



**TOWN OF OXFORD  
PLANNING & ZONING COMMISSION**  
S.B. Church Memorial Town Hall  
486 Oxford Road, Oxford, Connecticut 06478-1298  
[www.Oxford-CT.gov](http://www.Oxford-CT.gov)

**Planning & Zoning Commission**  
**Regular Meeting Agenda**  
**Tuesday, March 16, 2021**  
**7:30 PM - Online/Virtual Meeting**

The Planning & Zoning Commission will meet remotely on **Tuesday, March 16, 2021, at 7:30 PM.**

Members of the public and applicants that would like to join us online can access the meeting using the following information:

**Join Zoom Meeting:**

<https://us02web.zoom.us/j/86096373155?pwd=T1hBMDh3YXlvUkhYQWVjZTV2TWVUUT09>

**Meeting ID:** 860 9637 3155

**Passcode:** 141429

**One tap mobile:**

+1 646 558 8656

**Dial by your location:**

+1 646 558 8656

**Meeting ID:** 860 9637 3155

**Passcode:** 141429

**I. CALL TO ORDER**

**II. PLEDGE OF ALLEGIANCE**

**III. ROLL CALL**

**IV. SEATING OF ALTERNATES**

**V. PUBLIC HEARINGS**

**A. Recessed Public Hearings – NONE**

**B. New Public Hearings- NONE**

**C. Future Public Hearings – NONE**

**VI. REGULAR MEETING BUSINESS**

**A. Amendments to the Agenda – NONE**

**B. Audience of Citizens** – (Items not listed on the Agenda)

**C. Correspondence**

- a. Letter dated March 6, 2021, and addressed to the Planning & Zoning Commission

**D. Old Business – Matters on which a Public Hearing was held – NONE**

**E. Old Business – Other Matters**

1. **Z-02-267 [RESA] – Mountain Road Estates, LLC – Great Hill Road** (Meadowbrook Estates) – 55+ Residential Community (*Final Bond Release Request*)

**F. New Business – Schedule a Public Hearing – NONE**

**G. New Business**

1. **Z-21-021 [VCMUD] – 350 Center Rock Green, Bldg. L, Suite 209** – Owner: Oxford Towne Center, LLC – Applicant: Dan Settari, Viso Bello – 350 Center Rock Green, Bldg L., Suite 209 (*Use Permit*)
2. **Z-21-027 [IND] – 8-24 Referral - Tarby Lane Reconstruction** – Owner: Town of Oxford, 486 Oxford Road, Oxford, CT Applicant: Clay Lacy Aviation, 9 Juliano Drive, Oxford, CT
3. **Driveway Revision – Lot 4 Hidden Valley Estates**, Owner: Ed Magera

**H. Zoning Enforcement**

**I. Minutes**

1. 2/16/21 – Regular Meeting Minutes
2. 3/2/21 – Regular Meeting Minutes

**J. Invoices**

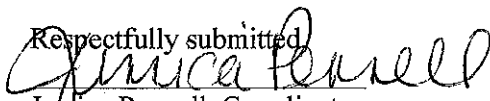
1. CFPZA – Membership Dues
2. Nafis & Young Invoice #045-21 – Lot 5 & Lot 6 Woodruff Hill Review & Report
3. Nafis & Young Invoice #044-21 – 349 Christian Street (*Table*)
4. Invoice for Order# 354818751 – Costco (Printer Purchase) Reimburse Claudia Luff from Equipment Line Item

**K. Other Business**

- a. Any other business the Commission deems necessary for discussion.
- b. Moose Hill Estates Requests – Awaiting Review/Response from Legal Counsel
- c. Riverview Subdivision – Request from Horbal & Judson – Referred to Attorney Kevin McSherry

**L. Adjournment**

Respectfully submitted

  
Jessica Pennell, Coordinator  
Planning & Zoning Commission

21 MAR 15 AM 11:42  
TOWN OF OXFORD, CT  
TOWN CLERK  
*Kevin McSherry*

RECEIVED  
3/10/21

March 6, 2021

To:

Market 32

Educational Playcare

Oxford Selectmen

Oxford Planning and Zoning Commission

*Yesterday, Friday March 5<sup>th</sup>, I shopped at Market 32 at about noon. I was parked in the middle of the lot and was inside for approximately 25 minutes.*

*When I returned to my car, I was surprised to discover a very fine dust covering the vehicle. I had just washed the car earlier that day so it was quite noticeable to me.*

*It was obvious where it came from as I watched plumes of this dust rising up into the air from the activity going on in the quarry next to Educational Playcare.*

*This is not just an inconvenience. It's a health hazard. How is it that this is permitted with children right next door?*

*I will not shop at Market 32 again while this situation continues and I've been part of conversations with parents who have children at Educational Playcare who actually discussed pulling their kids out of that facility.*

*I would ordinarily sign my name but my fear of retribution prevents me from doing so.*

*My hope is that somebody will read this and act upon it.*

*Thank you. A concerned resident.*



# NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL  
ENGINEERING & SURVEYING

RECEIVED  
3/10/21

March 10, 2021

Mr. David T. Sauter, Chairman  
Planning and Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

Re: Meadowbrook Estates, Oxford, CT

Dear Mr. Sauter:

Nafis & Young Engineers, Inc. (NYE) has reviewed correspondence regarding the request for Bond release of the above referenced project. NYE recommends that the Bond be reduced to a 10% Maintenance Bond for one (1) year.

If you should have any questions, please feel free to reach out to me at 203-314-8041.

Sincerely,

James H. Galligan, P.E.  
Nafis & Young Engineers, Inc.  
Town Engineer of Oxford

# HAYNES

## *Development*

February 16, 2021

WPCA and Planning & Zoning  
Town of Oxford  
SB Church Memorial Town Hall  
486 Oxford Road  
Oxford, CT 06478-1298

**Re: Mountain Road Estates (Meadow Brook Estates)**

To Whom It May Concern:

Please be informed that all Units at Meadow Brook Estates closed on or before November 2020.

We respectfully request any and all bonds be released for the above referenced project.

Thank you in advance for attention to this matter, should you have any questions please feel free to contact me directly at 203-376-7182.

Sincerely,

Kathy Ekstrom  
Development Manager

ke



# NAFIS & YOUNG ENGINEERS, INC

CIVIL / ENVIRONMENTAL  
ENGINEERING & SURVEYING

September 10, 2020

Mr. David T. Sauter, Chairman  
Planning and Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

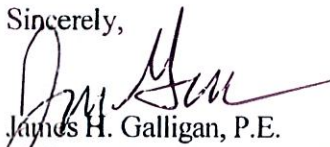
Re: Meadowbrook Estates, Oxford, CT

Dear Mr. Sauter:

Nafis & Young Engineers, Inc. (NYE) is in receipt of a request for release of a Performance Bond in the amount of \$300,000.00 for the above-referenced project. This project is still active as several units have not closed. NYE recommends that the Performance Bond for this project (400KF6036) be maintained for one (1) year after the last closing.

If you should have any questions, please feel free to reach out to me at 203-314-8041.

Sincerely,



James H. Galligan, P.E.  
Nafis & Young Engineers, Inc.  
Town Engineer of Oxford

PLANNING & ZONING COMMISSION

TOWN OF OXFORD  
486 Oxford Road  
Oxford, CT 06478  
(203) 888-2543

Z#: 2-21-021  
Date Rec'd: \_\_\_\_\_  
Date on Agenda: MARCH 16, 21  
65-Day Expiration: \_\_\_\_\_

ZONING PERMIT APPLICATION

(This permit is hereby applied for in accordance with the requirements of the Oxford Zoning Regulations)

Property Identification

Street Address: 350 Center Rock Green Ste 9 Oxford CT 06478  
Subdivision Name: \_\_\_\_\_ Date Approved: \_\_\_\_\_  
Map: 34 Block: 9 Lot: 26 Zoning district: VCm UD

Owner/Applicant

Owner Name: Oxford Towne Center LLC  
Owner Address: 220 AF Main Street Oxford 06478  
Owner Telephone: \_\_\_\_\_

Applicant Name: Don Sehan / Lusia Bello  
Applicant Address: 350 Center Rock Green Ste 9 Oxford 06478 L-209  
Applicant Telephone: 203 598 7525

Miscellaneous Information

Special Exception: Article \_\_\_\_\_ Section \_\_\_\_\_ Yes No  
Site Plan Approval: Article \_\_\_\_\_ Section \_\_\_\_\_ Yes No  
Estimated Cost of Construction: \_\_\_\_\_  
Variance Granted: \_\_\_\_\_ Date Granted: \_\_\_\_\_

Signatures/Authorization

Application for Zoning Permit approval as described herein is hereby made. The Oxford Planning & Zoning Commission and its technical staff are authorized to enter the property for the purpose of evaluating this application.

**Permit Void If:** a) Work or activity not commenced within 1 year of the date of issuance or b) Authorized construction not completed within 2 years of the date of issuance.

This permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with the conditions of approval of this permit constitute a violation of the Oxford Zoning Regulations.

[Signature] \_\_\_\_\_ 3/2/21 \_\_\_\_\_ \$2800.00  
Property Owner or Agent Date Total Fee

\*Draw plot plan of proposed construction and attach. Plan must show property boundaries and dimensions; location of proposed buildings on property with respect to boundaries; location of existing buildings on property; outside dimensions of all buildings proposed or now existing; location of water supply; location of sewage system. All copies must have a complete sketch. Construction and use must be exactly as described in this application. If later changes from this plan are desired prior approval of an amended application is necessary.

Denied  Approved  By: Stu J. Maray Date: 3/2/2021  
Title: \_\_\_\_\_

Reason for Denial \_\_\_\_\_

- Purpose
- New Home
  - Addition
  - Garage
  - Cottage Business
  - Swimming Pool IG AG
  - Sign
  - Shed [Redacted]
  - Barn [Redacted]
  - Change of Use
  - Excavating/Filling
  - Trailer
  - Other \_\_\_\_\_
- Use
- Single-Family Residence
  - Multi-Family Residence
  - Commercial
  - Industrial
  - Residential/POD
  - Other \_\_\_\_\_

- Required Approvals and Dates
- Inland Wetlands \_\_\_\_\_
  - P.D.D.H. \_\_\_\_\_
  - Fire Marshal \_\_\_\_\_
  - Z.B.A. \_\_\_\_\_
  - W.P.C.A. \_\_\_\_\_
  - Floodplain \_\_\_\_\_
  - Copy of Deed \_\_\_\_\_
  - Driveway \_\_\_\_\_
  - Erosion Control Plan \_\_\_\_\_
  - Plot Plan \* \_\_\_\_\_
  - Other \_\_\_\_\_

ZPA-1  
(Adopted 5/15/97)



# TOWN OF OXFORD

S.B. Church Memorial Town Hall  
486 Oxford Road, Oxford, Connecticut 06478-1298  
[www.Oxford-CT.gov](http://www.Oxford-CT.gov)

(PART 1)

## REQUIRED CONSTRUCTION APPROVALS

1) Applicant: Oxford Town Center LLC  
Property Address: 315 Center Rock Green Suite #9  
Permit Use: FITOUT - VISO BELLA SPA  
Subdivision Lot #: \_\_\_\_\_ Zone: \_\_\_\_\_

### OBTAIN SIGNATURES IN NUMERICAL ORDER

The same plan must be submitted to each land-use department. If changes are made to the plans after an approval has been given, the plans must be re-submitted to all prior departments for re-approval.

2) To be filled out by Tax Assessor: Map: 34 Block: 9 Lot: 26  
Street Address: 330 Center Rock Road  
Signature of Assessor: [Signature] Date: 2/12/2021

3) To be filled out by Tax Collector: Taxes Current:  Yes /  No  
Signature of Tax Collector: [Signature] Date: 2/12/21

4) To be filled out by P.D.D.H. or W.P.C.A. ✓  
Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 2-12-21

5) To be filled out by Inland / Wetlands: EXTENSION OF EXISTING FOUNDATION FOR ADDED FOOTPRINTS  
Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 3-2-21  
I/W Permit Number: \_\_\_\_\_ DATE \_\_\_\_\_

6) To be filled out by Driveway Inspector:  
Plan Date: \_\_\_\_\_ Signature: N/A Date: \_\_\_\_\_  
Driveway Permit Number: \_\_\_\_\_

7) To be filled out by Zoning Enforcement Official:  
Plan Date: \_\_\_\_\_ Signature: [Signature] Date: 3/2/21  
Zoning Permit Number: \_\_\_\_\_ Aquifer Protection Area: Y or N

8a) To be filled out by Fire Department (If driveway exceeds 500 ft) (If applicable):  
Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

8b) To be filled out by Fire Marshal for Building Permit (If applicable):  
Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

9) To be filled out by Building Official:  
Plan Date: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Building Permit Number: \_\_\_\_\_

(After construction, applicant MUST obtain post-construction approvals on the back of this form to receive a C.O.)





TOWN OF OXFORD  
 S.B. Church Memorial Town Hall  
 486 Oxford Road, Oxford, Connecticut 06478-1298  
 www.Oxford-CT.gov

Planning and Zoning Commission

Application #: Z-21-021  
 Date: 3-2-21

**STATEMENT OF USE**

Article 11, Section 2

Property Address: \_\_\_\_\_ Zone: VCMUD Map: 34 Block: 9 Lot: 26

Name and Address of Owner: Oxford Towne Center LLC 220-2F Main St Oxford 06478

Name and Address of Applicant: Dan Setton, 350 Center Park Green Ste 9, Building ID L-209

Name of Proposed Business: Viso Bello

Total Square Footage: 2850

Hours of Operation: Tues - Sunday 11-7, 11-7, 11-7, 9-5, 9-6, 10-5

Number of Employees: 6-10

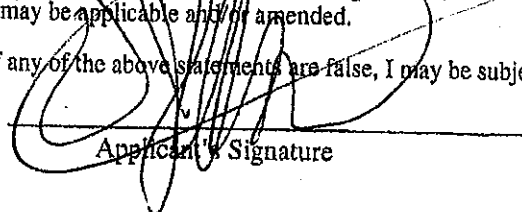
List Hazardous and/or Chemicals Material on site: N/A

Provide Approval from: PDDH \_\_\_\_\_ Fire Marshal \_\_\_\_\_ Other \_\_\_\_\_

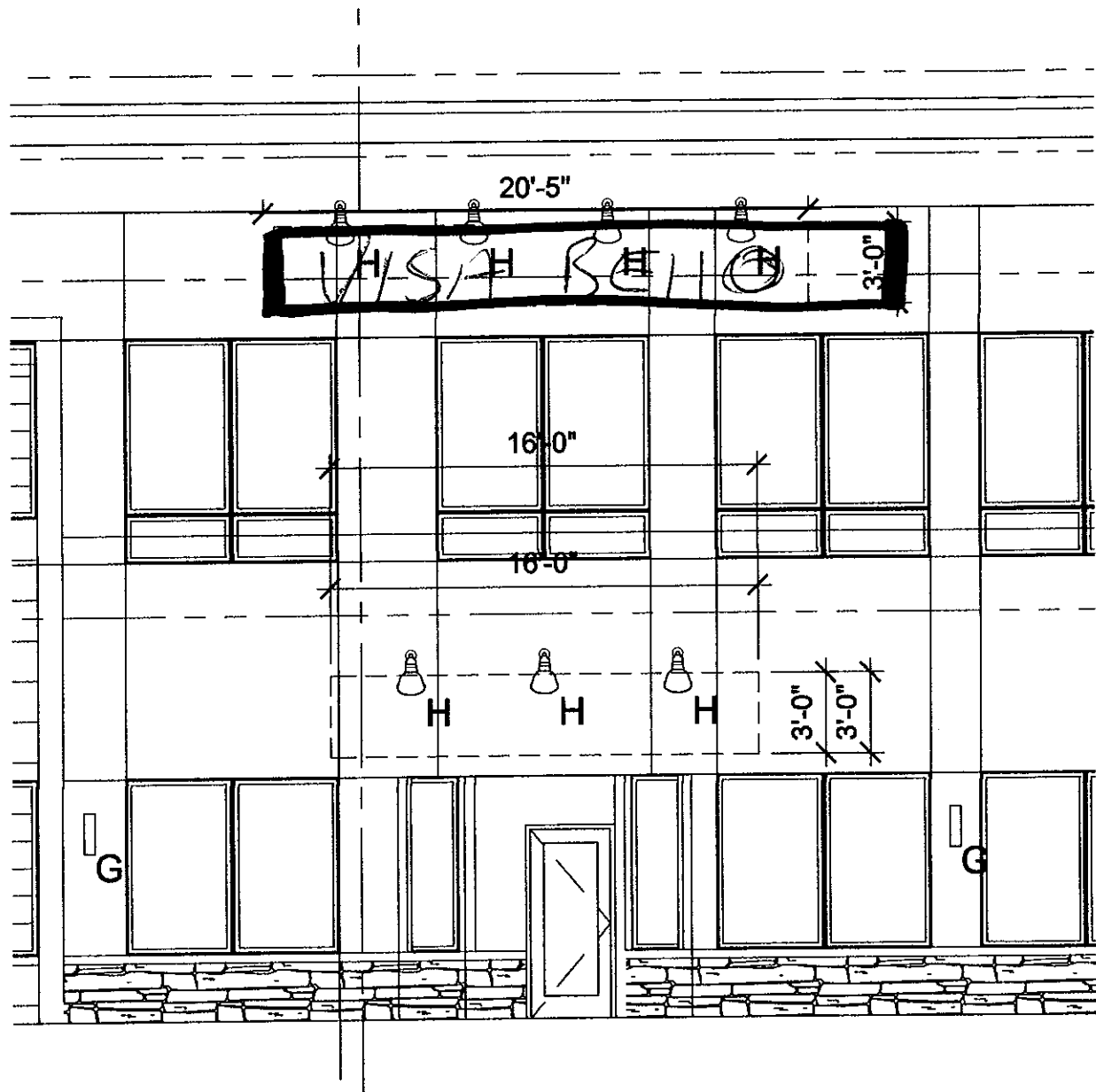
Medical Spa: Botox, Facials, laser hair removal  
 \_\_\_\_\_  
 \_\_\_\_\_

I (we) hereby certify that I (we) are making this application on behalf of and with full authority of the owner(s) of the property or premises and am aware of and understand the Zoning and/or Subdivision Regulations pertinent to the application and affirm that the statements and information provided are accurate and true. Further, the undersigned hereby authorizes the Town of Oxford and its agents, to access the premises during normal business hours or hours of construction, for the purpose of pre and post application investigations, inspection of improvements or construction, and enforcement of the Zoning and/or Subdivision Regulations, Town Ordinances, and/or General Statutes of the State of Connecticut, as may be applicable and/or amended.

I understand that if any of the above statements are false, I may be subject to fines and/or penalties.

  
 Applicant's Signature

3/1/21  
 Date



<b>HAYN'S</b> <i>Development</i>		
<small>AN O PROMPT BATH, KITCHEN, CONCRETE (2000-2001) FLOOR, WALLS AND CEILING CALL: 860-231-1111</small>		
<b>PROJECT</b> QW - BUILDING L 301-308 CENTER ROAD, GREEN ROCK, CONNECTICUT		
<small>DRAWN BY</small>	<small>DESIGNED BY</small>	<small>SHEET</small>
		L-1
<small>SCALE</small>	<small>DATE</small>	
1/4" = 1'-0"	FEBRUARY 14, 2002	





March 10, 2021

Mr. David Sauter, Chairman  
Oxford Planning & Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

Re: Request for 824 Referral  
Tarby Lane Improvements, Oxford, CT

Dear Mr. Sauter,

Civil 1 respectfully requests that the Oxford Planning & Zoning Commission provide a review and referral to the Board of Selectman for regrading and other public improvements to Tarby Lane as shown on the enclosed site plan set entitled "Clay Lacy Tarby Lane Reconstruction Permitting Set, Waterbury-Oxford Airport, Oxford, CT" prepared by Civil 1 and dated February 6, 2021.

Civil 1 is providing civil engineering services to Clay Lacy Aviation, who has partnered with the Connecticut Airport Authority (CAA) to bring much-needed facility expansions to the airport in accordance with the CAA and FAA Master Plans for the region. The proposed project is for 2 buildings, totally approximately 171,500 SF of hangar/office/lounge space, along with the required aircraft aprons, taxilanes, and vehicular access and parking areas.

The project is divided up into three areas: Site A, Site B, and the Proposed Mitigation Area. The overall airport property and construction areas are shown on the Vicinity Map attached to this letter. Site A is accessed from Tarby Lane and serves a proposed 51,500 SF hangar building. The footprint of the proposed building is 39,252 SF, as the office space will be located on three floors and the office suites on the eastern side of the building will be extended over the parking area on columns. A 660 linear foot access drive connecting to Tarby Lane, 22,000 SF of parking areas for the lower floor, a 7,300 SY apron, and a new taxilane connector to existing Taxiway A are all proposed to be constructed as part of this project. Site A provides a location that is both accessible to the airfield via Taxiway A and from Tarby Lane for passenger vehicles.

Due to the required climb in elevation and the maximum driveway slope of 10%, it is necessary to perform some regrading on Tarby Lane for the approximately 300' length in front of the proposed project site. Additionally, the intersection of Tarby Lane and Airport Access Road will be shifted slightly to the east and re-oriented to provide a 90-degree entrance to Tarby Lane.

The elevation of Tarby Lane at the driveway entrance is approximately 666 and the elevation at the existing taxiway above is almost 720. There is a strict limit of 1% maximum grade between the taxiway and the aircraft hangar for aircraft maneuvering and circulation. Therefore, the minimum elevation of the hangar building is 717.5. This results in a difference in elevation of 51.5' between Tarby Lane and the hangar building/apron area. The maximum grade practicable for the driveway is 10%, and there are additional restrictions to the grade at the entrance to the



site, where the main driveway meets the lower parking access drive, and again where the access drive blends in with the flatter apron area.

The proposed improvements on Tarby Lane include re-grading and resurfacing the roadway from the intersection with Airport Access Road for a length of approximately 350' to the driveway for the existing fuel farm. Also included is additional curbing, and a proposed catch basin with piping to collect the stormwater runoff from the hillside above. Currently Tarby Lane does not have any formal stormwater conveyance system. The proposed system will discharge to the existing outlet along Airport Access Road as shown on Sheet C 2.1 of the enclosed plan set.

Stormwater calculations have been completed for the proposed improvements on the airport property to ensure that stormwater runoff rates are decreased under proposed conditions. This is achieved using two subsurface detention chamber systems on Site A. Additionally, the stormwater runoff to the proposed catch basin in Tarby Lane has been analyzed and the stormwater conveyance system in Tarby Lane has been sized to accommodate the 25-year design storm.

In summary, the reconstruction of Tarby Lane will allow the proposed aircraft hangar to be accessed by vehicles coming from Airport Access Road and will improve the storm drainage system in the area to promote increased safety and stormwater conveyance. We respectfully request that the Oxford Planning & Zoning Commission provide a positive referral to the Board of Selectmen for this project.

Should you have any questions or comments please do not hesitate to reach out.

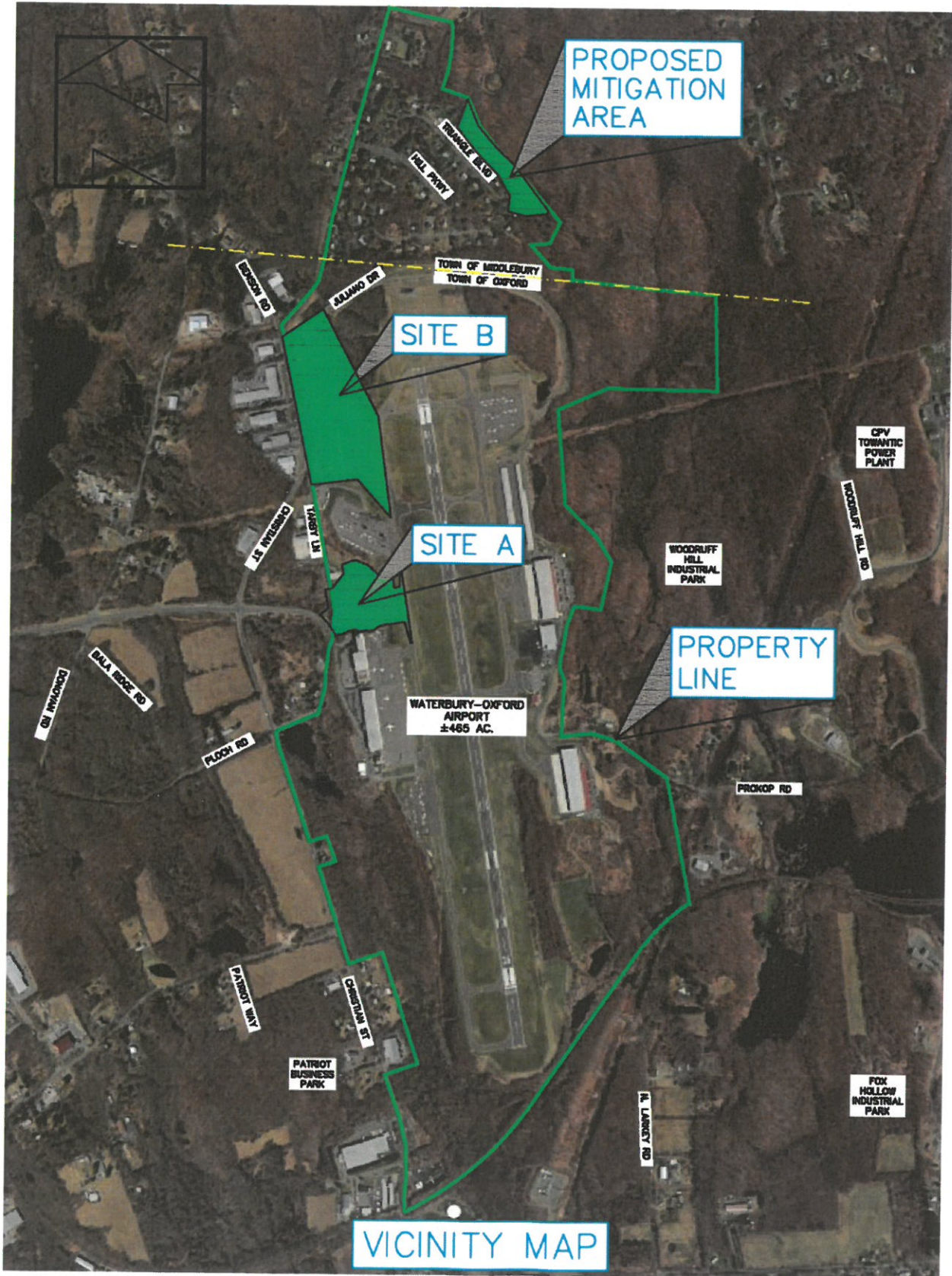
Respectfully yours,

**CIVIL 1**

A handwritten signature in blue ink, appearing to read "EMJ", with a long horizontal flourish extending to the right.

Emily M. Jones, P.E.

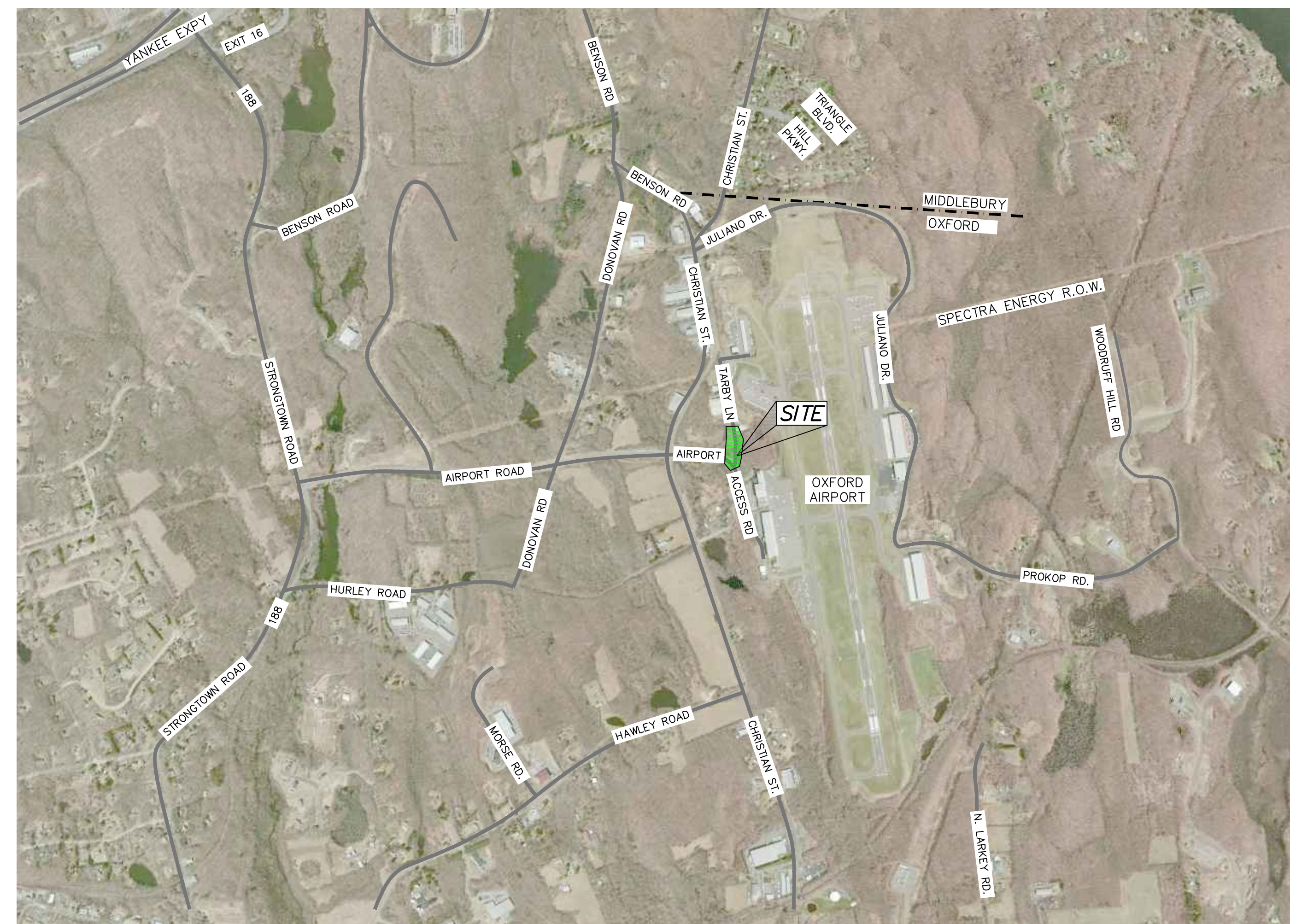
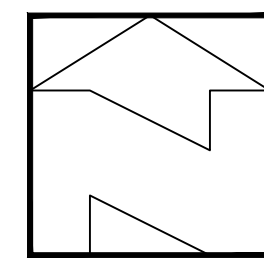
Project Manager



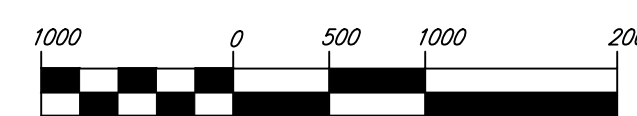
# CLAY LACY

## TARBY LANE RECONSTRUCTION PERMITTING SET

### WATERBURY-OXFORD AIRPORT OXFORD, CT



VICINITY MAP



1 inch = 1000 ft.

#### APPLICANT

CLAY LACY AVIATION  
9 JULIANO DRIVE SUITE 200  
OXFORD, CT

#### ENGINEER / SURVEYOR

CIVIL 1  
43 SHERMAN HILL ROAD, SUITE D-101  
WOODBURY, CT 06798

#### SOIL SCIENTIST

WILLIAM KENNEY ASSOCIATES, LLC  
195 TUNXIS HILL ROAD, UNIT 204  
FAIRFIELD, CT 06825

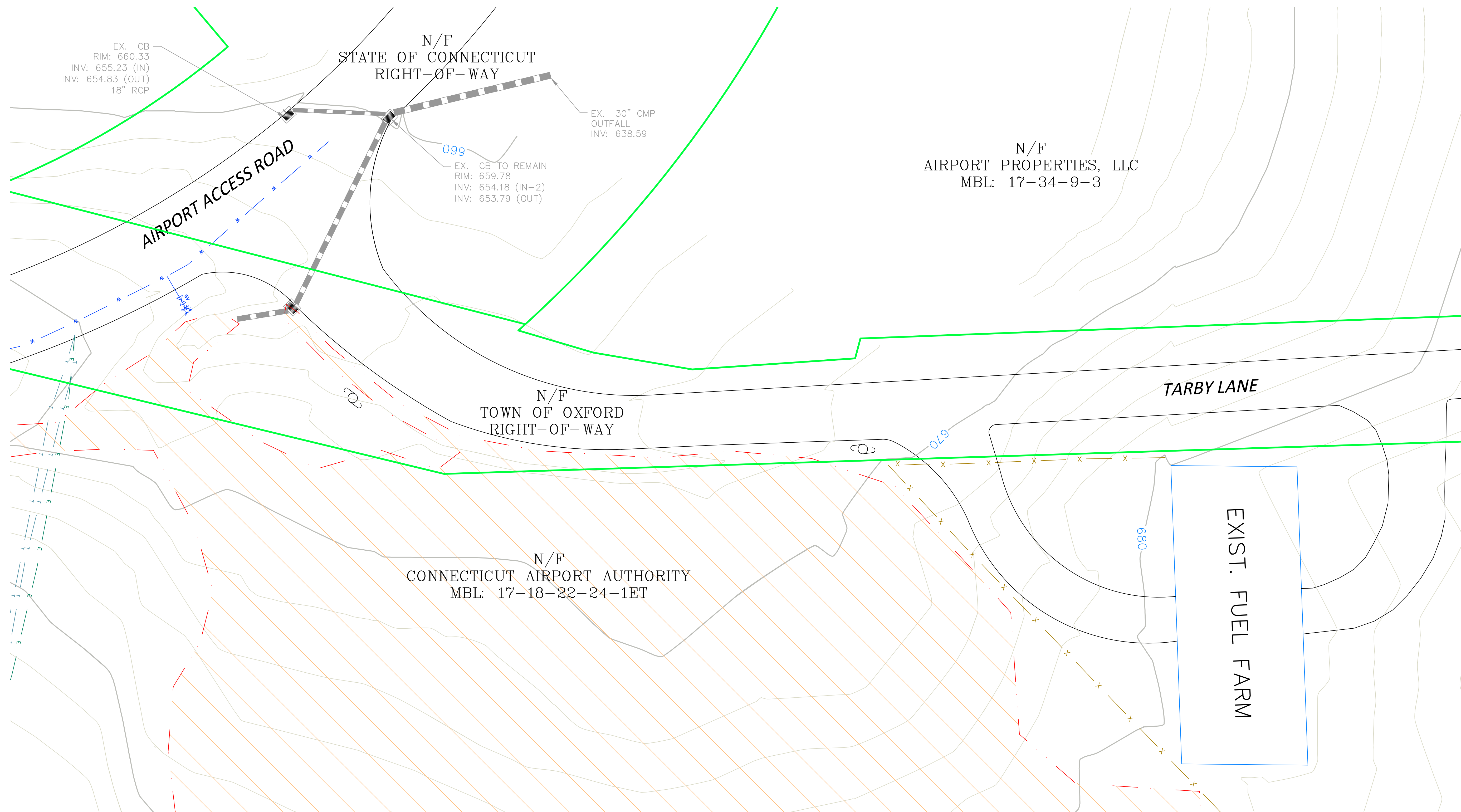


CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY CONNECTICUT  
(203) 266-0778



FEBRUARY 6, 2021

SHEET NO.	DESCRIPTION
-	COVER SHEET
C 1.1	EXISTING CONDITIONS
C 2.1	GRADING PLAN, DRAINAGE PLAN, ROADWAY PROFILE
C 3.1	CONSTRUCTION DETAILS
C 4.1	EROSION CONTROL NARRATIVE & PROJECT NOTES



EX. CB  
RIM: 660.33  
INV: 655.23 (IN)  
INV: 654.83 (OUT)  
18" RCP

N/F  
STATE OF CONNECTICUT  
RIGHT-OF-WAY

EX. 30" CMP  
OUTFALL  
INV: 638.59

099  
EX. CB TO REMAIN  
RIM: 659.78  
INV: 654.18 (IN-2)  
INV: 653.79 (OUT)

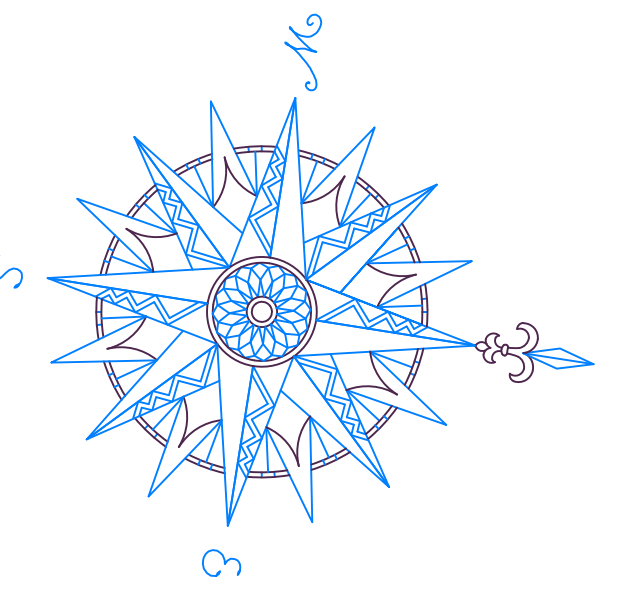
N/F  
AIRPORT PROPERTIES, LLC  
MBL: 17-34-9-3

N/F  
TOWN OF OXFORD  
RIGHT-OF-WAY

TARBY LANE

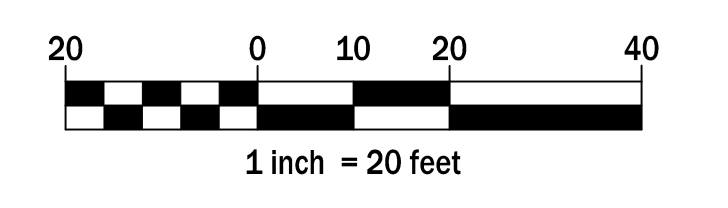
N/F  
CONNECTICUT AIRPORT AUTHORITY  
MBL: 17-18-22-24-1ET

EXIST. FUEL FARM



NO.	REVISION

*Previous Editions Obsolete*



CLAY LACY AVIATION  
9 JULIANO DRIVE  
SUITE 200  
OXFORD, CT

EXISTING CONDITIONS









WATERBURY-OXFORD  
AIRPORT  
IMPROVEMENTS

OXFORD CONNECTICUT



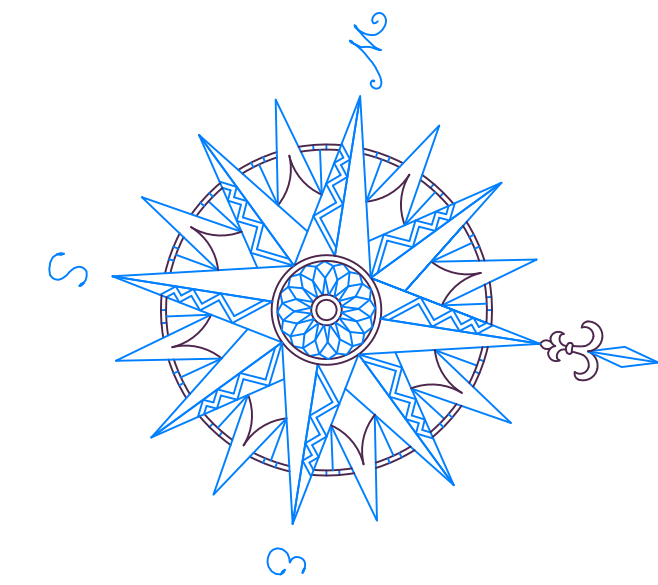
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY (203) 266-0778 CONNECTICUT

LEGEND

-  PROPERTY LINE
-  WETLAND AREA
-  EXISTING BUILDING
-  EXISTING EDGE OF PAVEMENT
-  EXISTING WATER LINE
-  EXISTING ELECTRIC LINE
-  EXISTING TELEPHONE
-  EXISTING FENCE

DRAWN: EN APPROVED: CJ  
SCALE: 1" = 20'  
DATE: 6 FEB 2021  
PROJ. NO.: 3359  
CADD FILE NAME: 3359  
DRAWING NO.: **C 1.1**





NO.	REVISION	DATE

*Previous Editions Obsolete*



CLAY LACY AVIATION  
9 JULIANO DRIVE  
SUITE 200  
OXFORD, CT

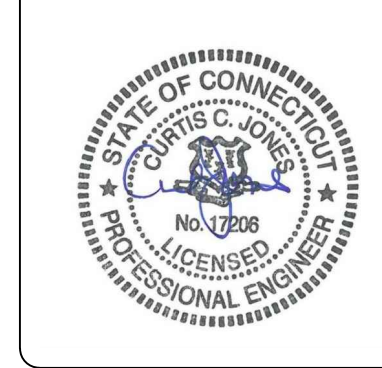
GRADING PLAN  
DRAINAGE PLAN  
ROADWAY PROFILE

WATERBURY-OXFORD  
AIRPORT  
IMPROVEMENTS

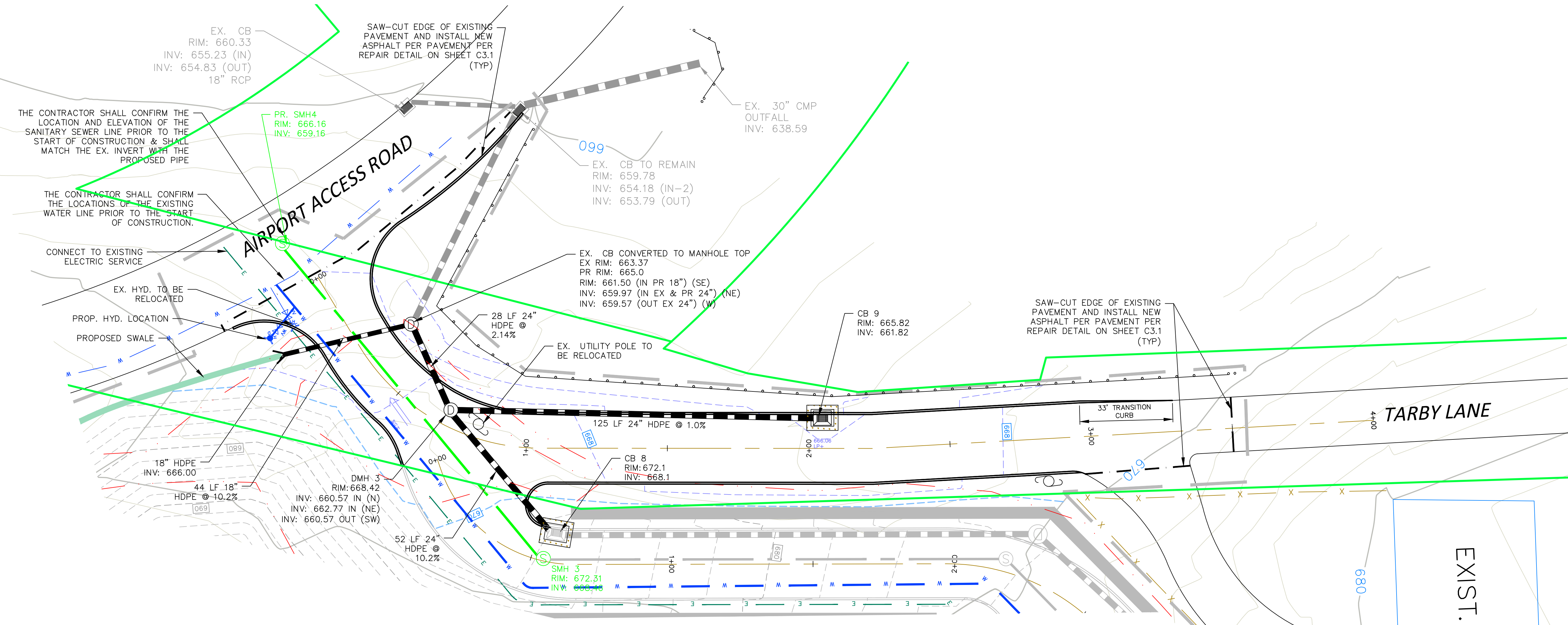
OXFORD CONNECTICUT



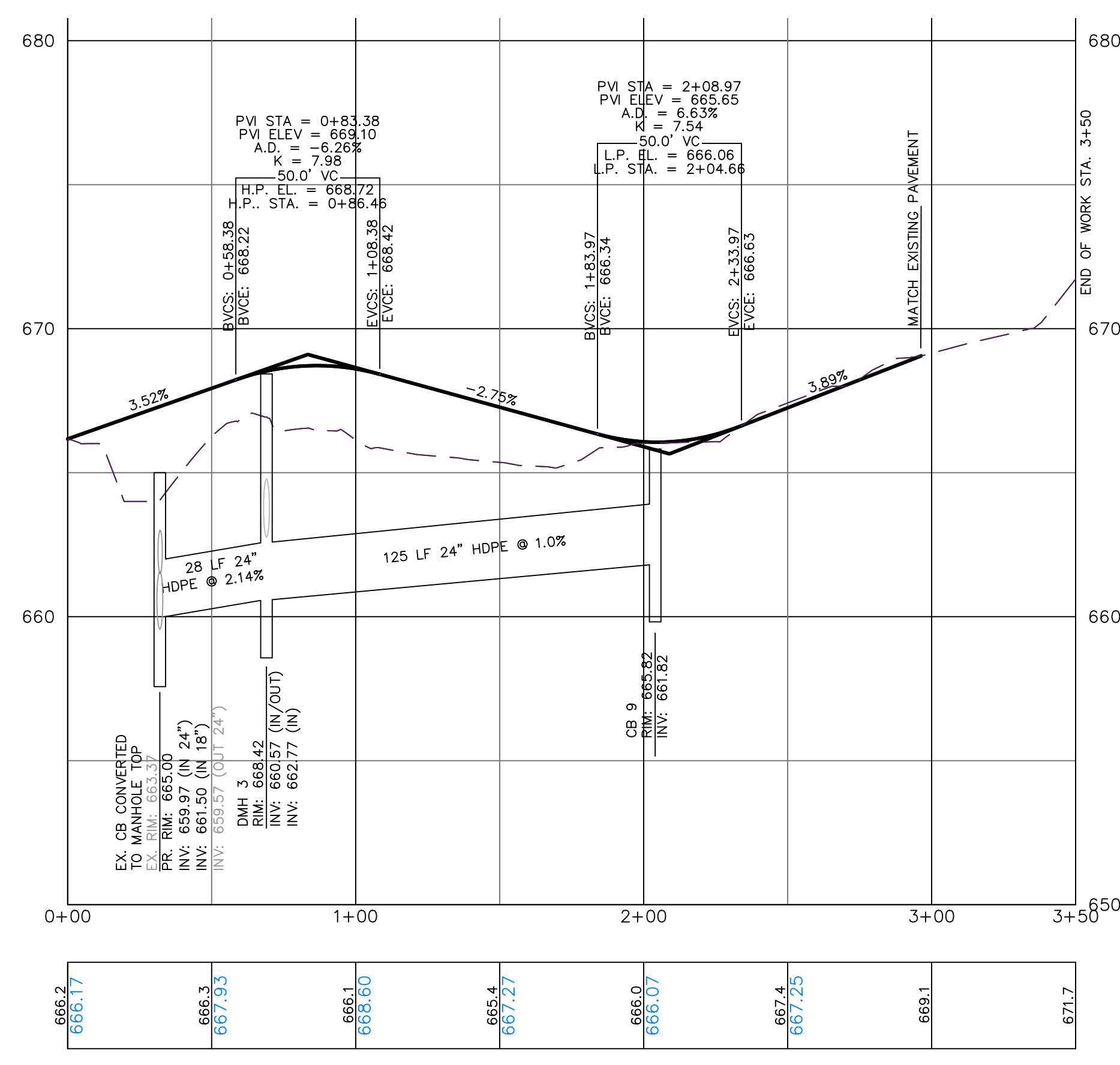
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY CONNECTICUT  
(203) 266-0778



DATE: 6 FEB 2021  
PROJ. NO.: 3359  
DRAWING NO.: 3359  
SCALE: AS NOTED  
**C 2.1**



**TARBY LANE PLAN**  
1" = 20'



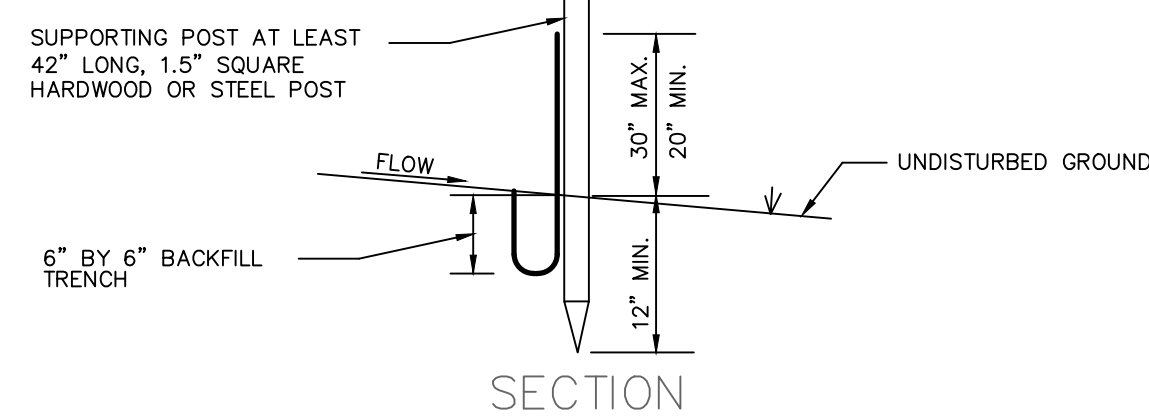
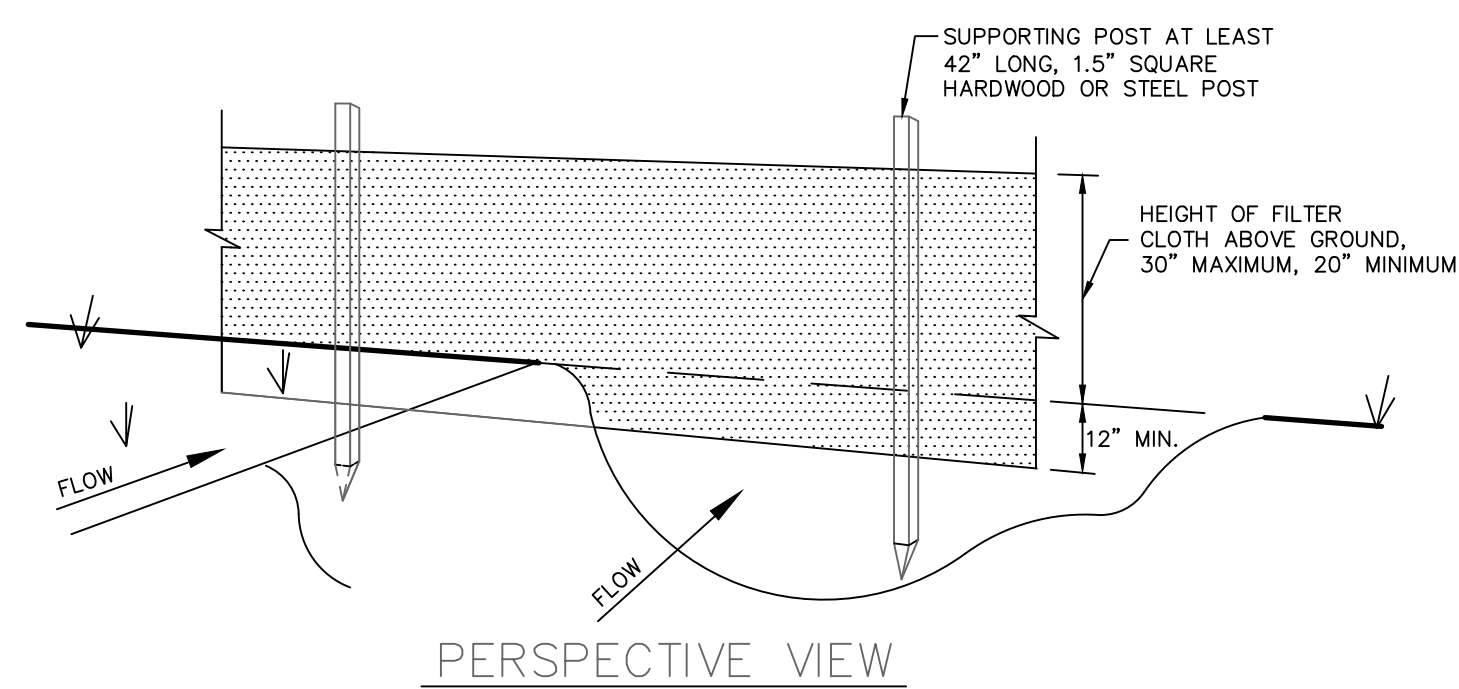
**TARBY LANE ROAD PROFILE**  
1" = 40' HOR.  
1" = 4' VER.

**LEGEND**

	PROPERTY LINE
	WETLAND BOUNDARY
	EXISTING BUILDING
	EXISTING FENCE
	PROPOSED EDGE OF PAVEMENT
	SAW-CUT LINE
	FINISHED GRADE CONTOUR (TARBY LANE)
	FINISHED GRADE SPOT ELEVATION
	FINISHED GRADE CONTOUR (CAA PROPERTY)
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER
	PROPOSED ELECTRIC SERVICE
	PROPOSED WATER SERVICE
	LIMITS OF CONSTRUCTION
	PROPOSED RETAINING WALL (ON CAA PROPERTY)
	SILT FENCE
	HAYBALE BARRIER

**NOTES**

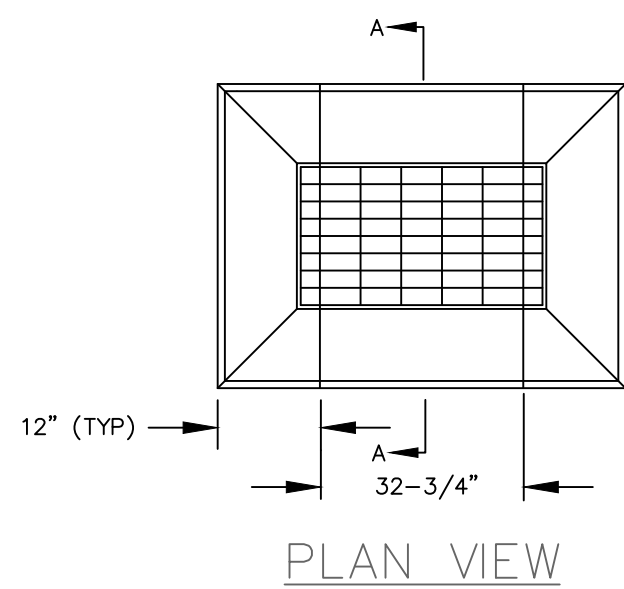
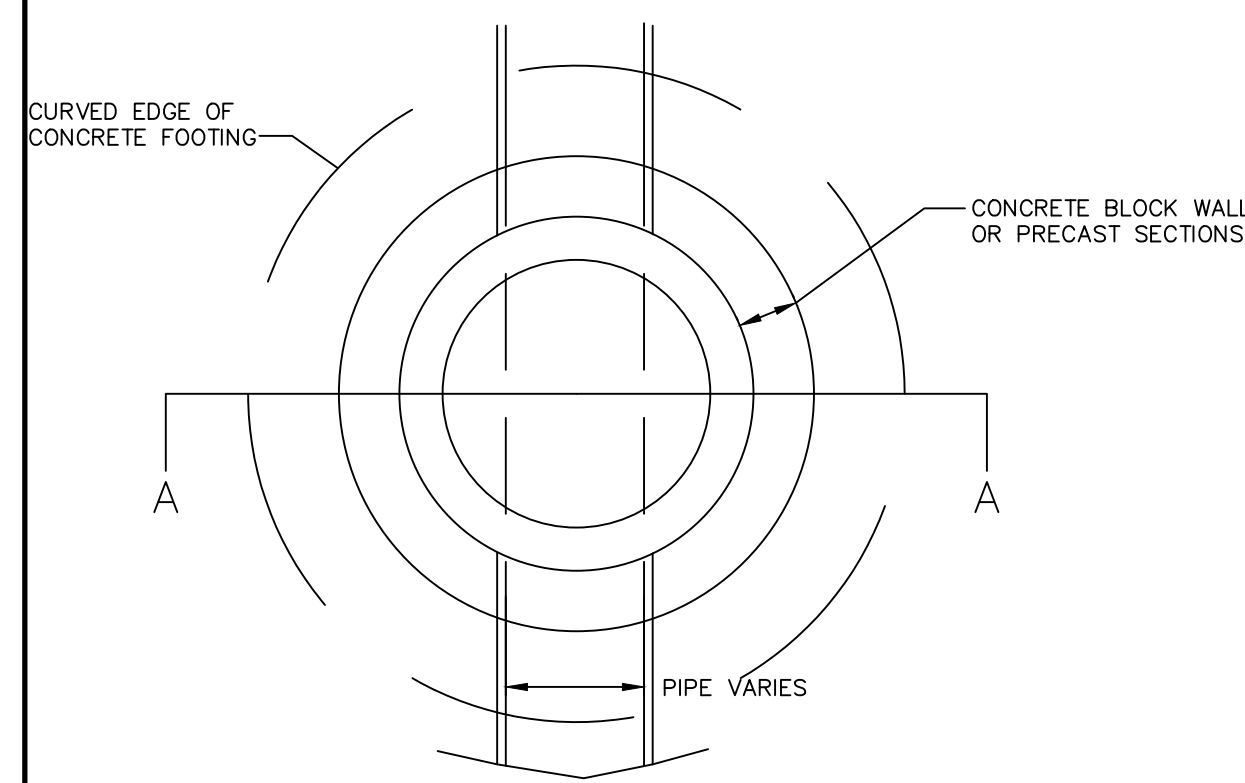
1. THE AREA OF ROAD IMPROVEMENT LIES WITHIN THE INDUSTRIAL DISTRICT.
2. ALL WORK TO CONFORM TO CTDOT FORM 818, JANUARY 2020.
3. LAYOUT SPECIFICATIONS FOR ALL UTILITIES ARE TO BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY BY THE CONTRACTOR PRIOR TO INSTALLATION.



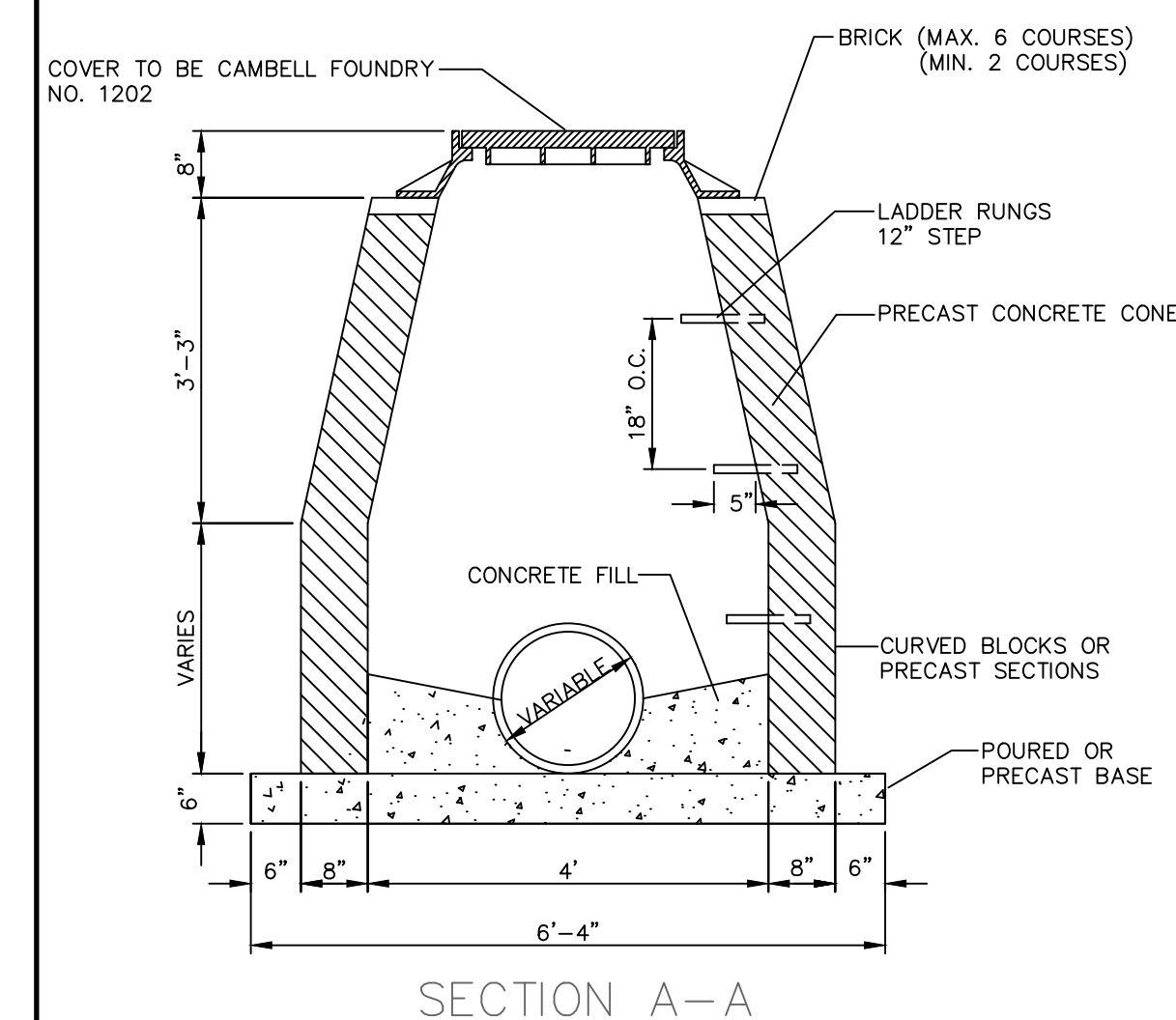
**CONSTRUCTION NOTES FOR SILT FENCE**

- 1. EXCAVATE A TRENCH A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE ON THE UP SIDE OF THE FENCE LOCATION. POSTS: 1.5" SQUARE HARDWOOD OR STEEL
- 2. DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12 INCHES INTO ORIGINAL GROUND. FILTER CLOTH: MIRAFI 100X, ENVIROFENCE OR APPROVED EQUAL
- 3. STAPLE OR SECURE THE GEOTEXTILE TO THE SUPPORT POSTS PER MANUFACTURER'S INSTRUCTIONS SUCH THAT AT LEAST 6 INCHES OF GEOTEXTILE LIES WITHIN THE TRENCH.
- 4. BACKFILL THE TRENCH WITH TAMPED SOIL OR AGGREGATE OVER THE GEOTEXTILE.

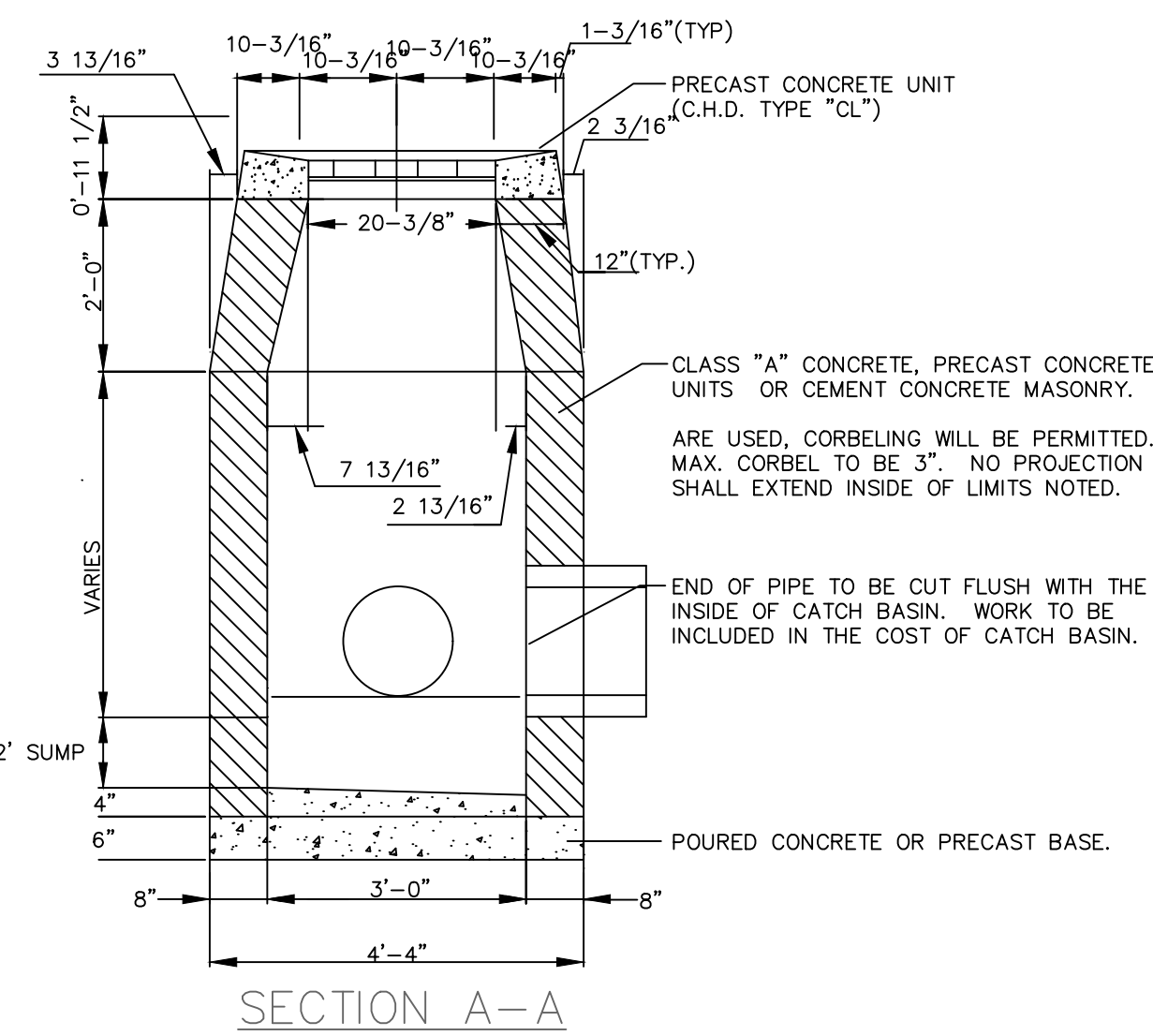
**SILT FENCE DETAIL**



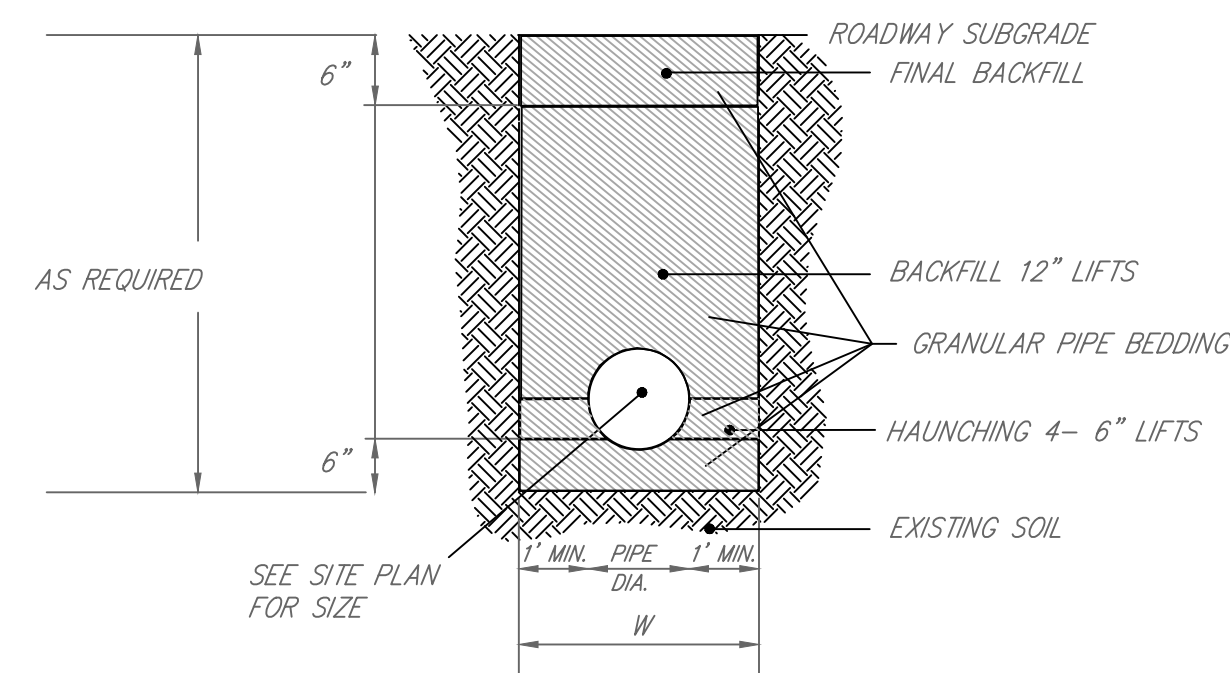
- NOTE:**
- 1. OVER 10' DEEP SHALL BE INCREASED TO 12" THICKNESS.
  - 2. SUMPS MAY BE REQUIRED AT LOCATIONS SPECIFIED BY THE TOWN ENGINEER.
  - 3. BACKFILL BASINS WITH GRAVEL. LEAVE WEEP JOINTS AT LEVELS ABOVE TOP OF PIPE.



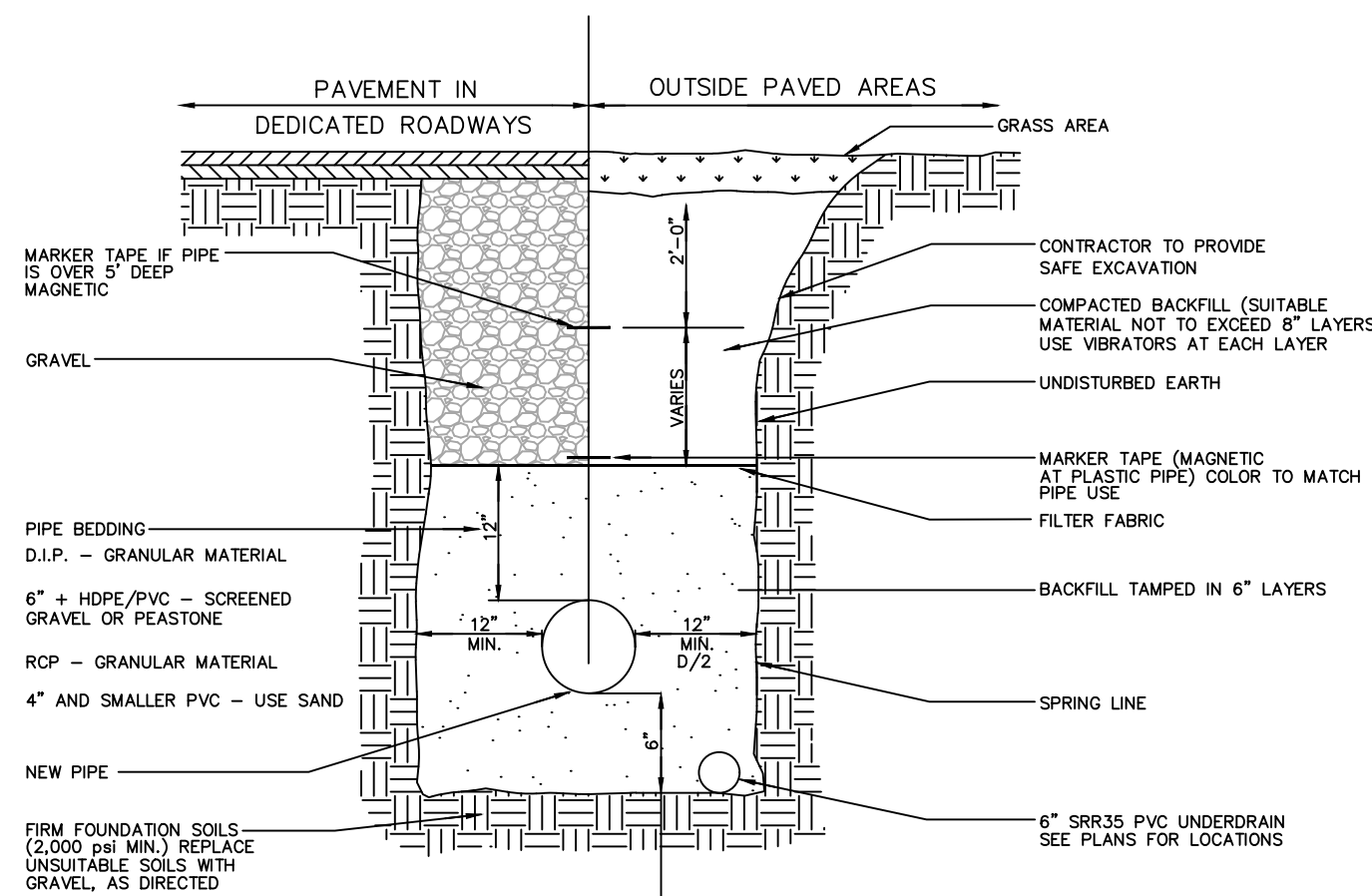
**SECTION A-A  
DRAINAGE MANHOLE  
*without sump***



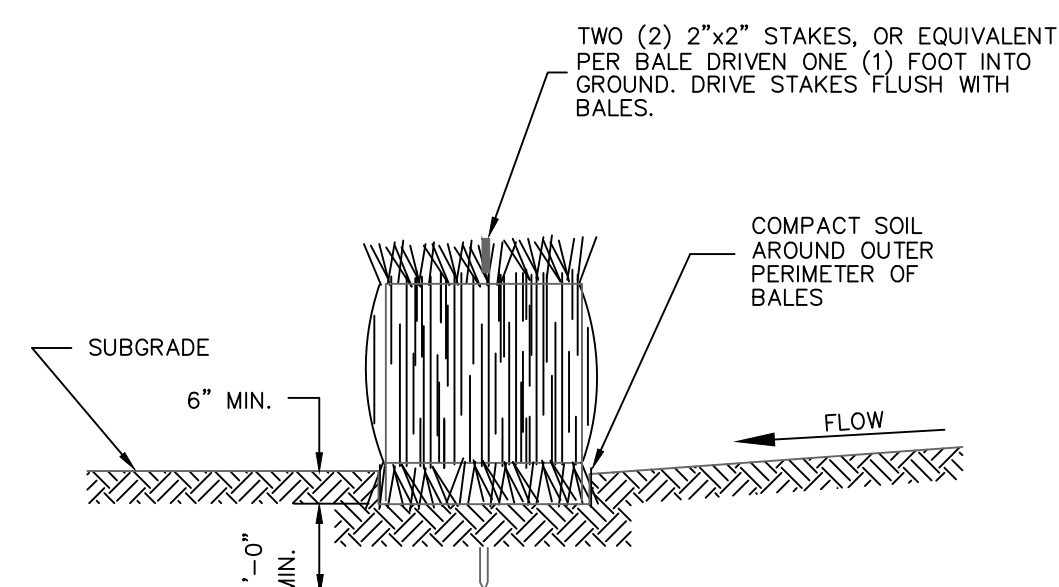
**STANDARD TYPE  
"CL" CATCH BASIN**



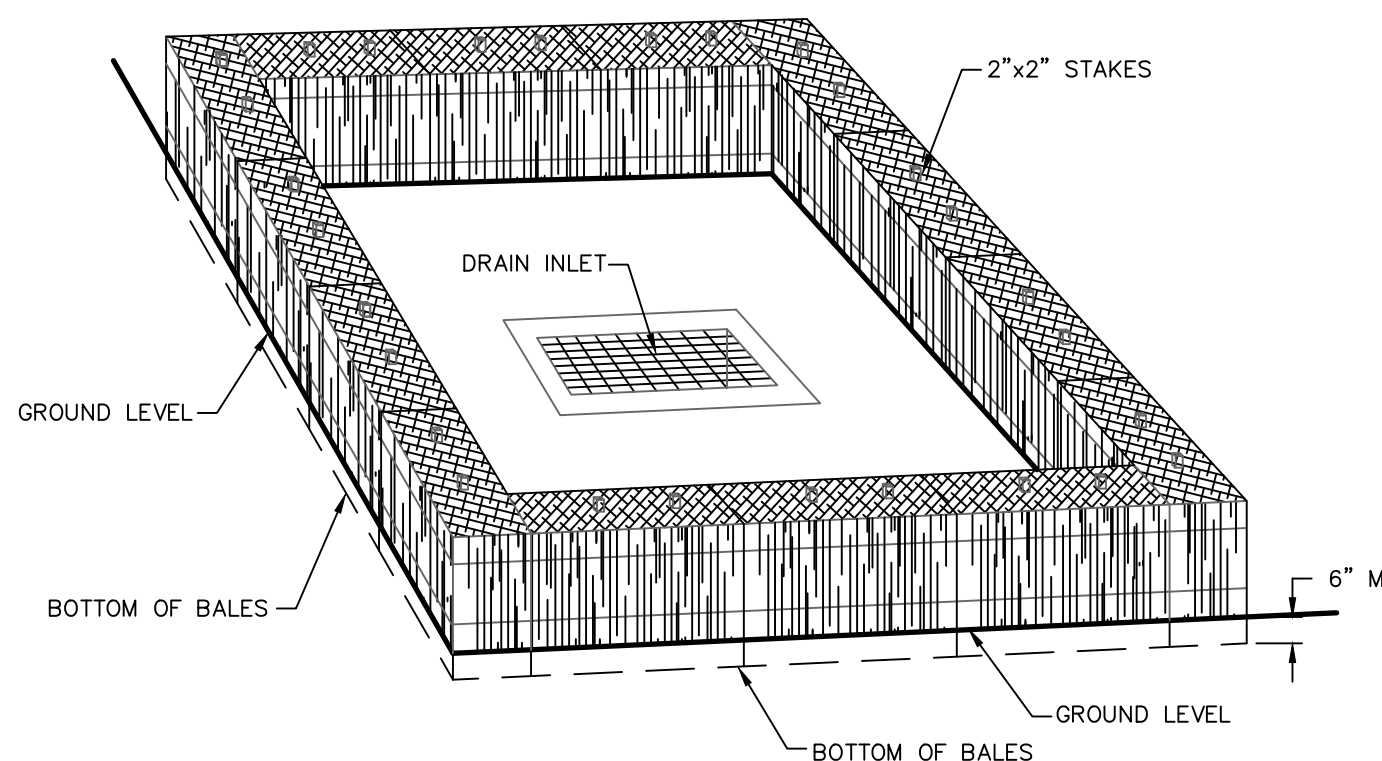
**STORM PIPE BEDDING DETAIL**



**TYPICAL GRAVITY SANITARY PIPE TRENCH**



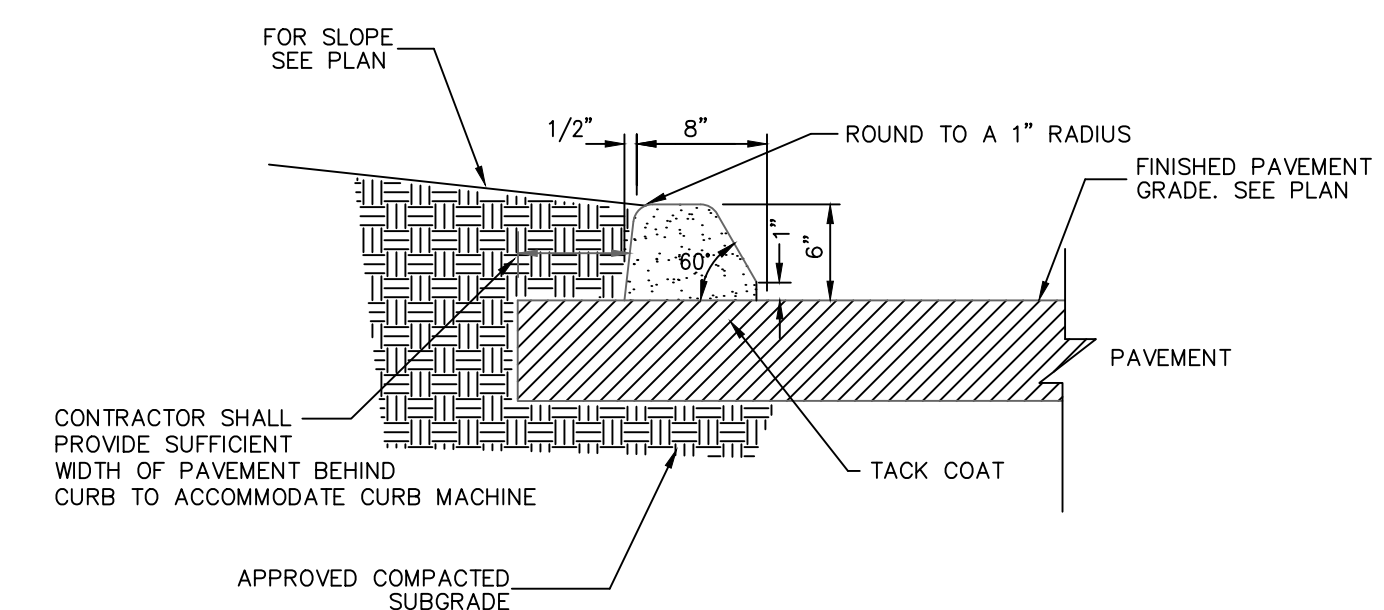
**SECTION**



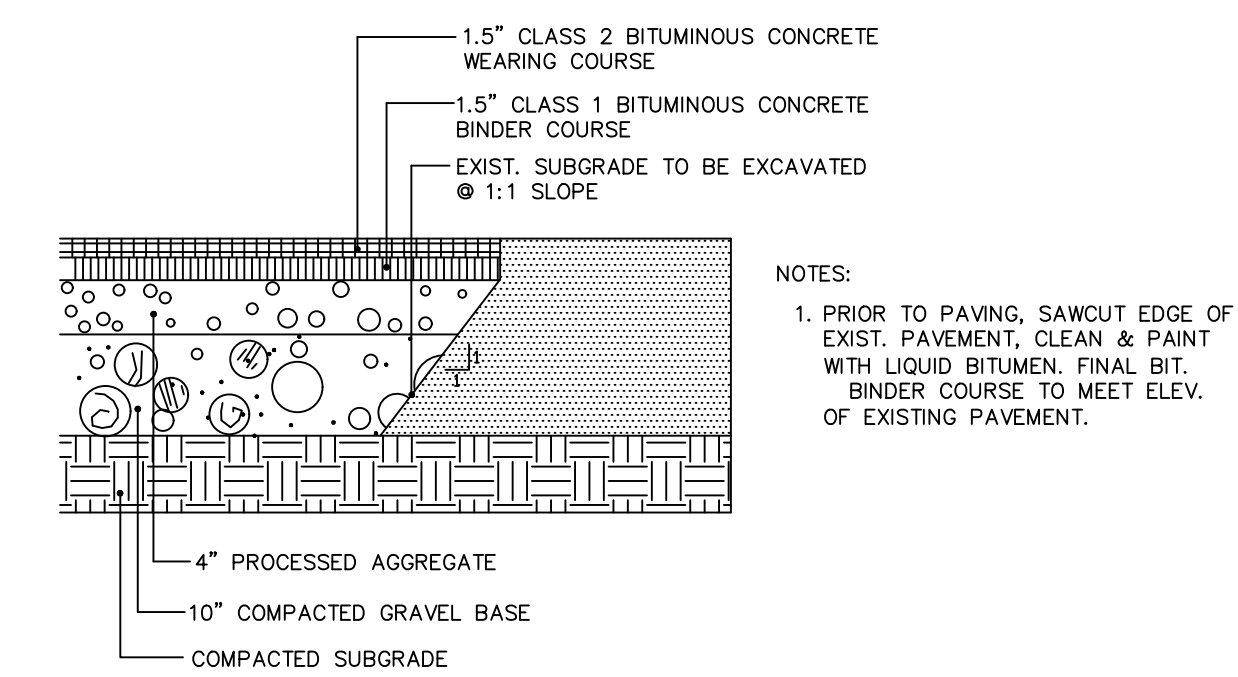
**PERSPECTIVE VIEW**

- NOTES:**
- 1. ALL BALES ARE TO BE TIGHTLY BUTTED TOGETHER.
  - 2. BALES SHALL BE EITHER STRAW OR HAY.
  - 3. PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPLACE CLOGGED BALES TO RESTORE EFFECTIVENESS OF INSTALLATION.

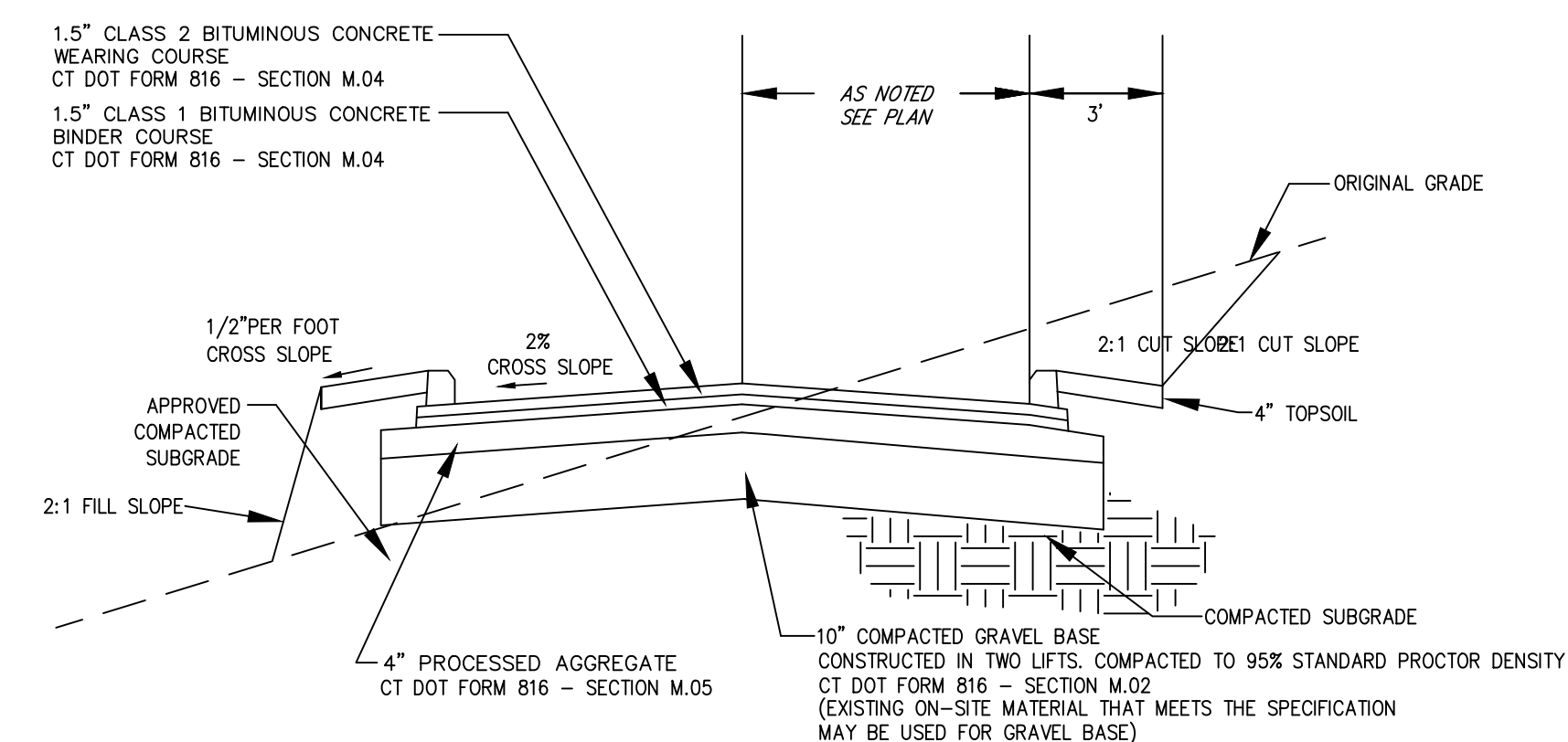
**BALED FILTER**



**BITUMINOUS CONCRETE CURB DETAIL**



**PAVEMENT REPAIR SECTION-ROAD CUTS**



**TYPICAL ROADWAY CROSS-SECTION**

NO.	REVISION	DATE

*Previous Editions Obsolete*

**CLAY LACY AVIATION  
9 JULIANO DRIVE  
SUITE 200  
OXFORD, CT**

**CONSTRUCTION DETAILS**

**WATERBURY-OXFORD  
AIRPORT  
IMPROVEMENTS**

OXFORD CONNECTICUT

**Civil 1**  
CORNERSTONE PROFESSIONAL PARK, SUITE D-101  
43 SHERMAN HILL ROAD  
WOODBURY CONNECTICUT (203) 266-0778

DRAWN: EN	APPROVED: CJ
SCALE: NOT TO SCALE	
DATE: 6 FEB 2021	
PROJ. NO.: 3359	
CADD FILE NAME: 3359	
DRAWING NO.: C 3.1	



No.	Date	REVISION DESCRIPTION

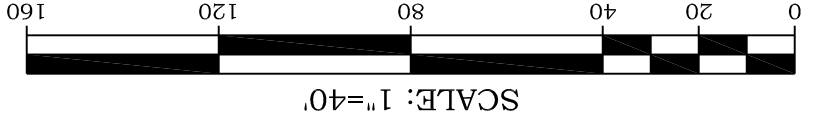
FRED D'AMICO CONN. P.E., L.S. 10833  
 THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF THE REGISTERED PROFESSIONAL SURVEYOR OF THE STATE OF CONNECTICUT. IT IS A MAP BASED ON A CLASS A-2 TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

**D'AMICO ASSOCIATES**  
 SURVEYING & ENGINEERING CONSULTANTS  
 9 PARK ROAD  
 OXFORD, CONNECTICUT 06478  
 P: (203) 881-3184  
 F: (203) 881-0248  
 damicoassociates@bcgfbal.net

Job No. 809  
 Date 2/11/2021  
 Scale 1"=40'

Project Name **LOT 3 & 4**  
**HIDDEN VALLEY ESTATES**  
 ED MAGERA  
 PERKINS ROAD  
 OXFORD, CONNECTICUT

Drawing Title  
**PROPOSED SITE PLAN**



**PERCOLATION TESTS 1/06/2021**

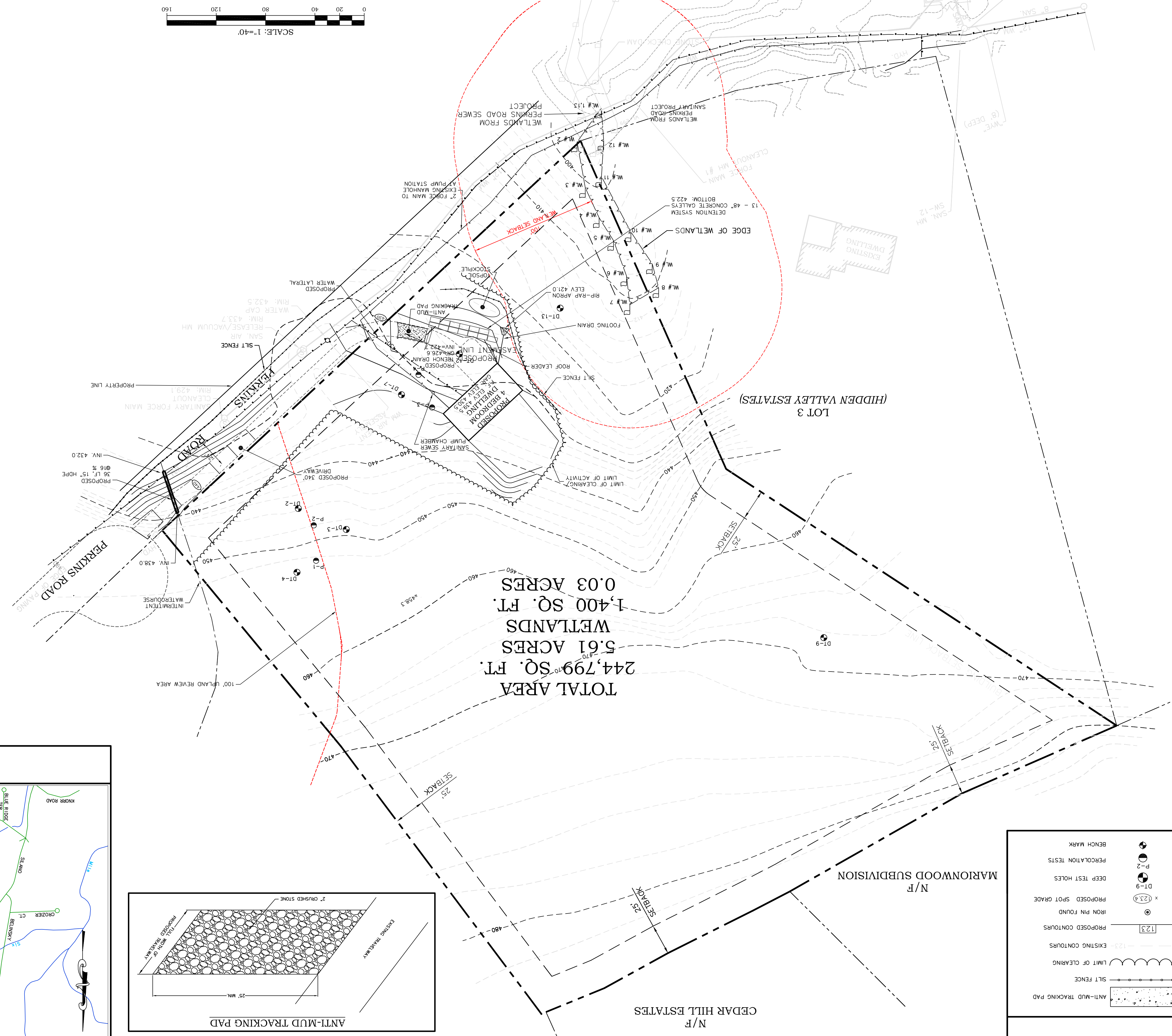
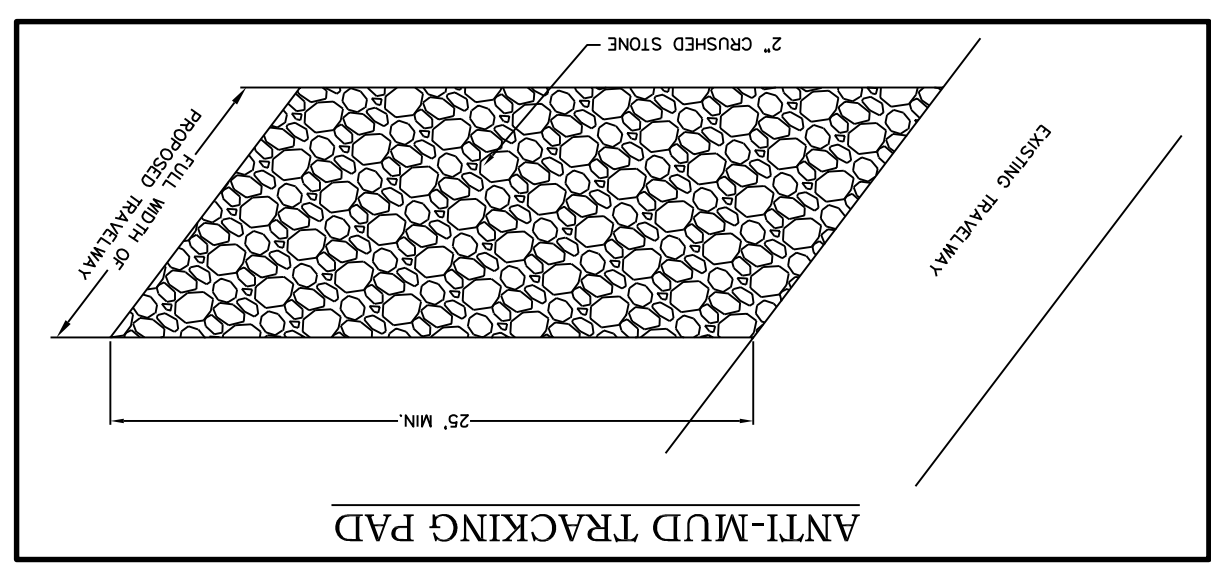
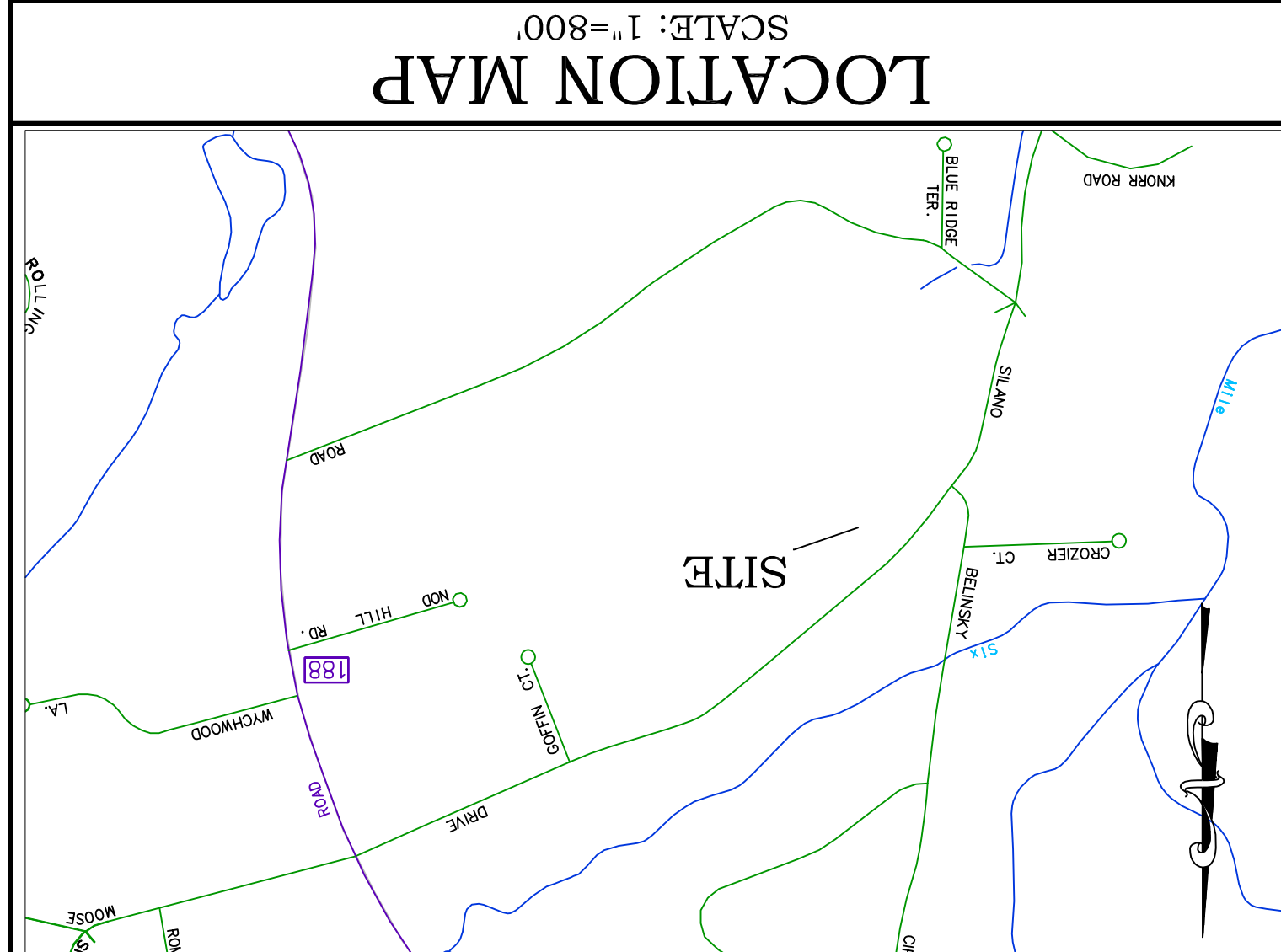
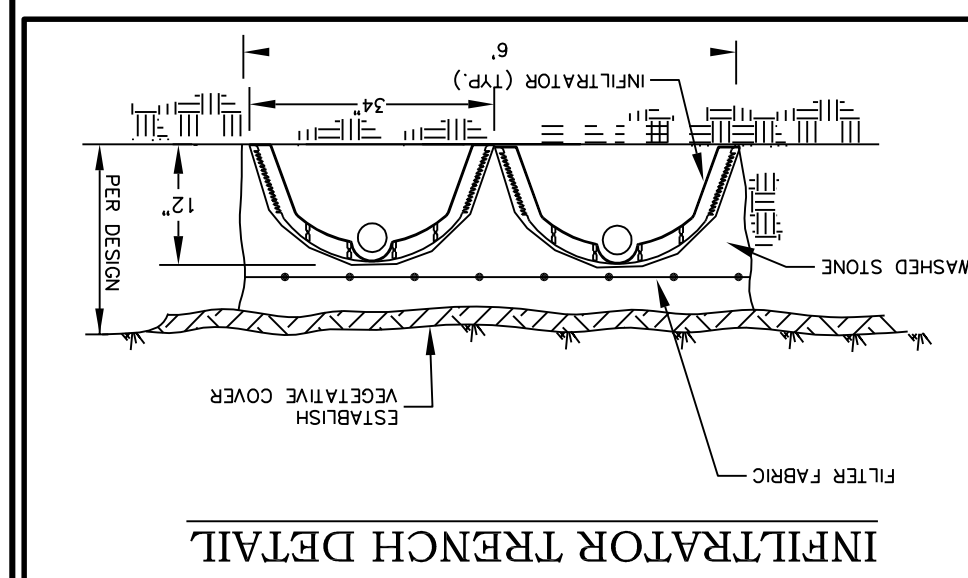
MEASUREMENT CHANGE	PERCENTAGE	PERCOLATION RATE (INCHES PER HOUR)
P-0	1.02	8 1/2"
P-1	1.08	15"
P-2	1.16	22"
P-3	1.25	27"

THE MINIMUM OBSERVED PERCOLATION RATE IS 1" DROP IN 3 MINUTES.

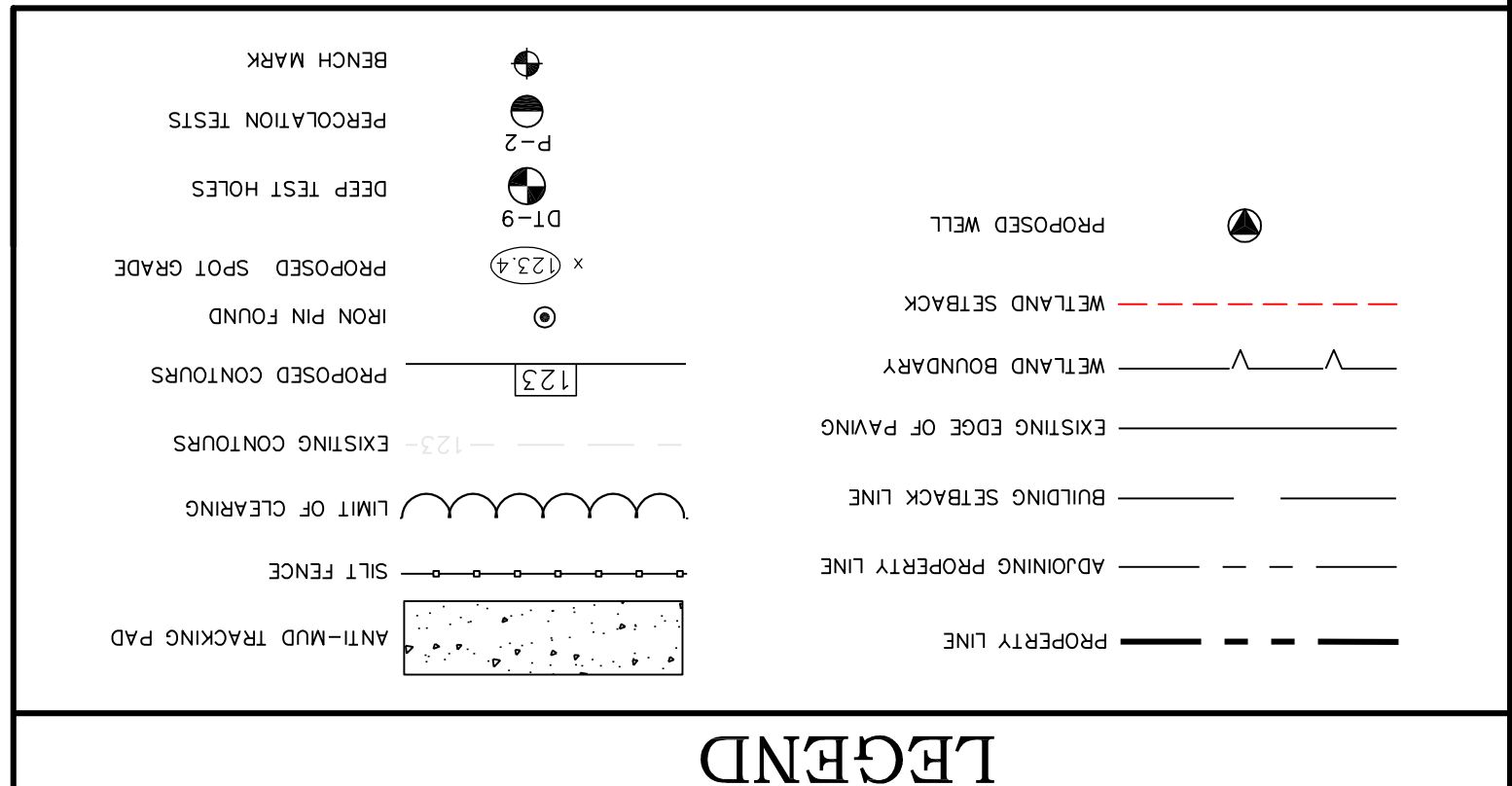
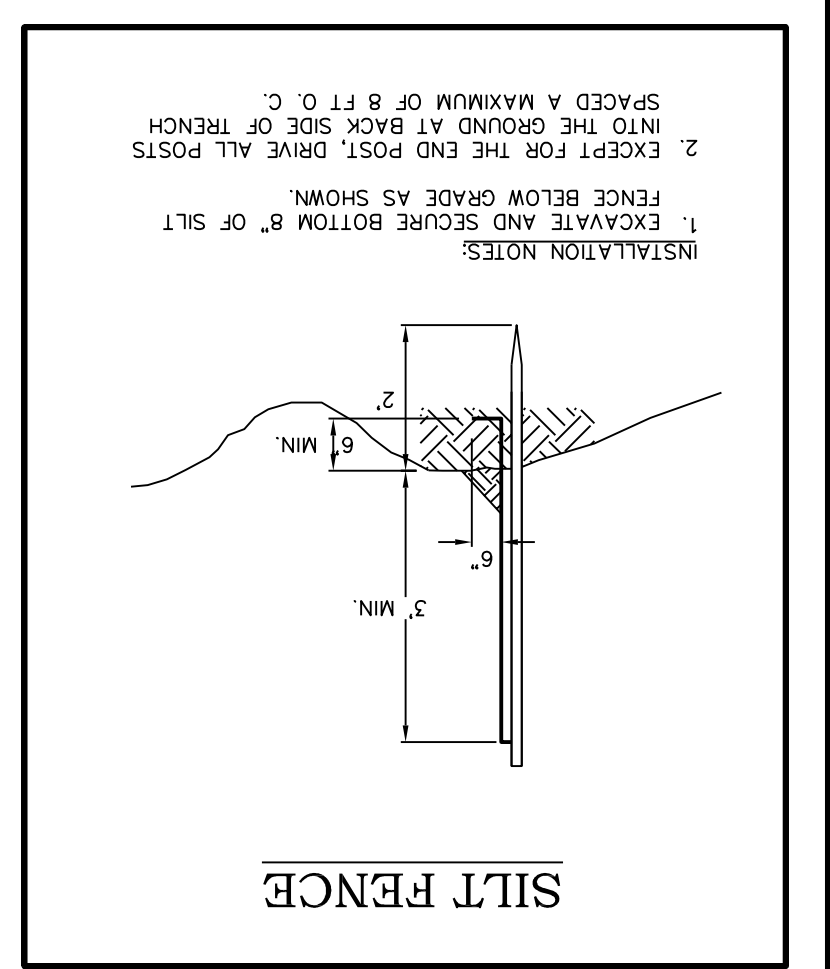
MEASUREMENT CHANGE	PERCENTAGE	PERCOLATION RATE (INCHES PER HOUR)
P-4	1.08	14"
P-5	1.04	8"
P-6	1.08	14"

THE MINIMUM OBSERVED PERCOLATION RATE IS 1" DROP IN 7 MINUTES.

- DEEP TESTS 1/06/2021**
- DT-1 0'-2" DARK BROWN VERY FRIABLE SUB ANGULAR BLOCKY FINE SANDY LOAM
  - DT-2 2'-5" YELLOWISH BROWN VERY FRIABLE FINE SANDY LOAM
  - DT-3 2'-8" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-4 2'-10" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-5 2'-11" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-6 2'-12" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-7 2'-13" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-8 2'-14" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-9 2'-15" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-10 2'-16" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-11 2'-17" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-12 2'-18" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-13 2'-19" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-14 2'-20" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-15 2'-21" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-16 2'-22" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-17 2'-23" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-18 2'-24" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-19 2'-25" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-20 2'-26" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-21 2'-27" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-22 2'-28" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-23 2'-29" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-24 2'-30" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-25 2'-31" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-26 2'-32" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-27 2'-33" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-28 2'-34" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-29 2'-35" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-30 2'-36" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-31 2'-37" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-32 2'-38" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-33 2'-39" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-34 2'-40" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-35 2'-41" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-36 2'-42" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-37 2'-43" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-38 2'-44" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-39 2'-45" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-40 2'-46" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-41 2'-47" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-42 2'-48" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-43 2'-49" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-44 2'-50" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-45 2'-51" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-46 2'-52" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-47 2'-53" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-48 2'-54" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-49 2'-55" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-50 2'-56" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-51 2'-57" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-52 2'-58" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-53 2'-59" TAN LOOSE GRANULAR MEDIUM FINE SAND
  - DT-54 2'-60" TAN LOOSE GRANULAR MEDIUM FINE SAND



- IMPLEMENTATION NOTES**
1. THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL EROSION AND SOIL EROSION AS MAY BE REQUIRED DURING THE CONSTRUCTION OF THE PROJECT.
  2. ALL CONSTRUCTION ACTIVITIES SHALL PROCEED SO THAT POLLUTION OF ANY WETLANDS, WATERBODIES, WATERWAYS, AND/OR CONDUITS OF ANY KIND IS PREVENTED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES AND SHALL PROVIDE THEM TO THE ENGINEER UPON REQUEST.
  3. CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (2002) BY THE STATE OF CONNECTICUT.
  4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
  5. TOE OF ALL CRITICAL CUT AND FILL SLOPES.
  6. POST AND FABRIC SILT BARRIERS SHALL BE INSTALLED AT THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
  7. THE EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
  8. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM RESTORATION TO BE COMPLETED AS SOON AS PRACTICAL.
  9. ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
  10. SEDIMENT TRAPS MUST BE CELESTED WHEN CAPACITY HAS BEEN REACHED BY AN AVERAGE OF OVER 75% TOTAL AREA OR TO 80% OF ITS DESIGN VOLUME, WHICHEVER OCCURS FIRST.
  11. ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM EVENT. SEDIMENT TRAPS SHALL BE MAINTAINED IN AN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
  12. ALL CONSTRUCTION ACTIVITIES SHALL PROCEED SO THAT POLLUTION OF ANY WETLANDS, WATERBODIES, WATERWAYS, AND/OR CONDUITS OF ANY KIND IS PREVENTED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES AND SHALL PROVIDE THEM TO THE ENGINEER UPON REQUEST.
  13. ADDITIONAL MEASURES ARE TO BE INSTALLED IF NECESSARY OR REQUIRED BY AN AVERAGE OF OVER 75% TOTAL AREA OR TO 80% OF ITS DESIGN VOLUME, WHICHEVER OCCURS FIRST.
  14. ALL EXPOSED SURFACES WILL BE TREATED WITH 5" OF TOPSOIL AND REVEGETATED AS SOON AS PRACTICAL.
  15. ALL EXPOSED SURFACES MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF THE GRADING.
  16. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL PAVED ROADWAYS PRIOR TO FINAL STABILIZATION, WHERE APPROPRIATE.
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RECEIVED  
3/4/21

**CONNECTICUT FEDERATION OF PLANNING & ZONING AGENCIES**

790 Farmington Avenue, Building 2B  
Farmington, CT 06032  
cfpza@live.com

STEVEN BYRNE  
Executive Director  
Telephone: (860) 677-7355

March 1, 2021

Oxford Planning & Zoning Commission  
486 Oxford Road  
Oxford, CT 06478

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**Membership Dues Through March 31, 2022**

**\$ 110.00**

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Please make checks payable to the Connecticut Federation of Planning and  
Zoning Agencies and send to:

Connecticut Federation of Planning & Zoning Agencies  
2B Farmington Commons  
790 Farmington Ave.  
Farmington CT 06032

Tear Here & Mail With Check

**CONNECTICUT FEDERATION OF PLANNING & ZONING AGENCIES**

Oxford Planning & Zoning Commission  
486 Oxford Road  
Oxford, CT 06478

**Membership Dues Through March 31, 2022**

**\$ 110.00**



# NAFIS & YOUNG

Civil/Environmental Engineering & Surveying

1355 Middletown Ave  
Northford, Connecticut 06472

RECEIVED  
3/9/21

# INVOICE

2/28/2021

Planning & Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

<b>NYE #:</b>	2009-020
<b>Invoice #</b>	044-21

<b>Service Dates:</b>	Feb 2021
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<b>Project:</b>	GENERAL ENGINEERING SERVICES
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Function			
349 Christian Street Review and Report			
Galligan, J, P.E.	2.5 hours @ \$88.50/hr		221.25
Bonaparte, D	1.0 hours @ \$88.50/hr		88.50

**Amount Due This Invoice      \$309.75**

**Balance Due      \$309.75**

<b>Phone #</b> (203) 484-2793	<b>Fax #</b> (203) 484-7343	<b>E-mail</b> nyeng@nafisandyoung.com	<b>Web Site</b> www.nafisandyoung.com
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# NAFIS & YOUNG

Civil/Environmental Engineering & Surveying

1355 Middletown Ave  
Northford, Connecticut 06472

RECEIVED  
3/9/21

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2/28/2021

Planning & Zoning Commission  
Town of Oxford  
486 Oxford Road  
Oxford, CT 06478

<b>NYE #:</b>	2009-020
<b>Invoice #</b>	045-21

<b>Service Dates:</b>	Feb 2021
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<b>Project:</b>	GENERAL ENGINEERING SERVICES
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Function			
Lots 5 & 6 Woodruff Hill Review and Report			
Galligan, J, P.E.	7.5 hours @ \$88.50/hr		663.75
Bonaparte, D	2.5 hours @ \$88.50/hr		177.00

**Amount Due This Invoice      \$840.75**

**Balance Due      \$840.75**

<b>Phone #</b> (203) 484-2793	<b>Fax #</b> (203) 484-7343	<b>E-mail</b> nyeng@nafisandyoung.com	<b>Web Site</b> www.nafisandyoung.com
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## Order Details

*Reimburse*

**Order Number**

354818751


**Order Date**

03/03/2021

**Membership Number**

111793612116

**Payment Method**

 visa ending in 5496  
Expires 04/22

**Shipping Address**

claudia luff  
160 Christian St  
Oxford, CT  
06478-1221

**Billing Address**

claudia luff  
160 CHRISTIAN ST  
OXFORD, CT  
06478-1221

Item	Quantity	Status	Total Price
Epson EcoTank ET-3760 Special Edition All-in-One Wireless Printer with Two Bonus Black Ink Bottles Item #1383193 \$349.99 Discount \$50.00	1	Delivered	\$349.99

Feedback

*Printer for STEVE M.  
in P&Z*

### Order Summary

Subtotal (1 Items)	\$349.99
Shipping	\$0.00
Tax	\$19.05
<b>Order Total</b>	<b>\$319.04</b>