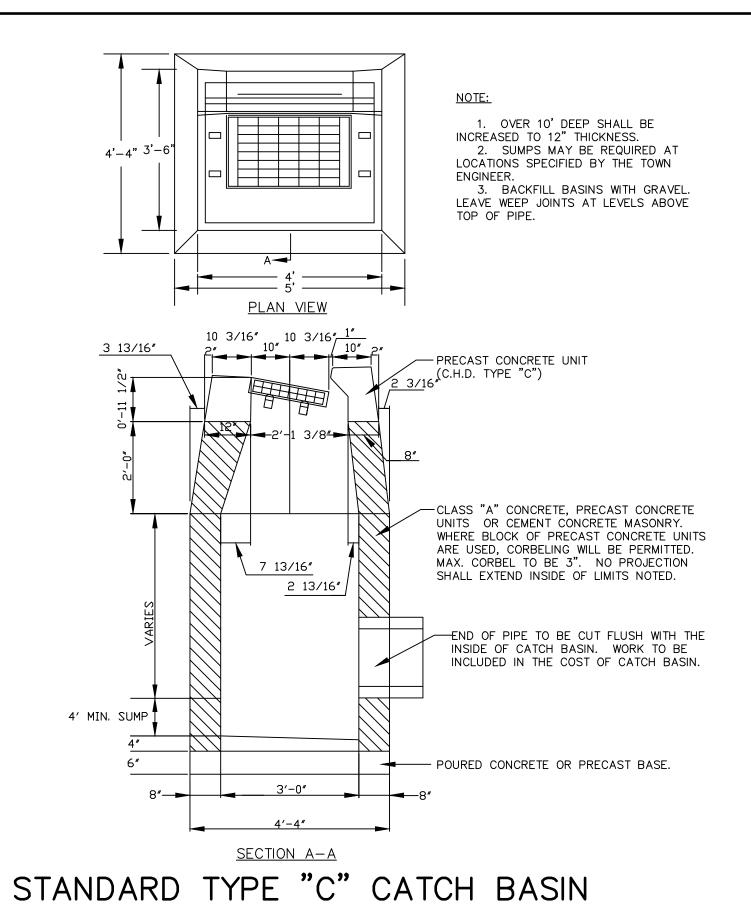
PROJ. NO.:

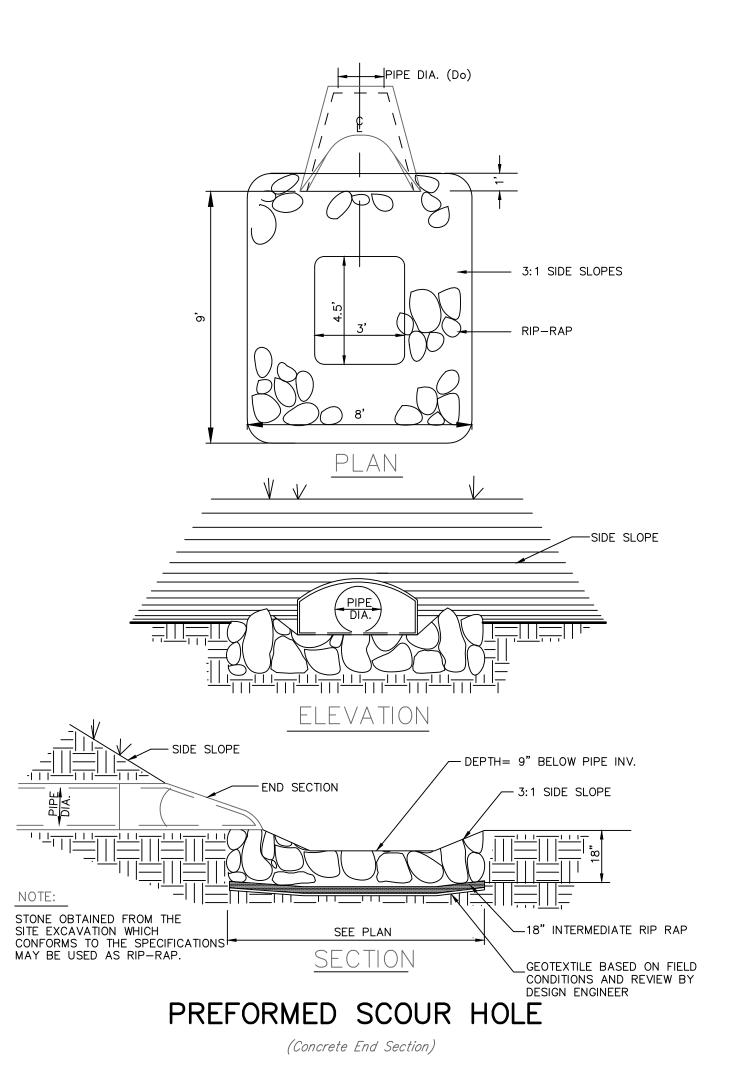
CADD FILE NAME: 3720

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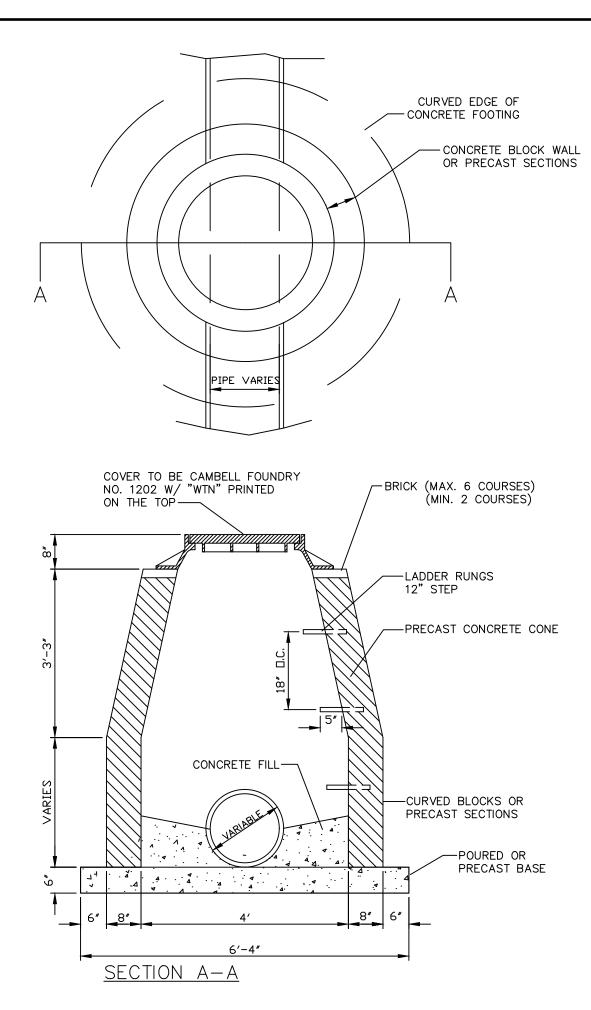
C 5.3

CONNECTICU

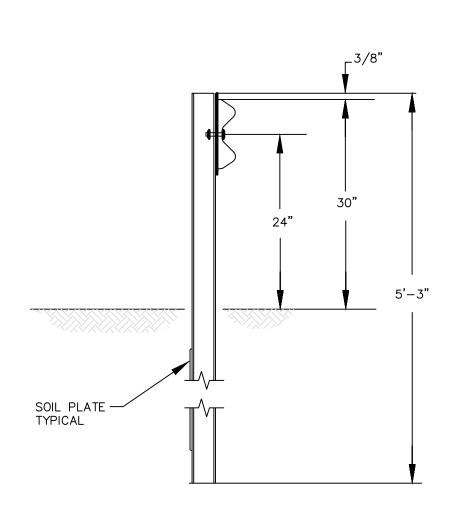




FOR USE WITHIN THE SITE N. T.S.



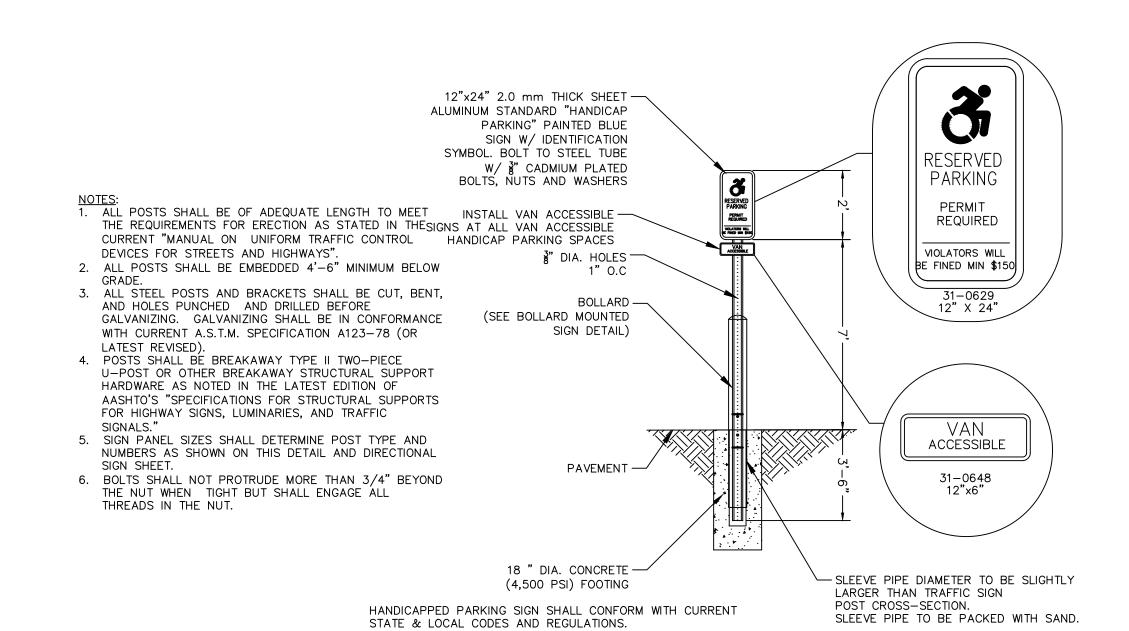
DRAINAGE MANHOLE WITHOUT SUMP



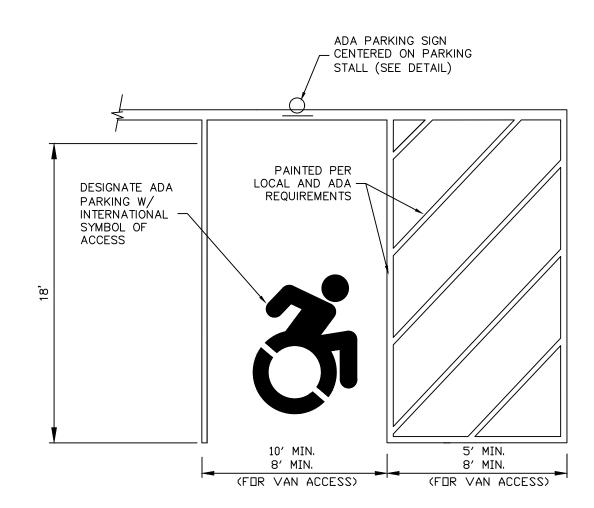
W-BEAM STEEL GUIDE RAIL

AASHTO DESIGNATION POST TYPE:
POST SPACING: S3 x 5.7 STEEL 12 GAGE W-BEAM BEAM TYPE: MAXIMUM DYNAMIC DEFLECTION: APPROXIMATELY 6FT-6IN.

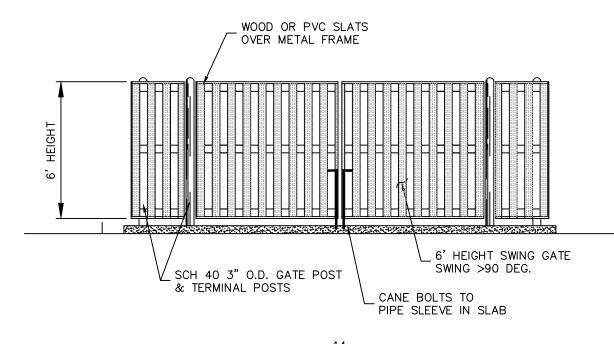
REMARKS: BARRIER AS SHOWN IS TL-2. TL-3 DESIGN IS 26 IN. TO CENTER OF RAIL WITH W-BEAM RAIL SPLICES LOCATED MIDWAY BETWEEN POSTS. A STEEL BACK - UP PLATE IS USED AT ALL POSTS LOCATIONS.

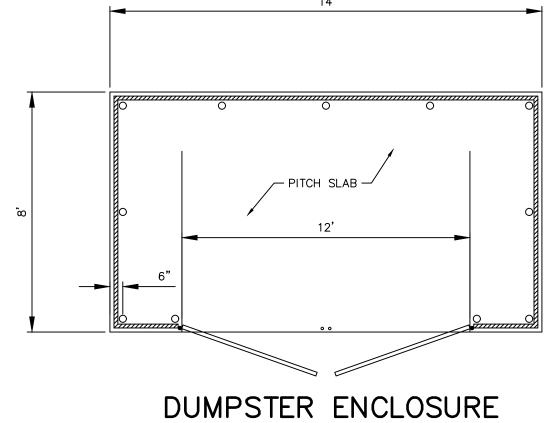


ADA ACCESSIBLE PARKING SIGN



ACCESSIBLE PARKING STALL STRIPING





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| | Previous Editions Obsolete | + - |
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OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

DETAILS

3 WOODRUFF HILL RD. (LOT 5) 7 WOODRUFF HILL RD. (LOT 6) CONNECTICU



APPROVED: CJ

1" = 40 4 DEC 20



CADD FILE NAME: 3720

GENERAL NOTES

The following general principles shall be maintained as effective means of minimizing erosion and sedimentation during the regrading process.

Stripping away of vegetation, regrading or other development shall be done in such a

Grading plans shall preserve important natural features, keep cut and fill operations to a minimum, and insure conformity with topography so as to create the least erosion potential and adequately handle the volume and velocity of surface water runoff.

Whenever feasible, natural vegetation shall be retained, protected and supplemented wherever indicated on the site development plan.

The undisturbed area and the duration of exposure shall be kept to a practical minimum. Disturbed soils shall be stabilized as quickly as possible.

Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development when expected to be exposed in excess of 7 days.

The permanent (final) vegetation and mechanical erosion control measures shall be

installed as soon as practical during construction.

Sediment in the runoff water shall be trapped until the disturbed areas is stabilized by the use of debris basins, sediment basins, silt traps or similar measures.

The lot shall be graded to drain and dispose of surface water without ponding.

Land disturbance will be kept to a minimum. Restabilization will be scheduled as soon as practical. Not more than 5 acres will be disturbed at any one time.

Haybale filters will be installed at all outlets and along the toe of all critical cut and fill

All control measures will be maintained in effective condition throughout the construction

The responsibility for implementing the erosion and sediment control plan will rest with the developer of record. He acknowledges that he is responsible for informing all concerned of the requirements of the plan, for notifying the planning administration of any transfer of responsibility.

Additional control measures will be installed during construction if necessary or required.

Concentration of surface runoff shall be only permitted by piping and/or through drainage swales or natural watercourses.

Excavation and Fills ——

Slopes created by cuts or fills shall not be steeper than 2:1 and shall be restabilized by temporary or permanent measures, as required during the development process. Erosion control blankets will be used on slopes in the vicinity of wetlands regulated areas and on additional slopes as needed.

Adequate provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surfaces of fills.

Cut and fills shall not endanger adjoining property.

All fills shall be compacted to provide stability of material and to prevent undesirable settlement. The fill shall be spread in a series of layers each not exceeding twelve (12) inches in thickness and shall be compacted by a mechanical roller or other approved method after each layer is spread.

Fill material shall be free of frozen material, sod, brush, roots, stumps and other organic

Fills shall not encroach on natural watercourses, constructed channels or regulated flood plain areas, unless permitted by license or permit from authority having jurisdiction.

Fills placed adjacent to natural watercourses, constructed channels or flood plains shall have suitable protection against erosion during periods of flooding.

Grading shall not be done in such a way as to divert water onto the property of another landowner without their express written consent.

During grading operations, necessary measures for dust control shall be exercised.

All erosion and sediment control measures will be constructed in accordance with the standards and specifications of the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (2002) - State of Connecticut DEP Bulletin 34.

WETLAND REGULATED ACTIVITIES - LOT 5

THERE IS NO PROPOSED ACTIVITY WITHIN THE WETLANDS.

EARTHWORK IN 100 FOOT WETLANDS REGULATED AREA:

1) FOR CONSTRUCTION OF BUILDING AND ADJACENT GRADING: 10,220 SF

2) FOR IMPROVEMENTS, ACCESS AND CLEANING OF EXISTING STORMWATER BASIN: 15.265 SF

TOTAL OF 25,485 SF OF ACTIVITY = 0.59 ACRES IN THE 100 FOOT WETLANDS REGULATED AREA

405 CY CUT IN 100 FT WETLANDS REGULATED AREA

2,225 CY FILL IN 100 FT WETLANDS REGULATED AREA

1,820 CY OF NET CUT IN 100 FT WETLANDS REGULATED AREA

WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF SITE WORK

WETLAND REGULATED ACTIVITIES - LOT 6

THERE IS NO PROPOSED ACTIVITY WITHIN THE WETLANDS.

EARTHWORK IN 100 FOOT WETLANDS REGULATED AREA:

1) FOR CONSTRUCTION OF BUILDING AND ADJACENT GRADING: 11,210 SF 2) FOR IMPROVEMENTS AND CLEANING OF EXISTING STORMWATER BASIN: 4,650 SF

TOTAL OF 15,860 SF OF ACTIVITY = 0.36 ACRES IN THE 100 FOOT WETLANDS REGULATED AREA

1,200 CY CUT IN 100 FT WETLANDS REGULATED AREA

60 CY FILL IN 100 FT WETLANDS REGULATED AREA

1,140 CY OF NET CUT IN 100 FT WETLANDS REGULATED AREA

WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF SITE WORK

TOTAL EARTHWORK QUANTITIES - LOT 5

TOTAL EARTHWORK ESTIMATE FOR CONSTRUCTION ACTIVITIES:

101,392 SF OF ACTIVITY = 2.3 ACRES

3,050 CY CUT 6,250 CY FILL

3,200 CY NET FILL

TOTAL EARTHWORK QUANTITIES - LOT 6

TOTAL EARTHWORK ESTIMATE FOR CONSTRUCTION ACTIVITIES:

113,765 SF OF ACTIVITY = 2.6 ACRES

4,220 CY CUT 1,020 CY FILL 3.200 CY NET CUT

RESPONSIBILITY FOR THE PLAN

The responsibility for implementing and maintaining the Erosion and Sedimentation Control Plan rests with the OWNER, where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER shall be held responsible for informing all concerned regarding responsibility of the plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage, erosion and sedimentation control measures will therefore rest with the OWNER.

Whenever sedimentation is caused by stripping vegetation and/or grading, it shall be the responsibility of the person, corporation or other entity having responsibility to remove sedimentation from all lower properties, drainage systems and watercourses and to repair any damage at their expense as quickly as possible.

Maintenance of all drainage facilities and watercourses within any land development shall be the responsibility of the OWNER until they are accepted by the Town. All control measures will be maintained in effective condition throughout the construction period. Surface inlets shall be kept open and free of sediment and debris. The system shall be checked after every major storm and sediment shall be disposed of at an approved location consistent with the plan.

It shall be the responsibility of any person, corporation or other entity engaging in any act on or near any stream, watercourse or swale or upon the flood plain or right-of-way thereof to maintain as nearly as possible in its present state that same stream, watercourse, swale, flood plain or right—of—way for the duration of the activity and to return it to its original or equal condition after such activity is completed.

Maintenance of drainage facilities or watercourses originating and completely on private property shall be the responsibility of the OWNER to their point of open discharge at the property line or at a communal watercourse within the property.

No person, corporation or other entity shall block, impede the flow of, alter, construct any structure or deposit any material or thing or commit any act which affects normal or flood flow in any communal stream or watercourse without having obtained prior approval from the Town.

An adequate right-of-way and/or easement shall be provided for all drainage facilities and watercourses which are proposed either for acceptance by the Town or provided by other property owners for the convenience of the OWNER.

IN CASE OF AN EMERGENCY (e.g. severe flooding, rains, or other environmental problems): THE PARTY RESPONSIBLE AND THE TOWN'S WETLAND ENFORCEMENT OFFICER SHALL BE NOTIFIED.

SEEDING AND PLANTING REQUIREMENTS

Seedbed Preparation Fine grade and rake surface to remove stones larger than 2" in diameter. Install needed erosion control devices such as surface water diversions. Grade stabilization structures, sediment basins or drainage channels to maintain grassed areas. Apply limestone at a rate of 2 tons/Ac. or 90 lbs/1000 SF unless otherwise required according to soil test results. Apply fertilizers with 10-10-10 at a rate of 300 lbs./Ac. or 7.5 lbs/1000 SF. At least 50% of the nitrogen shall be from organic sources. Work lime and fertilizer into soil uniformity to a depth of 4" with a whisk. springtooth harrow or other suitable equipment following the contour lines.

Seed Application

Apply grass mixtures at rates specified by hand, cyclone seeder or hydroseeder. Increase seed mixture by 10% if hydroseeder is used. Lightly drag or roll the seeded surface to cover seed. Seeding for selected fine grasses should be done between April 1 and June 1 or between August 15 and October 15. If seeding cannot be done during these times, repeat mulching procedure below until seeding can take place or seed with a quick germinating seed mixture to stabilize slopes. A quick germinating seed mixture (Domestic Rye) can be applied between June 15 through August 15 as approved by the Engineer.

Immediately following seeding, mulch the seeded surface with straw, hay or wood fiber at a rate of 1.5 to 2 tons/Ac. except as otherwise specified elsewhere. Mulches should be free of weeds and coarse matter. Spread mulch by hand or mulch blower. Punch mulch into soil surface with track machine or disk harrow set straight up. Mulch material should be "tucked" approximately

hay or wood fibers, will be used where difficult slopes do not allow harrowing by machines.

2- 3" into the soil surface. Chemical mulch binders or netting, in combination with the straw,

Grass Seed Mixtures

Temporary Covers Perennial ryegrass 20 lbs/Ac. Annual ryegrass 20 lbs/Ac.

Permanent Covers Creeping Red Fescue Canada Bluegrass

40 lbs/Ac 20 lbs/Ac

NOTE: ALL PLANTINGS ON SITE SHALL BE NATIVE, NON-INVASIVE SPECIES.

CONSTRUCTION SEQUENCE

STEPS TO BE TAKEN TO PREVENT SILTING OF THE WETLANDS DURING CONSTRUCTION OF LOT 10 WOODRUFF HILL INDUSTRIAL PARK OXFORD, CONNECTICUT

THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

Field stakeout the limits of all construction activities.

Clear any existing vegetation within the construction area. All trees/shrubs less than 6" in diameter shall be chipped and stored on the site. Stumps shall remain in place and no arubbing shall occur until silt fence is installed.

Haybales and/or siltation fence and other erosion control features will be placed as shown on the enclosed plan prior to the removal of any stumps.

Remove any stumps from the area and install the anti-tracking pads. At the end of each working day any accumulated silt shall be swept from the

existing town roads. Install initial erosion control measures including perimeter silt fence.

Use both of the existing Temporary Sediment Traps (TST) at the western side of the property during earth excavation.

This TSTs will be converted to permanent storm water renovation basin after the site is stabilized by installing an outlet structure and filter berm per the

Strip and stockpile any remaining topsoil and subsoil material outside of the

Mass excavation of excess material will occur during this time. Rough grade site to subarade elevation.

Once the cuts and fills are complete and the site is brought to sub grade, all slopes loamed, seeded and mulched. Any 2:1 slopes greater than 15' in height will have erosion control blankets installed per the enclosed plans and details.

The storm drainage piping will now be installed. Haybales shall be placed around the catch basins to stop silt from entering the drainage system. Haybales shall also be placed in a semi-circular pattern around the discharge end of the drainage pipe to collect any silt that may temporarily enter the drainage system during construction. The haybales around the catch basins shall be kept in place until the parking area is paved and the haybales around the discharge end of the pipes shall be maintained until the area has sufficient ground cover to control

Excavate and pour foundation for building for Lot 5 (the southern building). Begin construction of building

Install underground utilities, water main extension, water service laterals and sanitary sewer service lateral.

Place processed gravel on driveway and parking area for Lot 5.

Pave driveway and parking areas for Lot 5 with binder course. The final course will be installed after the building on Lot 6 is complete.

Excavate and pour foundation for building for Lot 6 (the northern building). Begin

Install underground utilities, and water service lateral.

Place processed gravel on driveway and parking area for Lot 6.

Pave driveway and parking areas for Lot 6 with binder course. Place final course of pavement on the entire driveway and parking areas for Lots 5 and 6.

Provide temporary seeding measures on all exposed soils which were damaged due to construction activities and are not to be permanently restored or are outside of construction traffic zones for a period in excess of 7 days.

Seed all disturbed areas.

Once the site is stabilized removed the temporary outlet structure from the TST, install the permeable water quality berm, clean all silt from drainage structures and the bottom of the storm water quality cell. Topsoil and seed the bottom and interior slopes of storm water quality cell

All erosion control measures are to remain in place until the site is permanently

The exact start time of construction is unknown, however the estimated construction time of the project is 270 days.

SANITARY SEWER SPECIFICATIONS

1) ALL SANITARY SEWER IMPROVEMENTS MUST BE IN COMPLETE COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE SUPERVISION, MANAGEMENT, CONTROL, OPERATION, AND USE OF THE SEWERAGE SYSTEM FOR THE TOWN OF OXFORD, CONNECTICUT DATED JUNE 5, 2006 OR LATEST REVISION.

2) ALL GRAVITY SEWER PIPES WILL BE SIZED ACCORDING TO THE THESE PLANS. AND SHALL BE CONSTRUCTED OF PVC PIPING MEETING THE REQUIREMENTS OF SECTION 3.6.A OF THE RULES AND REGULATIONS FOR THE SUPERVISION, MANAGEMENT, CONTROL, OPERATION, AND USE OF THE SEWERAGE SYSTEM FOR THE TOWN OF OXFORD, CT

3) SANITARY SEWER MANHOLES SHALL BE PLACED AS SHOWN ON THESE PLANS, AND MUST MEET THE REQUIREMENTS OF SECTION 3.17 OF THE TOWN OF OXFORD SEWERAGE

5) IF THE TOWN OF OXFORD WPCA DEEMS NECESSARY, LEAKAGE TESTING OF THE GRAVITY SEWERS WILL BE PERFORMED IN COMPLIANCE WITH SECTION 3.20 OF THE TOWN OF OXFORD SEWERAGE REGULATIONS.

4) SANITARY SEWER PIPING AND PUBLIC WATER PIPING MUST HAVE A MINIMUM

SÉPARATION DISTANCE OF 10 FEET WHEREVER POSSIBLE.

LITTER CONTROL NOTES

As a condition of an inland wetlands permit, all commercial/industrial establishments in close proximity to a wetland or watercourse, shall establish a litter control program, to include litter cleanup encompassing the entire site, both paved and vegetated areas, and such clean-up shall be performed on a weekly basis and further any storm water control structures such as catch basins, sumps, vortechnic units, oil & water separators, retention/detention ponds, level spreaders, etc. shall be cleaned and inspected on an annual basis. A signoff sheet will be established and kept current which shall include the date and time of the litter pickup and the signature of the person performing the cleanup. This signoff sheet will be available to Inland Wetlands staff, Commissioners, and their agents.

EMERGENCY SPILL PLAN

A spill is defined in the Connecticut General Statute 22a- 452c. For practical purposes, any oil or petroleum products, chemical or waste that is released in any manner constitutes a spill. In the event of an emergency spill, the following steps shall be taken: Contact the State of Connecticut Department of Environmental Protection

Oil & Chemical Spill Response Division at (860) 424— 3338 immediately. Contact the First Selectman's office in Oxford at 888- 2543. The spill shall be contained immediately.

MAINTENANCE PLAN FOR TEMPORARY SEDIMENT TRAP

All maintenance of the temporary sediment trap shall be performed in accordance with the 2002 CT Guidelines for Soil Erosion and Sediment Control:

Inspect the temporary sediment trap at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater. Check the outlet to ensure that it is structurally sound and has not been damaged by erosion or construction equipment. The height of the stone outlet should be maintained at least 1 foot below the crest of the embankment. Also check for sediment accumulation and filtration performance.

When sediments have accumulated to one half the minimum required volume of the wet storage, de-water the trap as needed, remove sediments and restore the trap to its original dimensions. dispose of the sediment removed from the basin in a suitable area and in such a manner that it will not erode and cause sedimentation problems.

MAINTENANCE PLAN FOR STORM DRAINAGE SYSTEM

STORM WATER RENOVATION BASINS:

RESPONSIBILITY:

Semi-Annual: 1. Cut or mow grass lined slopes. Grass areas adjacent to the proposed driveway may be moved more frequently.

2. Inspect for and remove invasive vegetation. 3. Clean and remove debris from inlet and outlet structures. 4. Remove trees from the berm of renovation areas, only shrubs and grasses should be allowed to remain.

1. Inspect outlet of the stormwater renovation basin. Remove sediment once it has

built up to a depth of 2" or greater near the outlet. Inspect inlet of storm water renovation basin. Once any forebay area has sediment build up within 6" of the top of the forebay should be cleaned out (i.e. 6-8" of sediment build up).

CATCH BASINS, HYDRODYNAMIC OIL/WATER SEPARATOR AND STORM PIPING:

Catch basins, the oil/water separator and storm drainage piping will be inspected on an annual basis. Any floatables, trash, debris or sediment build up shall be removed by a licensed contractor. The hydrodynamic separator shall be maintained in accordance with the manufacturer's recommendation.

The on-site catch basins, the oil/water separator and the storm water quality basin and all aspects of the storm drainage system must be maintained in good working condition in accordance with the intent of these site plans.

The land owner will be responsible for the long term maintenance of the storm drainage system as listed above. Maintenance reports indicating that the system has

been maintained in accordance with the intent of the plan shall be submitted to the

Town Land Use Offices on a semi-annual basis after the maintenance & inspections

OXFORD INDUSTRIES, LLC 20 OLD COUNTRY ROAD OXFORD CT.

REVISION

1 REVISED PER REVIEW BY N & Y

2 REVISED PER REVIEW BY N & Y

Previous Editions Obsolete

3 APPLICANT NAME CORRECTED

DATE

11 JAN 2

10 FEB 2

25 FEB 2

EROSION CONTROL NARRATIVE AND PROJECT NOTES

3 WOODRUFF HILL RD. (LOT 5) 7 WOODRUFF HILL RD. (LOT 6)

CORNERSTONE PROFESSIONAL PARK, SUITE D-101



DRAWN: JL APPROVED: CJ 1" = 40 4 DEC 20 CADD FILE NAME: 3720

CONNECTICU

43 SHERMAN HILL ROAD (203) 266 - 0778 CONNECTICUT

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Christopher J. Smith csmith@alterpearson.com

701 Hebron Avenue P.O. Box 1530 Glastonbury, CT 06033

860.652.4020 TELEPHONE 860.652.4022 FACSIMILE

February 24, 2021

Via email

David T. Sauter, Chairman
Planning & Zoning Commission
Town of Oxford
Oxford Town Hall
486 Oxford Road
Oxford, Connecticut 06478-1298

Re: Request for five-year extension of time for site plan modification approval associated with Oxford Greens, Phase 4 East, for thirty-nine (39) units located on real property designated as Map 32; Block 11; Lot 16; in Oxford Greens, Oxford, Connecticut.

Approval: Z-16-028.

Owner / Applicant: Timberlake Investment Partners IV, LLC.

Dear Chairman Sauter and Members of the Commission:

The undersigned Firm represents Timberlake Investment Partners IV, LLC ("Timberlake") concerning the above-referenced Approval for site plan modification. Work associated with the Approval has not commenced, and there has been no substantial or material change of circumstances concerning the subject real property. However, Timberlake anticipates proceeding with the approved work in the near future due to current economic conditions.

The Approval is set to expire on June 14, 2021, which is five years subsequent to the effective date of Approval by the Commission. (A copy of the Notice of Approval correspondence is enclosed for you convenience.) Therefore, Timberlake respectfully requests a five-year extension, as provided by law, whereby the Approval will expire on June 14, 2026.



Thank you for your anticipated cooperation and assistance concerning this matter.

As always, best regards.

Very truly yours,

Christopher J. Smith

cc: Timberlake Investment Partners IV, LLC (w/ enclosure)

Kevin H. McSherry, Esquire (w/enclosure)

TOWN OF OXFORD

PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov

www.Oxford-CT.gov

July 11, 2016

Shipman and Goodwin, LLP C/o Christopher J. Smith One Constitution Plaza Hartford, CT 06103-1919

Dear Attorney Smith,

At the Planning & Zoning Meeting held on June 7, 2016 the Commission took the following action on application Z-16-028 — Oxford Greens Phase 4 East — Owner & Applicant: Timberlake Investment Partners IV, LLC (Site Plan Modification):

MOTION BY Commission Secretary Pat Cocchiarella:

WHEREAS, The Oxford Planning and Zoning Commission have received Application Z-16-028 requesting site plan modification approval for Oxford Greens Phase 4 East.

WHEREAS, The Oxford Planning and Zoning Commission considered the following plans and maps, within their deliberations:

 Sheet PH-1 Oxford Greens Phasing Plan Drawn by TPA Design Group, last dated March 31, 2016.

NOW THEREFORE, the Commission hereby finds as follows:

- 1. The application is in conformance with the approved Oxford Greens
- Conceptual Plan as revised.
- 3. The application conforms to all requirements of the Oxford Zoning regulations.

BE IT RESOLVED that based upon the application and testimony, this application is approved, subject to the following conditions:

- 1. Compliance with Oxford Zoning Regulations as of this date.
- Conformance with all representations made by the applicant or his agents, verbally and in writing.
- 3. Conformance with all other relevant provisions of the initial and subsequent approvals of the Oxford Greens Concept Plan
- 4. This application is approved with all standard applicable conditions.

This approval shall be effective June 14, 2016.

Second by Vice Chairman Jeff Luff. All Ayes.

Should you have any questions or concerns please contact me at (203) 828-6512.

Sincerely,

Jessica L. Pennell
Administrative Secretary

Planning & Zoning Commission

Mailed Certified Return/Receipt on 7/11/2016

control organization desired and

7015 1520 0003 5252 6576

TOWN OF OXFORD

PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov

www.Oxford-CT.gov

July 11, 2016

Shipman and Goodwin, LLP C/o Christopher J. Smith One Constitution Plaza Hartford, CT 06103-1919

Dear Attorney Smith,

At the Planning & Zoning Meeting held on June 7, 2016 the Commission took the following action on application Z-16-029 - Oxford Greens Phase 4 East - Owner & Applicant: Timberlake Investment Partners IV, LLC (Site Plan):

MOTION BY Commission Secretary Pat Cocchiarella:

WHEREAS, The Oxford Planning and Zoning Commission have received Application Z-16-029 requesting site plan approval for Oxford Greens Phase 4 East.

WHEREAS, The Oxford Planning and Zoning Commission considered the following plans and maps, within their deliberations:

- Oxford Greens Phase 4 East Residential Development, 39 Homes, Drawn by TPA Design Group, last dated March 31, 2016.
- Sheef SU-1, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-2, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-3, Boundary Survey, Drawn by Connecticut Civil Group, dated March 6, 2004.
- Sheet SU-4, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2003
- Sheet SU-5, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2004
- Sheet SU-6, Topographic Survey, Drawn by Connecticut Civil Group, dated March 6, 2004
- Sheet ECS-1 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated September 12, 2005
- Sheet ECS-2 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated
 September 12, 2005
- Sheet ECS-3 of 3, Existing Conditions Study, Drawn by Connecticut Civil Group, dated September 12, 2005
- Sheet OS-1, Overall Site Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet OSP-1, Open Space Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet WS-1, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016

- Sheet WS-2, Phase 4 East, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA
 Design Group, dated March 31, 2016
- Sheet K-1, Key Map, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet WS-1, Wetlands and Slopes Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet PH-1, Phasing Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet EC-1, Existing Conditions Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet SP-1, Phase 4 East Site Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet LP -1 Phase 4 East Layout Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-1, Phase 4 East Erosion and Sedimentation Control Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-27, Erosion and Sedimentation Control Plan Details, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-28, Erosion and Sedimentation Control Plan Details, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet E-29, Erosion and Sedimentation Control Plan Narrative, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet G-1, Grading Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet U-1, Utility Plan, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet P-28, Plan and Profile, Tilllinghast Drive, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet P-29, Plan and Profile, Mackenzie Lane, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet PX-16, Cross Country Profiles, Tilllinghast Drive and Mackenzie Lane, Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- Sheet D-1 through D-21, Miscellaneous Oxford Greens, Drawn by TPA Design Group, dated March 31, 2016
- (Other documents as revised and presented at the June 7, 2016 PZC Meeting)

NOW THEREFORE, the Commission hereby finds as follows:

The application is in conformance with the approved Oxford Greens Conceptual Plan as revised.

The application conforms to all requirements of the Oxford Zoning regulations.

BE IT RESOLVED, that based upon the application and testimony, this application is approved, subject to the following conditions:

- 1. Compliance with Oxford Zoning Regulations as of this date.
- Conformance with all representations made by the applicant or his agents, verbally and in writing.
- 3. Last revised final plans showing all necessary changes must be approved by Planning and Zoning Engineer and the Zoning Enforcement Officer.



February 16, 2021

WPCA and Planning & Zoning Town of Oxford SB Church Memorial Town Hall 486 Oxford Road Oxford, CT 06478-1298

Re: Mountain Road Estates (Meadow Brook Estates)

To Whom It May Concern:

Please be informed that all Units at Meadow Brook Estates closed on or before November 2020.

We respectfully request any and all bonds be released for the above referenced project.

Thank you in advance for attention to this matter, should you have any questions please feel free to contact me directly at 203-376-7182.

Sincerely,

Kathy. Ekstrom Development Manager

ke



September 10, 2020

Mr. David T. Sauter, Chairman Planning and Zoning Commission Town of Oxford 486 Oxford Road Oxford, CT 06478

Re: Meadowbrook Estates, Oxford, CT

Dear Mr. Sauter:

Nafis & Young Engineers, Inc. (NYE) is in receipt of a request for release of a Performance Bond in the amount of \$300,000.00 for the above-referenced project. This project is still active as several units have not closed. NYE recommends that the Performance Bond for this project (400KF6036) be maintained for one (1) year after the last closing.

If you should have any questions, please feel free to reach out to me at 203-314-8041.

Sincerely,

Jaynes H. Galligan, P.E.

Nafis & Young Engineers, Inc.

Town Engineer of Oxford

PLANNING & ZONING COMMISSION TOWN OF OXFORD 486 Oxford Road Oxford, CT 06478 (203) 888-2543

| Z#: | Z-19-328-B |
|-------|-----------------------|
| Date | Rec'd: |
| Date | on Agenda: $3-2-2021$ |
| 65-Da | ay Expiration: |

ZONING PERMIT APPLICATION

| (This permit is hereby applied for in accordance with the requirements of the | e Oxford Zoning Regulations) |
|--|--|
| Property Identification | |
| Street Address: 308 CX Geed Rd Subdivision Name: Date Approved: Map: 34 Block: 9 Lot: 20 Zoning district: Comm. | PurposeNew HomeAddition |
| Owner/Applicant | Garage Cottage Business |
| Owner Name: WAITER Archer / Cittle River ASSOC. Owner Address: 49 Burtville Ave # 2 Derby Owner Telephone: 203 736-0644 | Swimming Pool IG AG Sign Shed Barn |
| Applicant Name: Elaine MArcacio Applicant Address: 22 Prointe Ave, Derry Applicant Telephone: 203 887-5047 | Change of Use Excavating/Filling Trailer Other |
| Miscellaneous Information | Use |
| Special Exception: Article Section Yes No Site Plan Approval: Article Section Yes No Estimated Cost of Construction: Variance Granted: Date Granted: | Single-Family Residence Multi-Family Residence Commercial Industrial Residential/POD Other |
| Signatures/Authorization Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application. | Required Approvals and Dates Inland Wetlands P.D.D.H Fire Marshal |
| Permit Void If: a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance. | Z.B.A. W.P.C.A. Floodplain Copy of Deed Driveway |
| This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations. | Erosion Control Plan Plot Plan * Other |
| Melleroperty Owner or Agent 2/15/2021 2-1 | 7-328H Town Fee State Fee Total Fee |
| *Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; locat respect to boundaries; location of existing buildings on property; outside dimensions of all buildings propose supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exact later changes from this plan are desired prior approval of an amended application is necessary. | ed or now existing; location of water otly as described in this application. If |
| Denied Approved By: Title: | 121 |
| Reason for Denial | ZPA-1 (Adopted 5/15/97) |



TOWN OF OXFORD
S.B. Church Memorial Town Hall
486 Oxford Road, Oxford, Connecticut 06478-1298

www.Oxford-CT.gov

Planning and Zoning Commission

Application #: 2//

STATEMENT OF USE

| Article 11, Section 2 |
|---|
| Property Address: 308 CX Gra Rd Zone: Comm Map: 34 Block: 9 Lot: 28 |
| Name and Address of Owner: Walter Archer 49 Burtville AVE # 2 Dechy, CT, we |
| Name and Address of Applicant: Eline Maccucio |
| Name of Proposed Business: New England Yung at Heart D/B/H MARCUCIOS |
| Total Square Footage: 1,000 - FREM MARKET |
| Hours of Operation: Thurs - Fri 11-3pm Sat 10-3pm |
| Number of Employees: |
| List Hazardous and/or Chemicals Material on site: |
| Provide Approval from: PDDH Fire Marshal Other |
| Se Attached |
| |
| |
| |
| I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended. understand that if any of the above statements are false, I may be subject to fines and/or penalties. |
| Applicant's Signature Date |
| - Fr Date |



Fwd: Add to statement of use

1 message

Steve Macary <zoningenforce@oxford-ct.gov> To: Jessica Pennell <PandZ@oxford-ct.gov>

Fri, Feb 26, 2021 at 8:17 AM

----- Forwarded message ------

From: NE Young at Heart <neyoungatheart@gmail.com>

Date: Fri, Feb 26, 2021 at 6:25 AM Subject: Add to statement of use

To: Steve Macary <zoningenforce@oxford-ct.gov>
Cc: George Temple <firstselectman@oxford-ct.gov>

Steve,

For my statement of use i would like to add the following please.

Hours are as follows

Thursday, Friday 11 to 3pm

Saturday 10 to 3 pm

Connecticut locally farmed, made and sourced items will be sold outside during these hours. These are the same vendors products I carry in the market however during the hours listed above the vendor is allowed to set up outside on the lawn of the market to promote his/her products.

The market is applying for liquor liscense to sell. Only CT farm wines, craft beers and products from local distilleries.

All the sales from the market will be put back into the Senior Meal Program that not only serves approx 100 Oxford residents weekly but surrounding towns.

The meals are made fresh and sourced from local farms. The market is supporting local farms, residents and our senior population by offering low cost, healthy meal programs at senior centers and home meal service for those who are homebound.

I appreciate the town's approval for this program.

This will be a certified farm market with Deptartment of Agriculture, in order for that to happen i need a minimum of 2 farms outside selling items during business hours.

Also will the liquor permit be on this in order for me to apply i need Town clearance first to sign off on paperwork.

And it will still take 90 days for approval from state .

So I would like to get it done.

Thanks for your help

I just want to cover all bases.

New England Young at Heart DBA Marcucio's Farm Market & Country Store 308 Oxford Rd Oxford, CT 06478

Owner Elaine Marcucio / 203-463-8339

Store hours: Thursday & Friday 11-3pm Saturday 10-3pm

Saturday (only) will continue to host our vendors no more than 20 vendors on property same as 2020 From March 15, 2021 to December 30, 2021 FARM MY ICT

Dad's Cannoli Truck on premise on Saturday during 10-3pm hours

One employee

Products that will be sold

Local Tea, Honey, Coffee, Chocolate

Cold products to be sold Soup & Prepared Meals

The Farm Market will help to offset the costs for the senior home meal delivery program that serves approximately 100 + seniors weekly at a low cost.

4 Picnic tables will be placed outside

A Applying for liquer liscense to Sell Locker Wines # Sign is 40"x 72" MDO wood with vinyl lettering Double sided installed on 2) new 4x4 posts Installed in soft ground with cement. = \$450.00+tax



Young at Heert

Live Well, Laugh Often, Love Much

TOWN OF OXFORD PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 Phone: (203) 828-6512 · Email: pandz@oxford-ct.gov www.Oxford-CT.gov

1 Floing MARCUCIO



APPLICANT ACKNOWLEDGEMENT FORM (AAF)

| regulations relevant to Application # | | , including, but not l | |
|---|--|------------------------|-------------------|
| | | | |
| | | ž | 29 9 |
| Applicant acknowledges that failure t | o comply with Oxford Planning | and Zoning regu | ulations may l |
| lelays, additional fees, and/or other eceiving a copy of completed Form A | penalties related to the applicat | ion. Applicant a | icknowledges |
| BEFORE SIGNING, APPLICANTS PLEAS | SE NOTE: | | |
| | 2.113.12. | · | × . |
| on behalf Applicant Name (please print) | partnership, trust, association) that Applicant Signature | t he or she is lega | Illy authorized t |
| MANCLEOO | anduin | * | |
| Date: 12/15/19 | | | |
| Vitness Name | Witness Signature | lacay 5 | m 2/18/ |
| Date: 12-16-19 | | | 140 |



TOWN OF OXFORD PLANNING & ZONING COMMISSION

S.B. Church Memorial Town Hall 486 Oxford Road, Oxford, Connecticut 06478-1298 www.Oxford-CT.gov

Planning & Zoning Commission Regular Meeting Minutes Tuesday, February 2, 2021 7:30 PM - Online/Virtual Meeting

The Planning & Zoning Commission met remotely on Tuesday, February 2, 2021 at 7:30 PM.

Members of the public were able to join us online using the following information:

Join Zoom Meeting:

https://us02web.zoom.us/j/89944797563?pwd=MFE2dy9nY1VHK084ck5WOHN5SUZ0Zz09

Meeting ID: 899 4479 7563

Passcode: 213798

OR:

Join by Phone Number:

+1 646 558 8656

I. CALL TO ORDER

Chairman Dave Sauter called the meeting to order at 7:31 PM.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Present: Joshua Dykstra, Pete Zbras, John Kerwin, Pat Cocchiarella, and Brett Olbrys.

Also Present: Jessica Pennell, Steve Macary, ZEO, and Kevin McSherry, Land Use Counsel.

Not Present: Dan Wall, Jesse Schremmer, and Mary LoPresti.

IV. SEATING OF ALTERNATES

Chairman Dave Sauter seated Alternate Joshua Dykstra for Commissioner Jesse Schremmer.

V. PUBLIC HEARINGS

- A. Recessed Public Hearings NONE
- **B.** New Public Hearings NONE
- C. Future Public Hearings NONE

VI. REGULAR MEETING BUSINESS

- A. Amendments to the Agenda
- **B.** Audience of Citizens
- C. Correspondence NONE
- D. Old Business Matters on which a Public Hearing was held NONE
- E. Old Business Other Matters NONE
- F. New Business Schedule a Public Hearing NONE
- G. New Business:
- Z-21-012 [IND] 3 Woodruff Hill Road, aka Lot 5 Owner: Town of Oxford 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)
- Z-21-013 [IND] 7 Woodruff Hill Road, aka Lot 6 Owner: Town of Oxford 486 Oxford Road, Oxford, CT - Applicant: Oxford Enterprises, LLC, 20 Old Country Road, Oxford, CT (Site Plan Application)

Brian Baker of Civil 1 represented the applicant, Darin Bouchard. He explained that there are two (2) applications that apply to adjacent lots. The applicant is under contract to purchase both lots from the Town. He shared his screen with the Commission, which depicted the maps and plans submitted with the applications. He went over the site plan and noted that the applicant is building two (2) buildings. A 26,500 square foot building is planned for Lot 6, and an 11,200 square foot building is planned for Lot 5. He went over the Statement of Use with the Commission, noting this is a volume reduction facility. The applicant recycles asphalt shingles and construction debris, and processes it into raw materials. He also noted that all processing and storage of vehicles would be inside of the building. He stated that the smaller building would be for offices and the storage of vehicles, and the larger building would be the processing facility. He noted that the applications received wetlands approval. He also briefly discussed the detention basins, drainage, grading, and soil and erosion control plan.

Darin Bouchard, applicant was present to answer any questions from the Commission.

Brian Baker presented an architectural rendering of the site and buildings to the Commission.

Vice-Chairman John Kerwin reiterated Mr. Baker's explanation of the application and questioned if the lots are zoned industrial.

Darin Bouchard agreed with the statements made by Vice-Chairman John Kerwin. He explained how the facility recycles the materials to produce the final product.

Vice-Chairman John Kerwin questioned the type of equipment that would be located in the larger building.

Darin Bouchard listed the types of machinery used to recycle the asphalt and other construction debris.

Vice-Chairman John Kerwin questioned if other regulatory agencies would be overseeing the operation.

Darin Bouchard stated that DEEP, and OSHA would oversee the facility.

Commission Secretary Pat Cocchiarella noted that there is not a landscaping plan included in the plans.

Brian Baker stated that the landscaping plan is included and pointed out the landscaped areas to the Commission.

Commissioner Pete Zbras questioned if the applicant would be making shingle from the recycled asphalt. He also questioned if there would be any odors emitted during the recycling process.

Darin Bouchard stated that they do not make shingles, and that there is no heat involved in the process.

Commissioners and the applicant discussed the truck traffic for the proposed sites.

Alternate Commissioner Joshua Dykstra asked if there was a proposed lighting plan.

Brian Baker stated that the lighting plan includes full mounted led lighting that is dark sky compliant.

Chairman Dave Sauter stated that these applications would be referred to Jim Galligan, Land Use Engineer.

Brian Baker stated that this is an integral project, so the applications need to be discussed together for legal and financial reasons.

MOTION BY Vice-Chairman John Kerwin to refer Application Z-21-012 to Jim Galligan for review. **Second by Commissioner Pete Zbras.**

All Ayes.

Motion passed unanimously.

MOTION BY Commission Secretary Pat Cocchiarella to refer Application Z-21-013 to Jim Galligan for review.

Second by Alternate Commissioner Joshua Dykstra.

All Aves.

Motion passed unanimously.

MOTION BY Vice-Chairman John Kerwin to table the application Z-21-012 and Z-21-013 to the next regular meeting.

Second by Commission Secretary Pat Cocchiarella.

All Ayes.

Motion passed unanimously.

H. New Business - Other - NONE

H. Zoning Enforcement

1. Good Hill Road - Discussion/Update

Commissioners and Steve Macary, ZEO discussed the activity occurring on Good Hill Road.

Vice-Chairman John Kerwin presented a memo that he prepared to the Commission regarding the Right to Farm Ordinance. He briefly addressed the points made in the memo relating to land that designated as a "farm". He explained that the property on Good Hill Road, if they do legitimate farming activities, such as

harvesting timber, they can also do the subsidiary activity of breaking it down into firewood. He noted that even if they are a farm, they are still subject to zoning control. He also stated that under the Town of Oxford Zoning Regulations, farming is allowed in a residential zone, it is not permitted because of the Right to Farm statute, it is permitted by the residential regulations. He stated that Mr. Drayton has to comply with the zoning regulations. He referred to photos that are included with his memo.

Vice-Chairman John Kerwin discussed the history of the violation, which began last year. He stated he and Dave have discussed some ideas regarding a spreadsheet for the ZEO to keep the complaints, actions, and any other documentation in order.

Steve Macary, ZEO asked Commissioners what they are looking for regarding documentation for this complaint. He stated that he has a second set of photos from two (2) weeks ago, and the processing equipment is still there.

Chairman Dave Sauter questioned if the volume of wood on the property has decreased in the last two (2) weeks.

Steve Macary, ZEO stated that the volume has gone down, but a lot of wood remains on the property.

Commissioner Brett Olbrys questioned if the order was to clean up the property or stop bringing in wood.

Commissioners discussed that the order stated that he could, he was not allowed to import any more timber onto the property for processing. They requested that Steve Macary, ZEO, visit the property every two (2) weeks for two (2) months and have an update for the Commission for every meeting unit the end of March.

Commissioners agreed that a folder for the ZEO should be created on the shared drive.

Steve Macary, ZEO and Commissioners also discussed briefly how to handle anonymous complaints and trailers at Under the Rock Park.

J. Minutes

1. January 19, 2021 Regular Meeting Minutes

MOTION BY Commission Secretary Pat Cocchiarella to table the January 19, 2021 regular meeting minutes.

Second by Commissioner Pete Zbras.

All Ayes.

Motion passed unanimously.

K. Invoices - NONE

L. Other Business:

Attorney Kevin McSherry addressed the following items:

1. Moose Hill Estates - Referred to Attorney McSherry

Attorney McSherry discussed the process for abandoning the subdivision and the release of Town property back to the property owner. He noted that the Planning & Zoning Commission, and Board of Selectmen and would need to take action in order for the request to move forward. He also stated that he would speak to Attorney Kevin Condon regarding this item.

Commissioners agreed that they would like to inquire about how the land, if returned to the owner, would be used in the future.

2. Riverview Subdivision - Referred to Attorney McSherry

Attorney McSherry stated that he sent a letter to Jesse Judson, and he has not yet received a response.

Attorney McSherry also informed the Commission that he has filed several appearances for applications that have been appealed in court.

3. Any other business the Commission deems necessary for discussion.

M. Adjournment

MOTION BY Commission Secretary Pat Cocchiarella to adjourn the meeting at 8:46 PM. Second by Vice-Chairman John Kerwin.

All Ayes.

Motion passed unanimously.

Respectfully Submitted,

Jessica Pennell, Coordinator Planning & Zoning Commission

21 MAR -1 PM 4: 02
TOWN OF OXFORD. CT
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TOWN CLERK